

CITY OF TORONTO

BY-LAW No. 733-2005(OMB)

To amend the former City of North York By-law No. 7625, as amended, with respect to lands municipally known as 108 Stayner Avenue.

WHEREAS the Owner of the lands shown on Schedule “1” attached hereto made application for a zoning by-law amendment for development of the lands and appealed the application to the Ontario Municipal Board pursuant to section 34(11) of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended;

THEREFORE pursuant to Order No. 1958 of the Ontario Municipal Board issued on July 26, 2005 in Board File No. PL040170, By-law No. 7625, as amended, of the former City of North York is amended as follows:

1. Schedules “B” and “C” of By-law No. 7625, as amended, are hereby amended in accordance with Schedule “1” of this By-law.
2. Section 64.14-A of By-law No. 7625, as amended, is hereby amended by adding the following subsections:

64.14-A(14) R6(14)

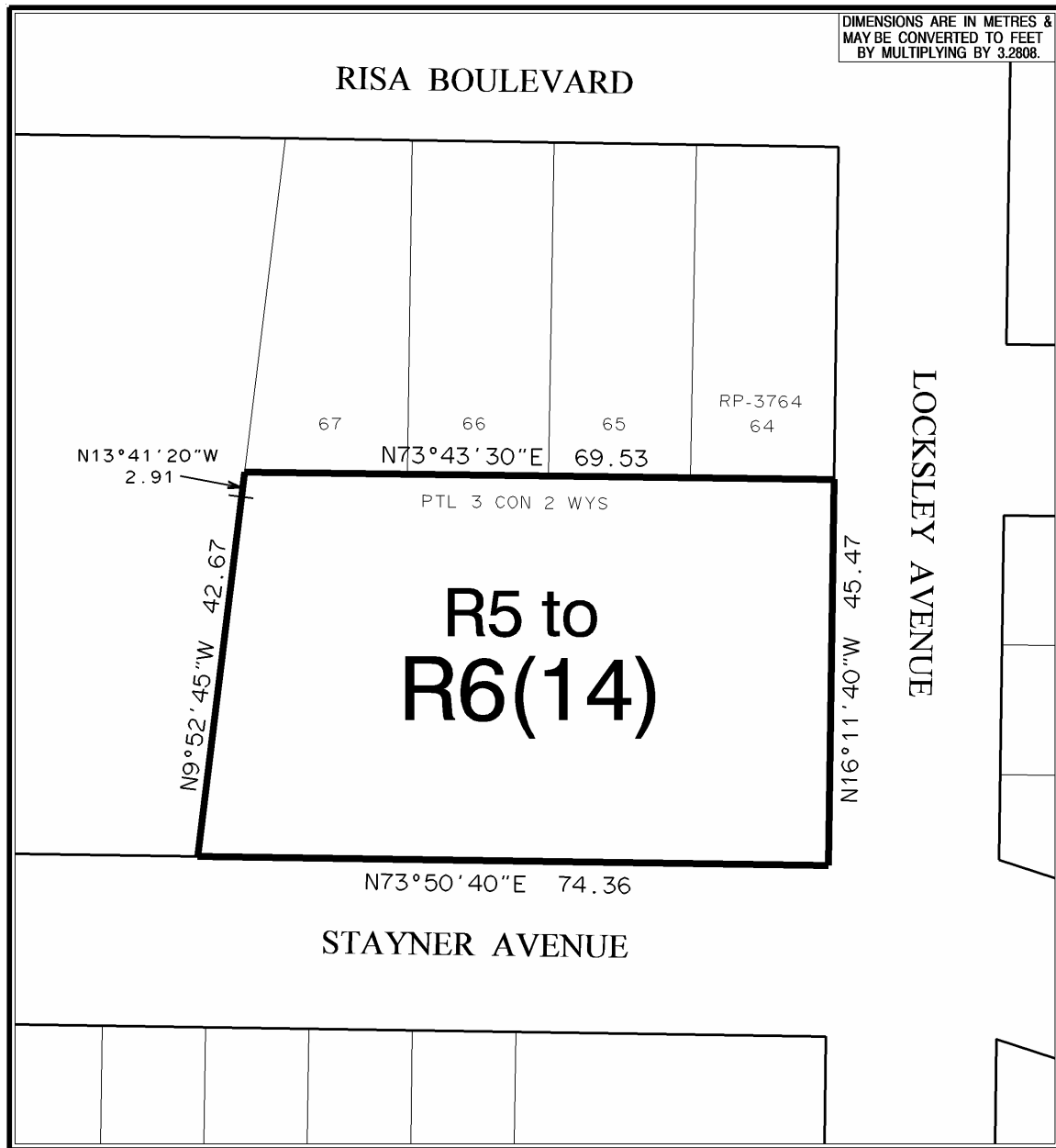
EXCEPTION REGULATIONS

- (a) For those lands shown as Parcel “A” on Schedule “R6(14)” of this by-law the following provisions shall apply:
 - (i) Minimum lot frontage shall be 11.3 metres;
 - (ii) Minimum lot area shall be 660 square metres;
 - (iii) Minimum front yard setback shall be 8 metres;
 - (iv) Minimum rear yard setback shall be 31.7 metres;
 - (v) Minimum side yard setback shall be 1.2 metres on one side and 0.6 metres on the other side;
 - (vi) Maximum length of dwelling shall be 18.8 metres;
 - (vii) Dwelling length shall be measured from the front wall of the dwelling;
 - (viii) Maximum building height shall be 9.5 metres; and
 - (ix) The finished first floor elevation shall be a maximum of 2.4 metres above established grade.
- (b) For those lands shown as Parcel “B” on Schedule “R6(14)” of this by-law the following provisions shall apply:
 - (i) Minimum lot frontage shall be 11.3 metres;
 - (ii) Minimum lot area shall be 317 square metres;
 - (iii) Minimum front yard setback shall be 5.7 metres;
 - (iv) Minimum side yard setback shall be 1.2 metres on one side and 0.6 metres on the other side;
 - (v) Minimum rear yard setback shall be 8 metres;
 - (vi) Maximum lot coverage shall be 42%;

- (vi) Maximum building height shall be 9.5 metres; and
 - (vii) The finished first floor elevation shall be a maximum of 2.4 metres above established grade.
- (c) For those lands shown as Parcel “C” on Schedule “R6(14)” of this by-law the following provisions shall apply:
- (i) Minimum lot frontage shall be 11.3 metres;
 - (ii) Minimum lot area shall be 305 square metres;
 - (iii) Minimum front yard setback shall be 5.7 metres;
 - (iv) Minimum rear yard setback shall be 8 metres;
 - (v) Minimum side yard setback shall be 1.2 metres on one side and 0.6 metres on the other side;
 - (vi) Maximum lot coverage shall be 43.7%;
 - (vii) Maximum building height shall be 9.5 metres;
 - (viii) The finished first floor elevation shall be a maximum of 2.4 metres above established grade; and
 - (ix) Maximum front yard hard surface shall be 75%.
- (d) For those lands shown as Parcel “D” on Schedule “R6(14)” of this by-law the following provisions shall apply:
- (i) Minimum lot frontage shall be 11.3 metres;
 - (ii) Minimum lot area shall be 385 square metres;
 - (iii) Minimum side yard setback shall be 1.2 metres on one side and 0.6 metres on the other side;
 - (iv) Minimum rear yard setback shall be 8.8 metres;
 - (v) Maximum lot coverage of 44%;
 - (vi) Maximum building height 9.5 metres;
 - (vii) The finished first floor elevation shall be a maximum of 2.4 metres above established grade;
 - (viii) Dwelling length shall be measured from the front wall of the dwelling; and
 - (ix) Maximum length of dwelling of 18.8 metres.
- (e) For those lands shown as Parcel “E” on Schedule “R6(14)” of this by-law the following provisions shall apply:
- (i) Minimum lot frontage shall be 23 metres;
 - (ii) Minimum lot area shall be 745 square metres;
 - (iii) Minimum front yard setback shall be 0 metres for the dwelling existing on the date of this by-law; and
 - (iv) Minimum east side yard setback shall be 0.6 metres.

- (f) For those lands shown as Parcel “F” on Schedule “R6(14)” of this by-law the following provisions shall apply:
- (i) Minimum lot frontage shall be 11.3 metres;
 - (ii) Minimum lot area shall be 512 square metres;
 - (iii) Minimum side yard setback shall be 1.2 metres on one side and 0.6 metres on the other side;
 - (iv) Minimum rear yard setback shall be 16 metres;
 - (v) Maximum building height shall be 9.5 metres;
 - (vi) The finished first floor elevation shall be a maximum of 2.4 metres above established grade;
 - (vii) Dwelling length shall be measured from the front wall of the dwelling; and
 - (viii) Maximum length of dwelling shall be 18.8 metres.
3. Section 64.14-A(14) of By-law No. 7625 is amended by adding the attached Schedule “R6(14)”.

PURSUANT TO THE DECISION/ORDER NO. 1958 OF THE ONTARIO MUNICIPAL BOARD ISSUED ON JULY 26, 2005 IN BOARD FILE NO. PL040170.

SCHEDULE "1"

This is Schedule " 1 " to By-Law _____
passed the _____ day of _____, 20 ____

(Sgd.)

CLERK

(Sgd.)

MAYOR

Location: Part of Lot 3, Concession 2, West of Yonge Street, City of Toronto



File: 04_120027

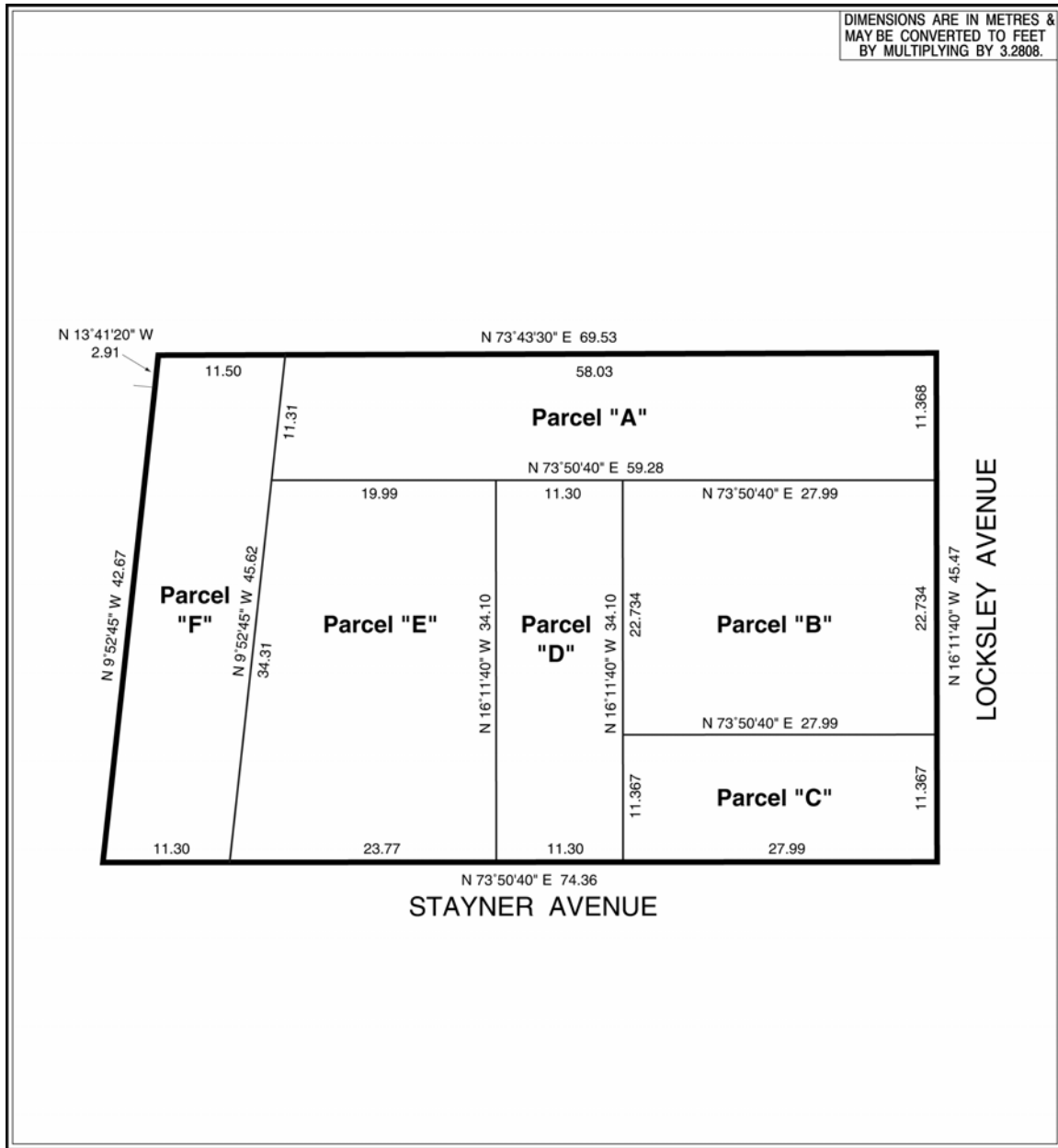
Prepared by: A.K.

Approved by: C.R.

Date: April 27, 2005

Filename: R6(14)_1

Source: Zoning, By-Law, Lot Line, Street Line and Street Name Data - City of Toronto, City Planning Division, North District.
Street lines represent street dedications/road allowances and do not represent actual as-built curb lines of streets.

SCHEDULE "R6(14)"

This is Schedule "R6(14)" to By-Law _____
passed the _____ day of _____, 20 ____

(Sgd.)

CLERK

(Sgd.)

MAYOR



Location: Part of Lot 3, Concession 2, West of Yonge Street, City of Toronto

File No. 04_120027

Prepared by: A.K.

Approved by: C.R.

Date: April 27, 2005

Filename: R6(14).ai

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