

CITY OF TORONTO

BY-LAW No. 735-2005(OMB)

To amend former City of North York Zoning By-law No. 7625, as amended, with respect to lands municipally known as 292, 294, 296 and 298 Cummer Avenue.

WHEREAS the Ontario Municipal Board by way of Order No. 1861, issued on the December 2, 2004, determined to amend former City of North York By-law Zoning No. 7625, as amended, with respect to lands municipally known as 292, 294, 296 and 298 Cummer Avenue;

THEREFORE pursuant to Order No. 1861 of the Ontario Municipal Board issued on December 2, 2004 in Board File No. PL020991, By-law No. 7625, as amended, of the former City of North York is amended as follows:

1. Schedules “B” and “C” of By-law No. 7625, are amended in accordance with Schedule “1” of this By-law.
2. Section 64.13 of By-law No. 7625 is amended by adding the following subsection:

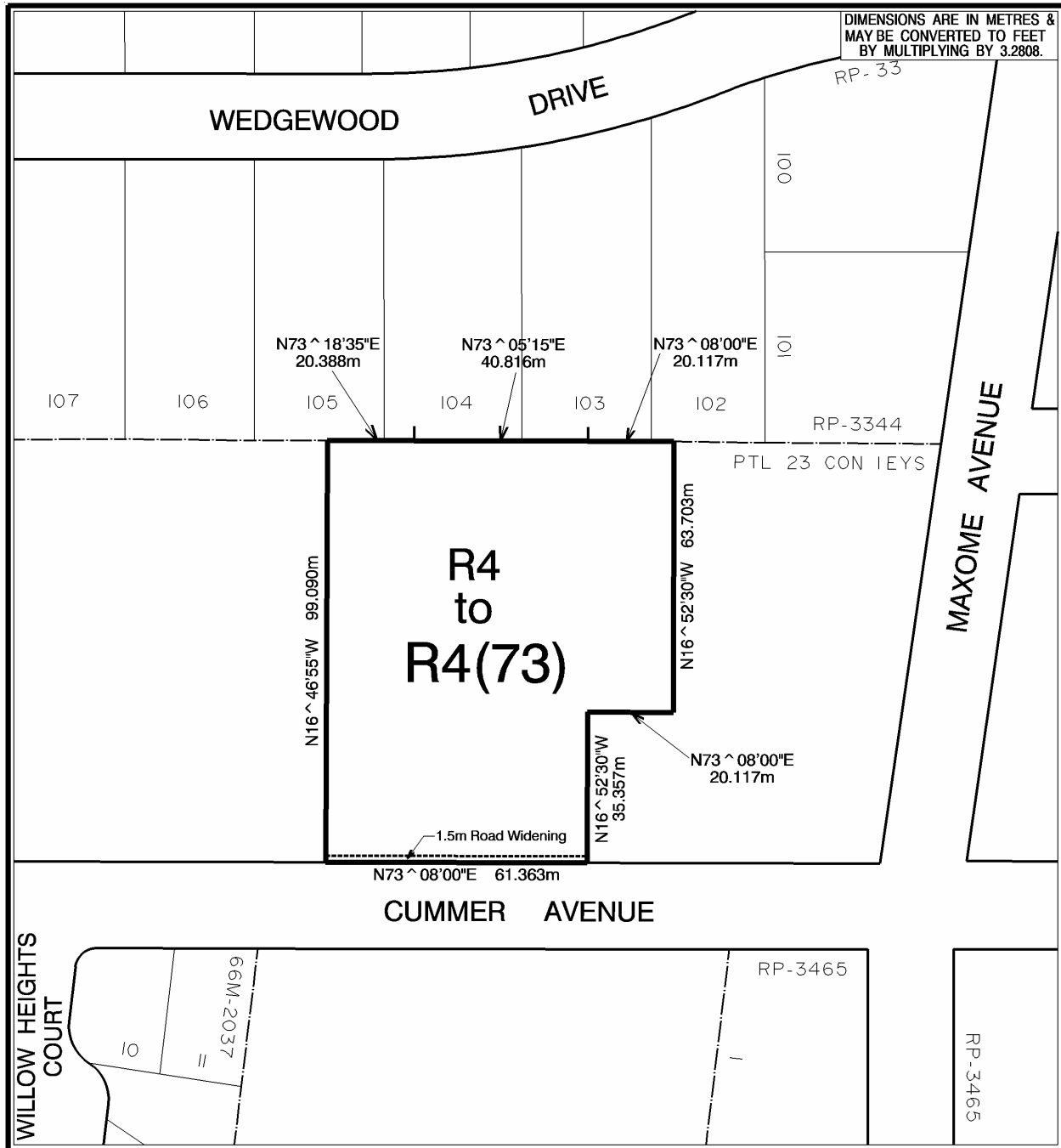
“64.13(73) R4(73)

EXCEPTION REGULATIONS

- (a) The maximum number of dwelling units shall be 12.
- (b) The minimum lot frontages and lot widths shall be as shown on Schedule “R4(73)”.
- (c) The minimum yard setbacks shall be as shown on Schedule “R4(73)”.
- (d) The minimum lot areas shall be as shown on Schedule “R4(73)”.
- (e) The maximum lot coverages shall be as shown on Schedule “R4(73)”.
- (f) The maximum building height shall be 9.1m and 2 storeys, which ever is lesser, for dwellings on Lots 1, 2, 3, 4, 9, 10, 11 and 12.
- (g) The maximum building height shall be 9.1m and 3 storeys, which ever is lesser, for dwellings on Lots 5, 6, 7 and 8.
- (h) The maximum first floor elevation shall be 1.8m for dwellings Lots 1, 2 and 12.
- (i) The maximum first floor elevation shall be 2.3m for dwellings on Lots 3, 4, 9, 10 and 11.
- (j) The maximum first floor elevation shall be 2.9m for dwellings of Lots 5, 6, 7 and 8.

- (k) Each parking space on site shall have a minimum width of 2.7m and a minimum length of 5.5m and shall be accessible to the satisfaction of the Commissioner of Works and Emergency Services, in accordance with the former City of North York Zoning By-law No. 7625, as amended. All parking spaces shall be located entirely on the lot.
- (l) For Lots 2 and 12, the maximum driveway width shall be 4.5m and the distance from the south edge of the driveway to the conveyed 1.5m road widening shall be a minimum of 0.6 metres.
- (m) For the purpose of calculating lot coverage for Lots 2 and 12 only, the lot areas which include the 0.3m reserve, shall be 541.6m² and 419.6 m² respectively.”

PURSUANT TO THE DECISION/ORDER NO. 1861 OF THE ONTARIO MUNICIPAL BOARD ISSUED ON DECEMBER 2, 2004 IN BOARD CASE NO. PL020991.

SCHEDULE "1"

This is Schedule " 1 " to By-Law _____
 passed the _____ day of _____, 20 ____

(Sgd.)

CLERK

(Sgd.)

MAYOR

Location: Part of Lot 23, Concession 1, E.Y.S., City of Toronto

File: TB ZBL 2002 0015 &
TB SUB 2002 0003

Prepared by: A.A.

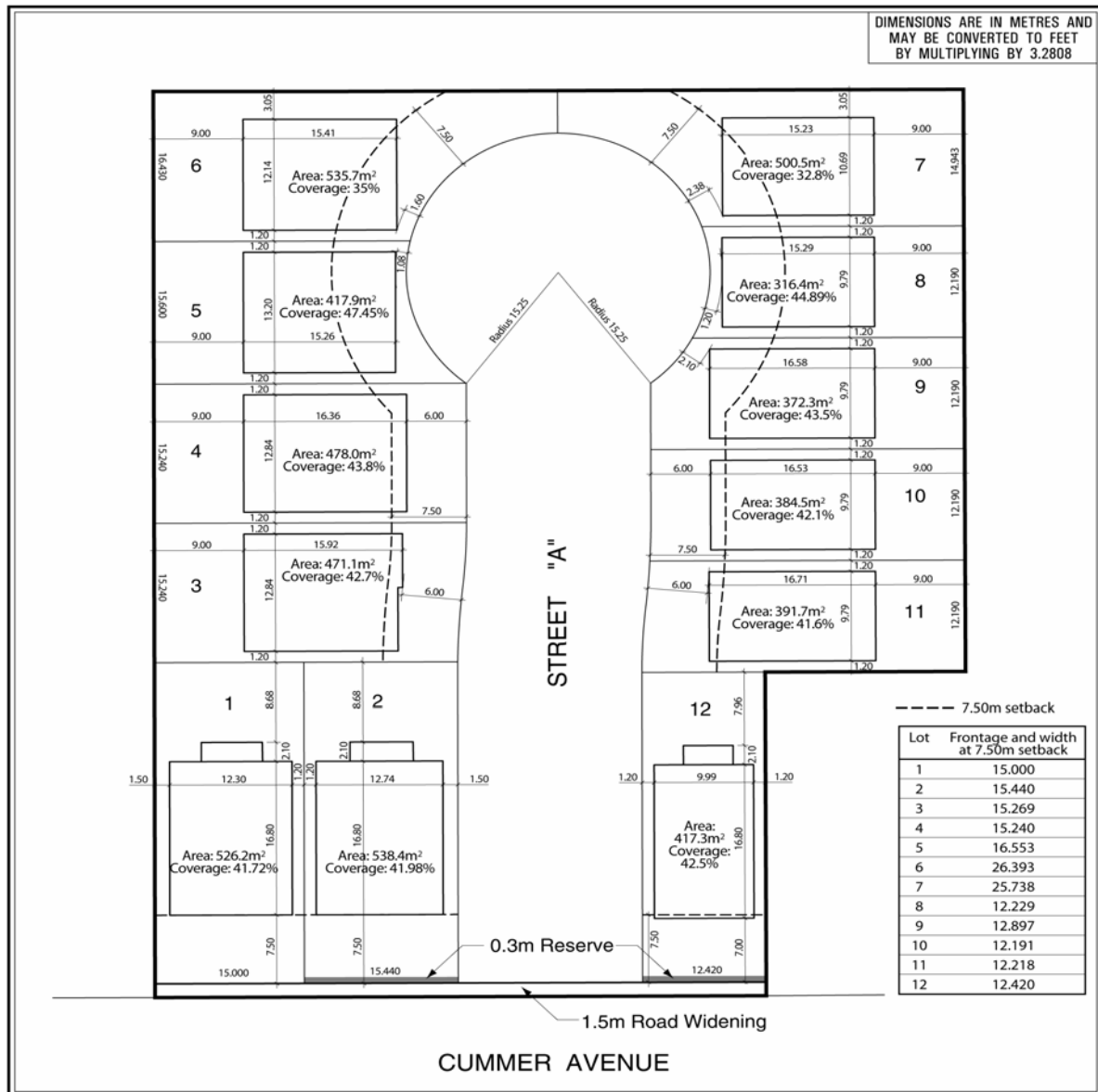
Approved by: E.S.

Date: APRIL 5, 2004

Filename: R4(73)_1

Source: Zoning, By-Law, Lot Line, Street Line and Street Name Data - City of Toronto, City Planning Division, North District.
 Street lines represent street dedications/road allowances and do not represent actual as-built curb lines of streets.



SCHEDULE "R4(73)"

This is Schedule " R4(73) " to By-Law _____
passed the _____ day of _____, 20 ____

(Sgd.)

CLERK

(Sgd.)

MAYOR



Location: Part of Lot 23, Concession 1, E.Y.S., City of Toronto

File No. TB ZBL 2002 0015 & TB SUB 2002 0003

Prepared by: A.K.

Approved by: E.S.

Date: August 17, 2004

Filename: R4(73).ai

Source: Zoning, By-Law, Lot Line, Street Line and Street Name Data - City of Toronto, City Planning Division, North District.
Street lines represent street dedications/road allowances and do not represent actual as-built curb lines of streets.