

CITY OF TORONTO

BY-LAW No. 468-2005(OMB)

To amend By-law No. 7625 of the former City of North York with respect to lands known municipally as 45 York Mills Road.

WHEREAS the Ontario Municipal Board, pursuant to its Order No. 1979, issued on January 5, 2005, deems it advisable to amend By-law No. 7625 as amended, for the former City of North York;

THEREFORE, By-law No. 7625, as amended, for the former City of North York, is further amended by the Ontario Municipal Board as follows:

1. Schedules “B” and “C” of By-law No. 7625, as amended, are amended in accordance with Schedule “1” of this By-law.
2. Section 64.16 of By-law No. 7625 is hereby amended by adding the following:

“64.16 RM1(50)

PERMITTED USES

- (a) The only permitted uses shall be Multiple Attached Dwellings and uses accessory thereto;
- (b) The hatched area indicated on Schedule “1” shall be maintained as publicly accessible landscaped Open Space;

DEFINITIONS

- (c) For the purpose of this exception, the front lot line is considered to be York Mills Road;
- (d) For the purpose of this exception,
 - (i) the definition of storey shall not include any storey on the same level as vehicle parking;
 - (ii) no storey shall be more than 3.2 metres in height, as measured from the finished floor to the finished ceiling of such storey;
- (e) For the purpose of this exception, lot coverage excludes porches, decks, canopies, and balconies;

EXCEPTION REGULATIONS

- (f) Lot Coverage

The maximum lot coverage by buildings shall be 52 %;

(g) Yard Setbacks

- (i) The minimum yard set backs shall be as shown on Schedule “RM1(50)”. Permitted within these setbacks will be porches, decks, eaves, canopies, balconies, and chimney breasts;
- (ii) The minimum yard setbacks for the most easterly extent of the underground parking garage shall be as shown on Schedule “RM1(50)”;
- (iii) Notwithstanding Section (m) of this By-law, no above grade, below grade, or at grade structures in the form of patios, decks, balconies, porches, canopies, ramps, eaves, and stairways will be permitted within four metres of the surveyed top of bank or toe of slope as shown on Schedule “RM1(50)”;

(h) Building Height

The maximum height in storeys shall be as shown on Schedule “RM1(50)”;

(i) Distance Between Buildings

The minimum distance between buildings shall be 10 metres except where indicated between Building 2 and Building 5. Porches, unexcavated and excavated, decks, canopies, balconies, chimney breasts, ramps, eaves, and stairways shall be permitted projections into the minimum distance between buildings;

(j) Maximum Units

The maximum number of units shall be 81;

(k) Maximum Gross Floor Area

The maximum gross floor area shall be 1.5 times the lot area;

(l) Landscaping

The minimum landscaped area shall be 5663 square metres. A minimum 4.9 metres wide landscaped open space area shall be provided along all of the south property line abutting the property known municipally as 11 Campbell Crescent;

(m) Permitted Projections

Unexcavated porches, decks, canopies, balconies and ramps shall not project more than 2.6 metres;

(n) Parking

The minimum parking to be provided for residents shall be on the basis of 1.75 spaces for each residential unit and .20 visitor spaces for each residential unit;

(o) The provisions of Section 6(9) Permitted Projections; Section 6(23) Accessory Buildings; Section 6(24)(a) Unexcavated Porches and Decks; Section 15.8 (a) and (b) Landscaping; Section 16.2.1 Lot Area; Section 16.2.2 Lot Coverage; Section 16.2.3 Street Frontage; Section 16.2.4 Yard Setbacks; Section 16.2.6 Building Height; and Section 16.3.2 Distance Between Buildings; do not apply;.

(p) Notwithstanding any severance, partition, or division of the site, as shown on Schedule "RM1(50)", the provisions of this By-law shall apply to the whole of the site as if no severance, partition or division occurred."

PURSUANT TO DECISION/ORDER NO. 1979 OF THE ONTARIO MUNICIPAL BOARD,
ISSUED ON JANUARY 5, 2005 IN BOARD FILE NO. PL020864.

TORONTO
City Planning North

SUBJECT
PROPERTY

This is Schedule "RM1(50)" to By-Law _____, passed
the _____ day of _____, 20____

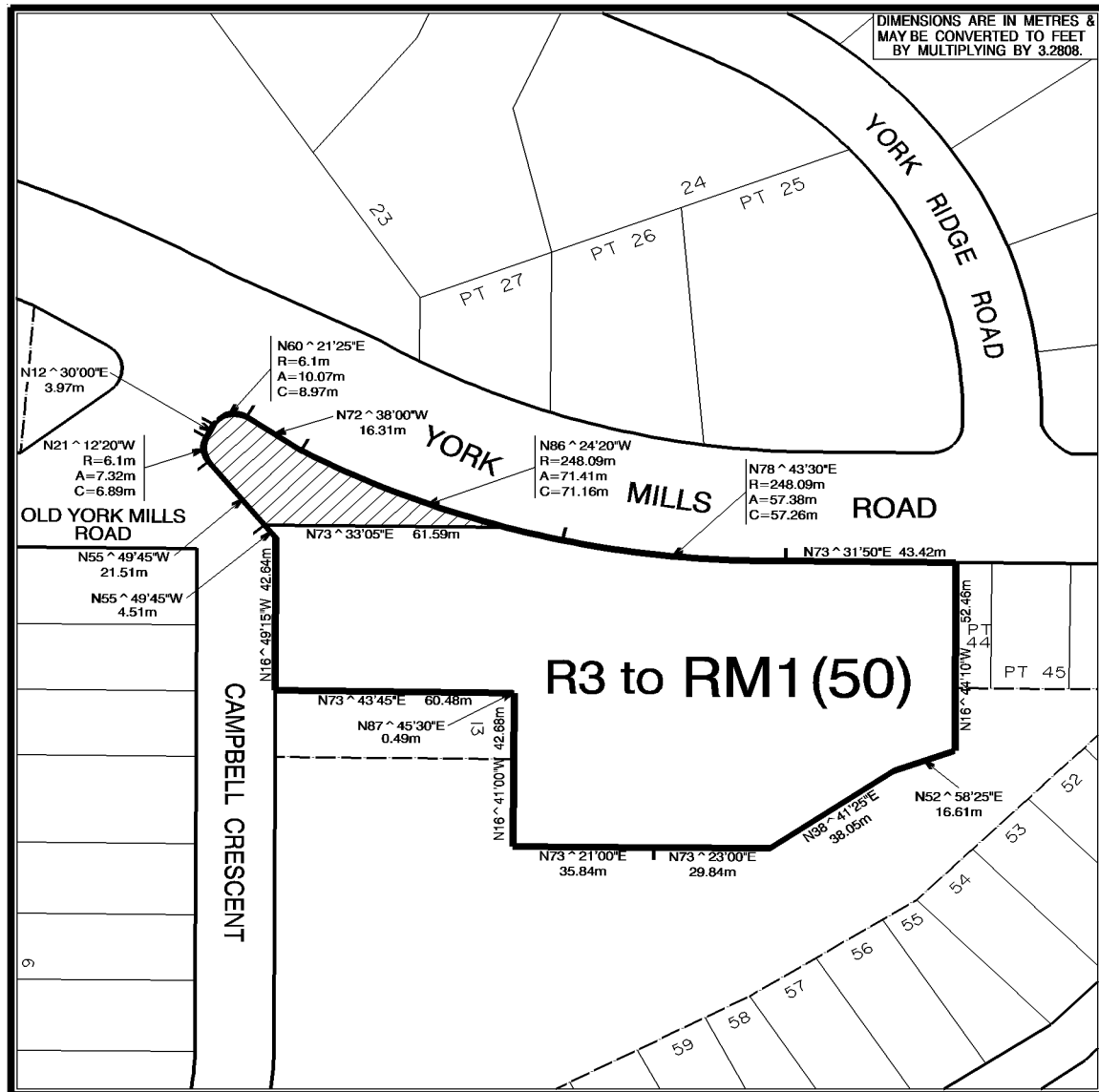
(Sgd.) _____ (Sgd.) _____ MAYOR

CLERK

TD ZBL 2002 0004 & File No. TD OPA 2002 0001
Prepared by: A.A.
Approved by: N.F.
Date: December 8, 2004
Filename: RM1(50).ai

Source: Zoning, By-Law, Lot Line, Street Line and Street Name Data - City of Toronto, City Planning Division, North District.
Street lines represent street dedications/road allowances and do not represent actual as-built curb lines of streets.

SCHEDULE "1"



This is Schedule " 1 " to By-Law _____
passed the _____ day of _____, 20 ____

(Sgd.)

CLERK

(Sgd.)

MAYOR



File: TD ZBL 2002 0004 Prepared by: A.A. Approved by: N.F. Date: OCT. 5, 2004 Filename: RM1(50)

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