

Authority: Etobicoke York Community Council Report No. 4, Clause No. 2,  
as adopted by City of Toronto Council on May 17, 18 and 19, 2005  
Enacted by Council: July 21, 2005

**CITY OF TORONTO**

**BY-LAW No. 699-2005**

**To adopt Amendment No. 565 to the Official Plan for the former City of North York with respect to lands located on the south side of Frith Road and a portion of the lands municipally known as 45 Bartel Drive.**

WHEREAS authority is given to Council under the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. Amendment No. 565 to the Official Plan of the former City of North York, consisting of the attached map, text and schedule is hereby adopted.
2. This By-law shall come into force and take effect on the day of the final passing thereof.

ENACTED AND PASSED this 21st day of July, A.D. 2005.

DAVID R. MILLER,  
Mayor

ULLI S. WATKISS  
City Clerk

(Corporate Seal)

**PREFACE AND EXPLANATORY NOTES**

**TO AMENDMENT NO. 565**

**TO THE OFFICIAL PLAN OF THE**

**FORMER CITY OF NORTH YORK**

**LANDS AFFECTED BY THIS AMENDMENT**

This amendment concerns certain lands on the south side of Frith Road and a portion of the lands municipally known as 45 Bartel Drive.

**EFFECT OF AMENDMENT**

The effect of this amendment is to re-designate the lands on the south side of Frith Road to Residential Density One designation and to permit a maximum density of 42.2 dwellings per net residential hectare on the lands as a whole. The development to consist of a maximum of 4 single family detached dwellings and 20 semi-detached dwelling units.

**PUBLIC MEETINGS**

The Etobicoke York Community Council considered the amendment application at a statutory public meeting held on May 3, 2005, after written notice of such meeting had been sent to all persons assessed in respect of land within 120 metres of the subject lands. It was the Community Council's decision to recommend approval of this application subject to conditions.

A meeting to consider this matter was held by City Council on July 19, 20, 21 and 26, 2005.

On July 21, 2005 City of Toronto Council enacted By-law No. 699-2005.

**AMENDMENT NO. 565**  
**THE OFFICIAL PLAN FOR THE**  
**FORMER CITY OF NORTH YORK**

The following text constitutes Amendment No. 565 to the Official Plan of the former City of North York.

**ITEM 1**

Map C.1 – Land Use Plan of the North York Official Plan is amended in accordance with Schedule A attached hereto.

**ITEM 2**

Part C.9 – Specific Development, is amended by adding the following statement.

C.9.260        Certain lands on the south side of Frith Road and a portion of the lands municipally known as 45 Bartel Drive.

Notwithstanding the RD1 designation of the lands shown on Map C.9.260, the maximum permitted density shall be 42.2 dwellings per net residential hectare, consisting of 4 single family detached dwellings and 20 semi-detached dwelling units.

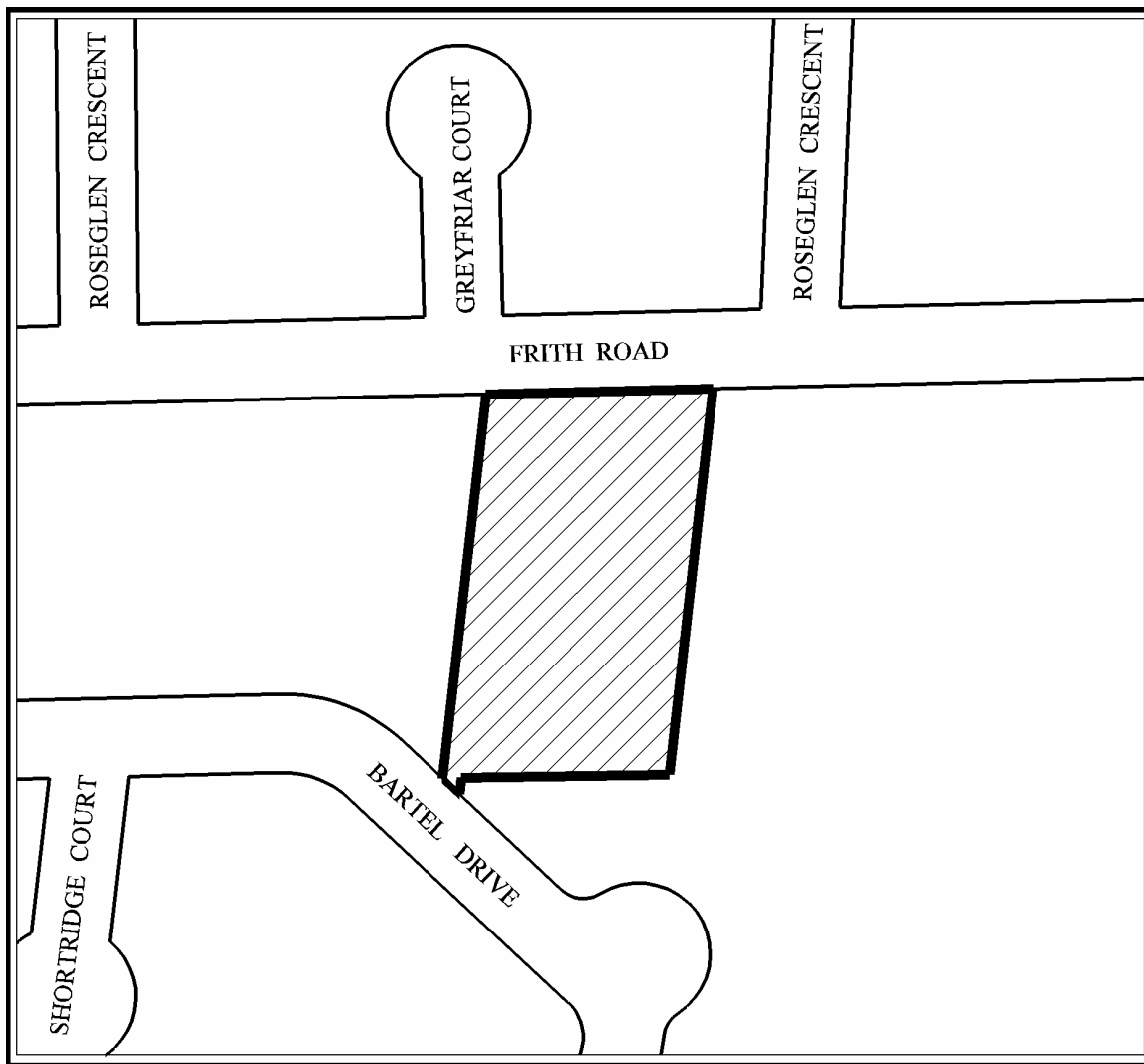
**ITEM 3**

Part C.9 is amended by adding Map C.9.260 attached hereto.

**Schedule " A "**

( Amendment No. 565 )





MAP C.9.260



SUBJECT AREA

FILE NAME : 04\_176403\_dop2

DATE : April 2005



Source: Lot Line, Street Line and Street Name Data - City of Toronto City Planning Division  
Street lines represent street dedications/road allowances and do not represent actual as-built curb lines of streets.