

## CITY OF TORONTO

### BY-LAW No. 462-2005(OMB)

**To amend former City of Scarborough Zoning By-law No. 10327, as amended, with respect to the West Hill Community Zoning By-law.**

WHEREAS the Ontario Municipal Board pursuant to its Order No. 0481 dated March 2, 2004, upon hearing the appeal of 758893 Ontario Limited, under Sections 34(11) of *the Planning Act*, R.S.O. c.P. 13, as amended, deems it advisable to amend the former City of Scarborough Zoning By-law No. 10327, the West Hill Community Zoning By-law;

THEREFORE By-law No. 10327, the West Hill Community Zoning By-law as amended, of the former City of Scarborough, is further amended by the Ontario Municipal Board as follows:

1. **SCHEDULE 'A'** of the West Hill Community Zoning By-law is amended by deleting the existing Single-Family Residential (S) Zone Performance Standards, so that the amended zoning shall read as follows on Schedule '1':

S – 40F – 49 – 81C – 261 – 408 – 503

S – 35 – 44 – 63 – 81C – 91 – 504

2. **SCHEDULE 'B', PERFORMANCE STANDARD CHART**, is amended by adding Performance Standards 40F – 81C – 408 – 503 – 504 as follows:

#### **FRONT YARD**

40F. Minimum building setback of 4.5 m from the street line.

#### **FLOOR AREA**

81C. Maximum total **floor area** per **dwelling unit** 0.65 times the lot area.

#### **BUILDING SETBACKS FROM STREETS**

408. An attached garage shall be erected with each **dwelling unit** and be setback a minimum distance of 6 m from the street line.

#### **INTENSITY OF USE**

503. One **Single-Family dwelling** per parcel of land with a minimum 13.5 m frontage on a public **street** and a minimum area of 340 m<sup>2</sup>.

504. One **Single-Family dwelling** per parcel of land with a minimum 15 m frontage on a public **street** and a minimum area of 450 m<sup>2</sup>.

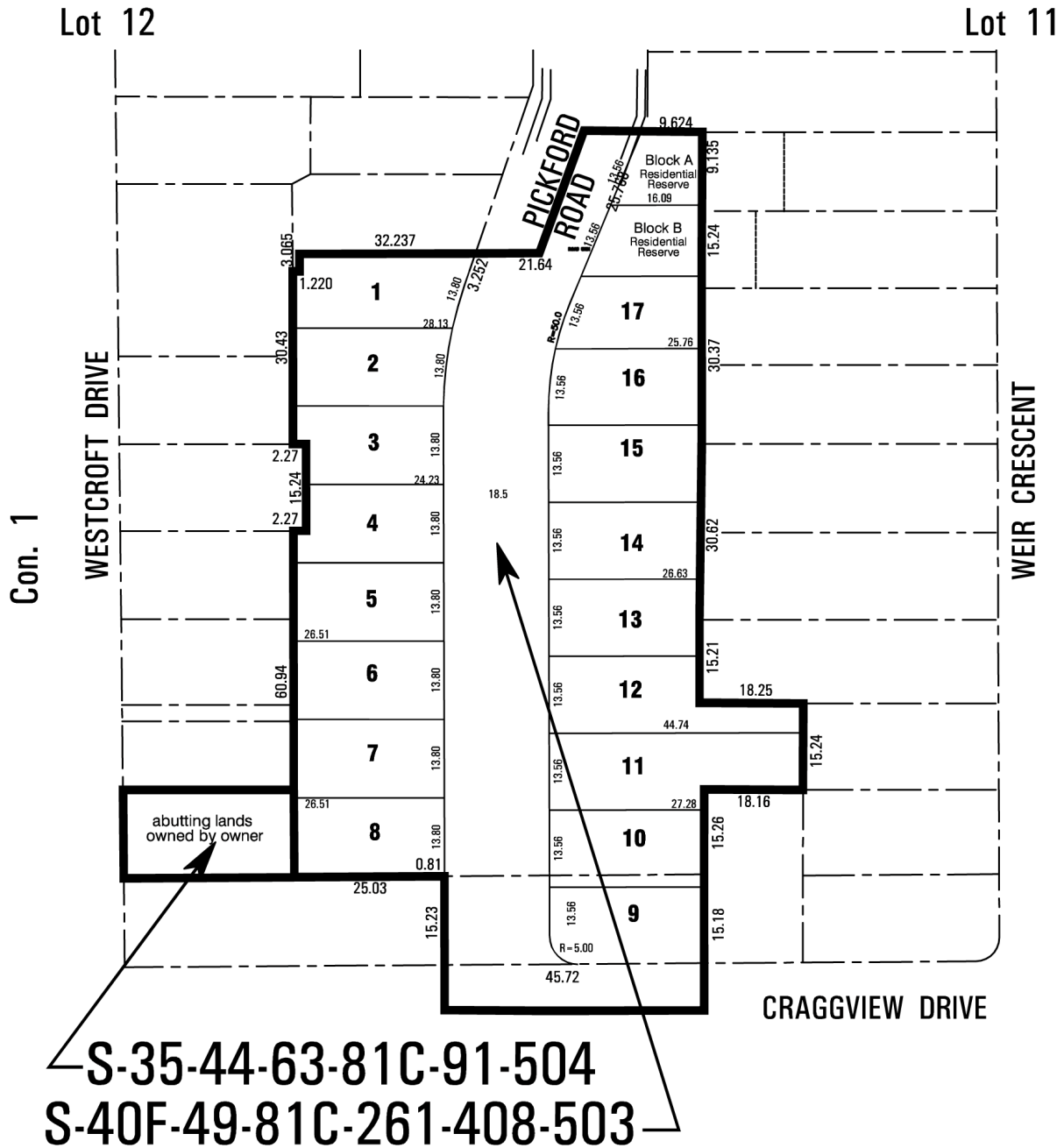
3. **SCHEDULE 'C', EXCEPTIONS LIST**, is amended by adding the following Exception No. 89:

89. On those lands identified as Exception No. 89 on the accompanying Schedule 'C', the following provision shall apply:

One **Single-Family dwelling** per parcel of land with a minimum 13.5 m frontage on a public **street** and a minimum area of 300 m<sup>2</sup>.

PURSUANT TO DECISION/ORDER NO. 0481 OF THE ONTARIO MUNICIPAL BOARD  
ISSUED ON MARCH 2, 2004 IN BOARD FILE NO. PL030873.

## Schedule '1'



**Urban  
Development Services**

# Zoning By-Law Amendment

## Pickford Road (Extension)

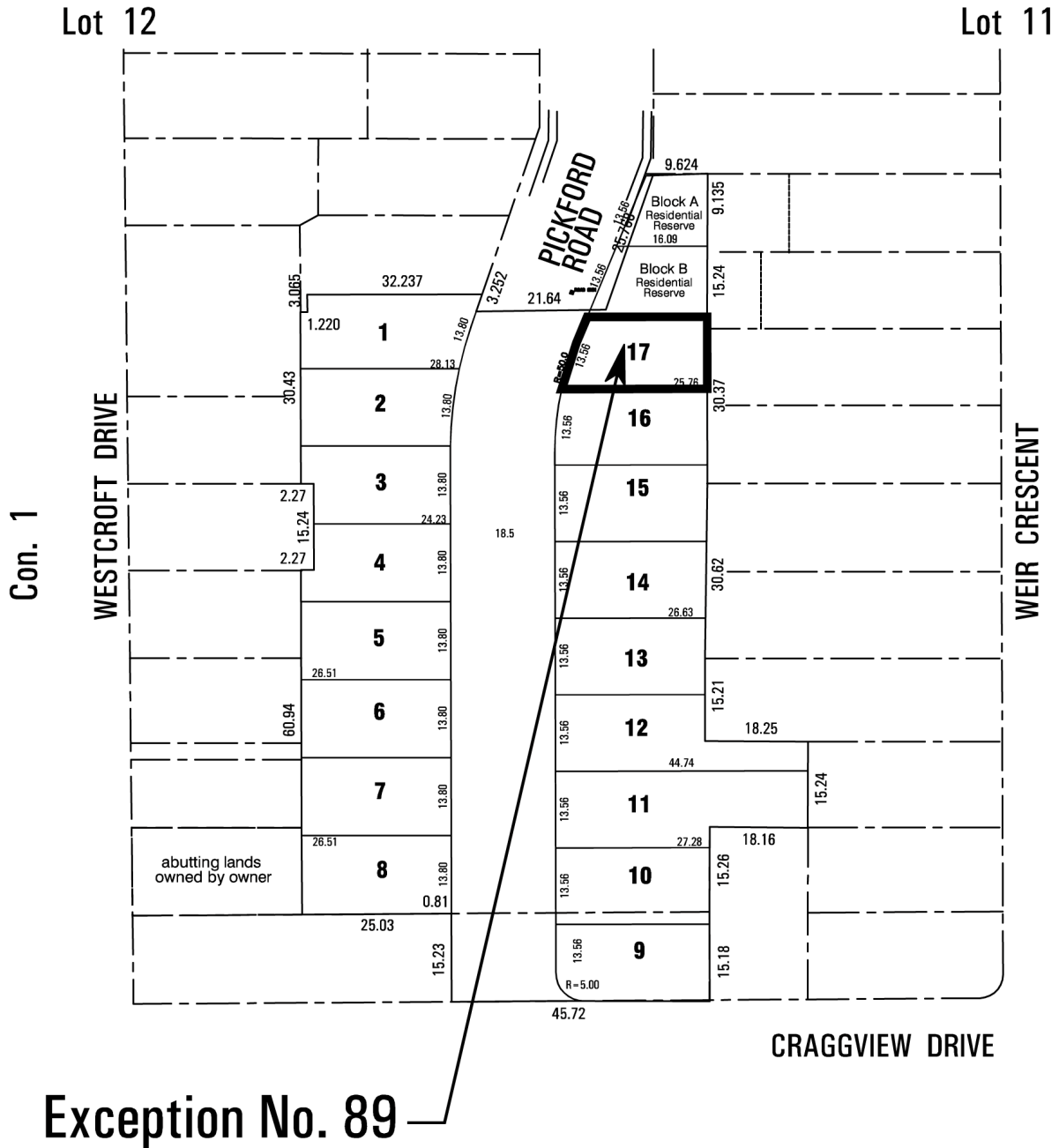
File # TF ZBL 2003 0010, TF SUB 2003 0005



### Area Affected By This By-Law

West Hill Community Bylaw  
Not to Scale  
02/12/04

## Schedule 'C'



**Toronto** Urban Development Services  
**Zoning By-Law Amendment**

**Pickford Road (Extension)**

File # TF ZBL 2003 0010, TF SUB 2003 0005

 Area Affected By This By-Law

West Hill Community Bylaw  
 Not to Scale  
 02/12/04

