Authority: Etobicoke York Community Council Report No. 6, Clause No. 1,

adopted as amended, by City of Toronto Council on July 19, 20, 21 and 26, 2005

Enacted by Council: July 21, 2005

CITY OF TORONTO

BY-LAW No. 707-2005

To amend Chapters 340 and 341 of the Etobicoke Zoning Code, as amended, with respect to lands municipally known as 347 Royal York Road, to permit the development of 38 freehold townhouses.

WHEREAS authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

WHEREAS the matters set out herein are in conformity with Official Plan Amendment No. 60-97 as adopted by the former Council of the City of Etobicoke; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

- 1. That the Zoning Map referred to in Section 340-5 of the Etobicoke Zoning Code, originally attached to Township of Etobicoke Zoning Code, be and the same is hereby amended by reaffirming the classification of the lands located in the former Town of Mimico as described in Schedule 'A' annexed hereto to "R4", provided that the following provisions shall apply to the development of the subject lands identified in Schedules 'A' and 'B'.
- 2. Nothing in this by-law shall preclude the creation of individual lots within the meaning of the *Planning Act*.
- 3. Notwithstanding Sections 340-16, 340-17, 340-21, 340-28, 340-29, 340-30, 340-31, 340-32 (B), and 340-35 of the Etobicoke Zoning Code, the following development standards shall apply to the lands described in Schedule 'A' attached hereto:
 - (a) Permitted Uses

In addition to the uses permitted according to site-specific development standards within By-law No. 805-1998, 38 freehold townhouses shall be permitted. Freehold townhouses shall conform to the development standards contained within this by-law, as set out below.

(b) Definitions

For the purposes of this by-law, Section 304-3 shall be amended to include the following definitions:

Freehold Townhouse: shall be defined as a self-contained dwelling attached to other dwellings within a block and located within a parcel of land. Parcels may be further subdivided into lots.

Notwithstanding the definition of lot, for the purposes of this by-law, lot shall mean a parcel of land with frontage onto an abutting public street or public lane.

Public Lane: shall be defined as a public way which provides access to abutting parcels and/or lots, with a minimum right-of-way width of 9.0 metres.

Notwithstanding the definition of front lot line, for the purposes of this by-law, front lot line shall be defined as the lot line that abuts the street or public lane. In the case of a corner lot, it shall be deemed the shorter lot line abutting the street or public lane. In the case of a lot with frontage on both a public street and public lane, it shall be deemed the lot line that abuts the public street.

(c) Lot Area

Minimum lot area: 65 square metres

(d) Lot Frontage

Minimum lot frontage: 4.5 metres

(e) Required Setbacks and Schedule 'B'.

The minimum front and rear yard setbacks shall not be less than the measurements shown on Schedule 'B' attached hereto, and shall be measured from the main walls of each dwelling.

The required side yard setbacks shall be zero, except for corner lots, where flankage side yards shall be the minimum shown in Schedule 'B', and shall be measured from the main walls of each dwelling.

(f) Landscaped Open Space

Within Parcels 1, 2 and 4, all front yards shall maintain a minimum 50% landscaped open space.

Within Parcel 3, a total landscaped open space of 60 square metres shall be provided.

(g) Height

The maximum height of townhouses shall be 12.5 metres.

(h) Parking Spaces

Each unit shall provide one parking space within an enclosed, attached garage measuring a minimum of 3 metres by 6 metres at inside dimensions, except units located on lots measuring 5 metres or greater (at the widest point), which must provide two parking spaces.

(i) Permitted Encroachments

Required building setbacks shall not be obstructed by any construction other than the following:

- (i) uncovered steps to grade;
- (ii) chimney breasts, bay windows or other projections extending a maximum of 0.6 metres from any exterior wall of the dwelling;
- (iii) eavestroughs and overhangs;
- (iv) open, uncovered (or roofed) porches, verandas, decks, and balconies projecting a maximum of 2.6 metres from the exterior front or rear walls.

(j) Accessory Structures

Permitted accessory uses shall include private home occupations, central air conditioning units, and satellite dishes not exceeding 1.2 square metre in area. Carports, detached garages, tool sheds, television antennae, playhouses, swimming pools, structures associated with swimming pools and other accessory structures shall be prohibited.

(k) Floor Space Index

Maximum: 1.2

(1) Site Plan Control

In addition to the provisions of 344-1 and 344-2, for the development of townhouse dwellings, the subject lands shall be designated as a Site Plan Control area.

- **4.** Notwithstanding the above By-law and Zoning Code standards, a sales trailer and/or construction trailer is permitted without restriction during the development of the lands.
- 5. Where the provisions of this By-law conflict with the provisions of the Etobicoke Zoning Code, the provisions of this By-law shall apply. Fencing shall be in accordance with the Municipal Code.

6. Chapter 341, Site Specific of the Etobicoke Zoning Code, is hereby amended to include reference to this By-law by adding the following to Section 341-1, Table of Site Specific By-laws:

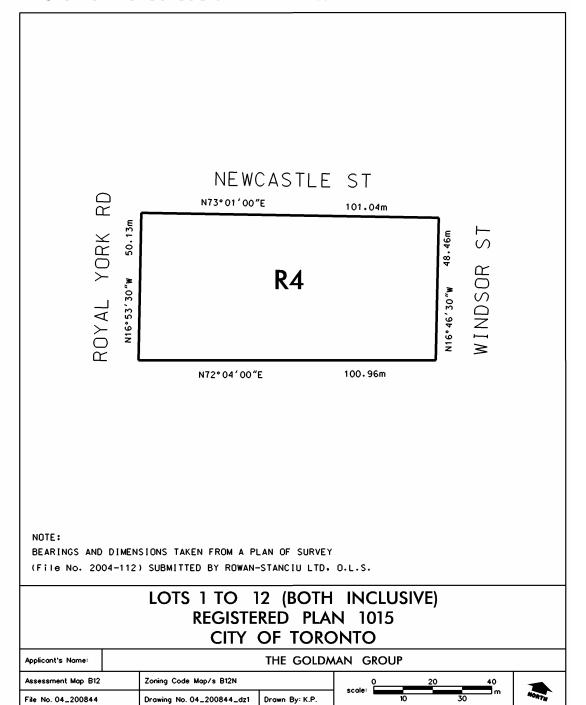
BY-LAW NUMBER AND ADOPTION DATE	DESCRIPTION OF PROPERTY	PURPOSE OF BY-LAW
707-2005 July 21, 2005	Lands located on the east side of Royal York Road, south of Newcastle Street and west of Windsor Street, municipally known as 347 Royal York Road.	To rezone the lands for site- specific provisions within the R4 zone to permit 38 freehold townhouses.

ENACTED AND PASSED this 21st day of July, A.D. 2005.

DAVID R. MILLER, Mayor ULLI S. WATKISS City Clerk

(Corporate Seal)

TORONTO Schedule 'A' BY-LAW



TORONTO Schedule 'B' BY-LAW

