

CITY OF TORONTO

BY-LAW No. 736-2005(OMB)

To amend former City of North York Zoning By-law No. 7625, as amended, with respect to the lands located on the west side of Dufferin Street/Beffort Road.

WHEREAS the Ontario Municipal Board by way of Order No. 1872, issued on July 18, 2005, determined to amend former City of North York Zoning By-law No. 7625, as amended, with respect to lands located on the west side of Dufferin Street/Beffort Road;

NOW THEREFORE, the Ontario Municipal Board enacts as follows:

1. Schedules “B” and “C” of By-law No. 7625 of the former City of North York are amended in accordance with Schedule “1” of this By-law.
2. Section 64.14-A of By-law No. 7625 is amended by adding the following subsection:

64.14-A(15) R6(15)

DEFINITIONS

- (a) For the purpose of this exception, a “lane” shall mean a public or privately owned highway intended or used by the general public for the passage of vehicles and which affords primary means of access to abutting lots, but which is not intended for general traffic circulation.
- (b) For the purpose of this exception, the “front lot line” shall be the following:
 - (i) for Lots 2 to 6, as shown on Schedule “R6(15)”, the lot line abutting Keswick Road;
 - (ii) for Lots 7 to 11, as shown on Schedule “R6(15)”, the lot line abutting Beffort Road;
 - (iii) for Lots 12 to 16 and 59*, as shown on Schedule “R6(15)”, the lot line abutting Keswick Road;
 - (iv) for Lots 43 to 46, as shown on Schedule “R6(15)”, the lot line abutting Powell Road; and
 - (v) for Lots 50 to 55, as shown on Schedule “R6(15)”, the lot line abutting Hanover/Beffort Road.

PERMITTED USES

- (c) The only permitted use shall be one-family detached dwellings and accessory buildings.

EXCEPTION REGULATIONS

(d) Lot Area:

The minimum lot area permitted for lands shown as Lots 2 to 6, 10, 11, 14 to 16, 24, and 43 to 46 on Schedule "R6(15)" shall be 340 m².

(e) Lot Coverage:

- (i) The maximum lot coverage for those lands shown as Lots 2 to 11, 14 to 16, 24 and 43 to 57 on Schedule "R6(15)" shall be 50%; and
- (ii) The maximum lot coverage for those lands shown as Lots 1, 12, 13, 17 to 23, and 25 to 42, 58*, 59* on Schedule "R6(15)" shall be 45%.

(f) Front Yard Setbacks:

- (i) The minimum front yard setback for those lands shown as Lots 2 to 11, 43 to 46, and 50 to 55 on Schedule "R6(15)" shall be 3.0 metres; and
- (ii) The minimum front yard setback for those lands shown as Lots 16, 47 to 49, 56, and 57 on Schedule "R6(15)" shall be 4.5 metres.

(g) Rear Yard Setbacks:

- (i) The minimum rear yard setback permitted for those lands shown as Lot 16 on Schedule "R6(15)" shall be 3.0 metres;
- (ii) The minimum rear yard setback permitted for those lands shown as Lot 11 on Schedule "R6(15)" shall be 4.5 metres;
- (iii) The minimum rear yard setback permitted for those lands shown as Lot 15 on Schedule "R6(15)" shall be 6.0 metres;
- (iv) The minimum rear yard setback for those lands shown as Lots 47 to 49 on Schedule "R6(15)" shall be 7.5 metres;
- (iv) The minimum rear yard setback for those lands shown as Lot 56 on Schedule "R6(15)" shall be 9.0 metres; and
- (vi) The minimum rear yard setback for units with rear garages that abut a lane shall be 0.5 metres.

(h) Dwelling Length:

- (i) The maximum dwelling length shall be 22.5 metres; and
- (ii) For those units that abut a lane and have attached rear garages the maximum dwelling length shall be 29.0 metres.

(i) Building Height:

The maximum building height shall be:

- (i) 8.7 metres and 2 storeys for a dwelling with a flat roof; and
- (ii) 9.14 metres and 2 storeys for a dwelling with any other type of roof.

(j) Accessory Garage:

- (i) Where a lane exists at the rear of the lot, the accessory garage may be located 0.5 metres from the rear lot line; and
- (ii) The minimum side yard setback of the garage may be 0.6 metres.

(k) Vehicular Access and Parking:

For those lands shown as Lots 2 to 11, 43 to 46, and 50 to 55 on Schedule “R6(15)” all required parking spaces shall be located in the rear yard, accessed only by means of the lane.

(l) Landscaped Open Space:

For Lots 1 to 16, 43 to 57, and 59*, as shown on Schedule “R6(15)”, no more than 70% of the area located between the front lot line and the front wall(s) of the building shall be covered with hard surfaces.

(m) Park:

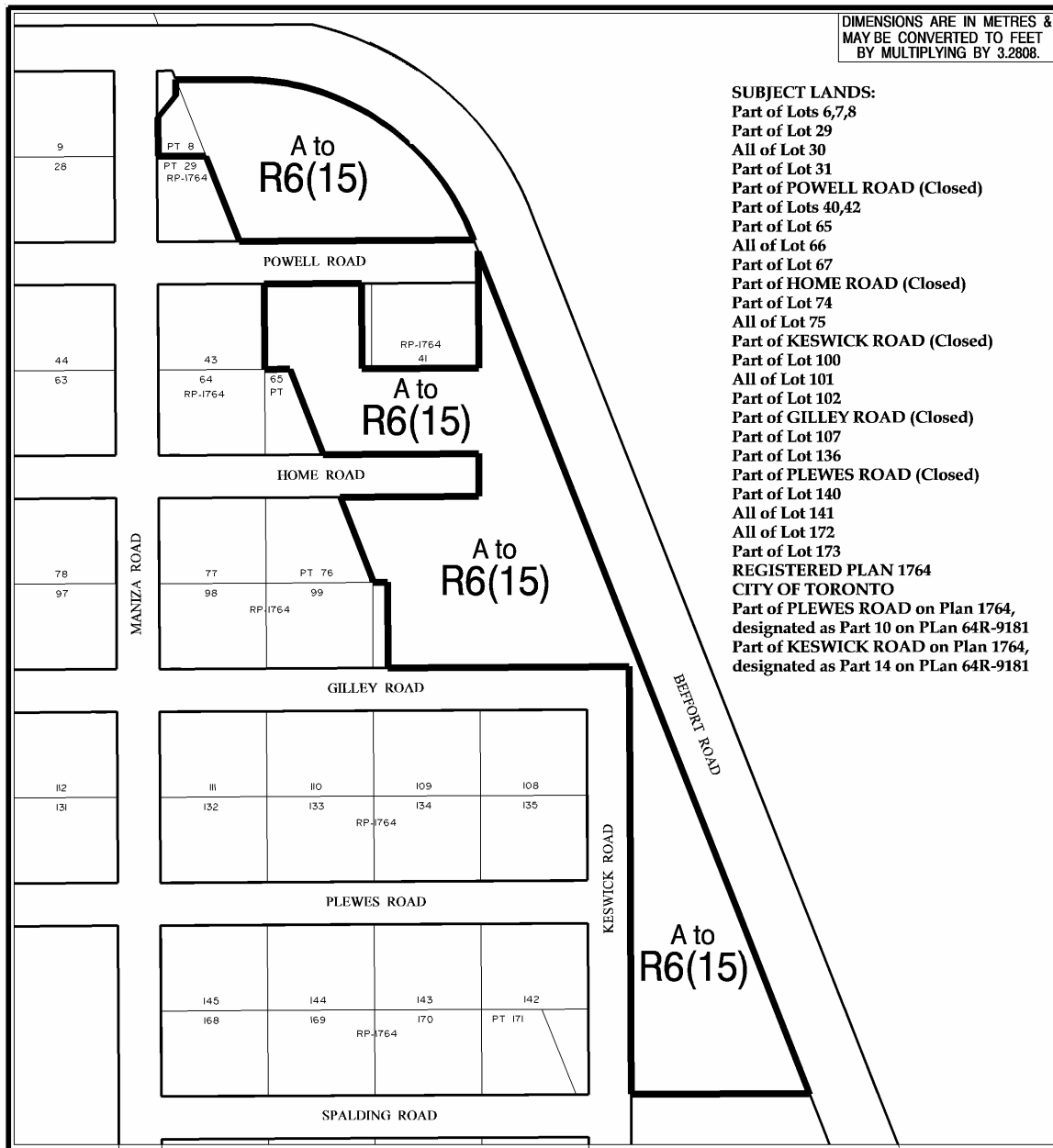
Those lands shown as Block 59 on Schedule “R6(15)” shall be used for park purposes.

Notwithstanding any defined terms to the extent modified by this By-law and the provisions noted herein, all other provisions and defined terms of the former City of North York By-law No. 7625, as amended, continue to apply.

NOTE:

Those lands shown with an asterisk (*) on Schedule “R6(15)”, and those Lots followed by an asterisk within the text of the By-law, shall form part of the By-law after they have been successfully acquired and incorporated into the plan.

**PURSUANT TO THE DECISION/ORDER NO. 1872 OF THE ONTARIO MUNICIPAL BOARD
ISSUED ON JULY 18, 2005 IN BOARD CASE NO. PL050162.**

SCHEDULE "1"

This is Schedule "1" to By-Law _____
 passed the _____ day of _____, 20 ____

(Sgd.)

CLERK

(Sgd.)

MAYOR

Location: Lots as listed above

File: 03_035321

Prepared by: A.K.

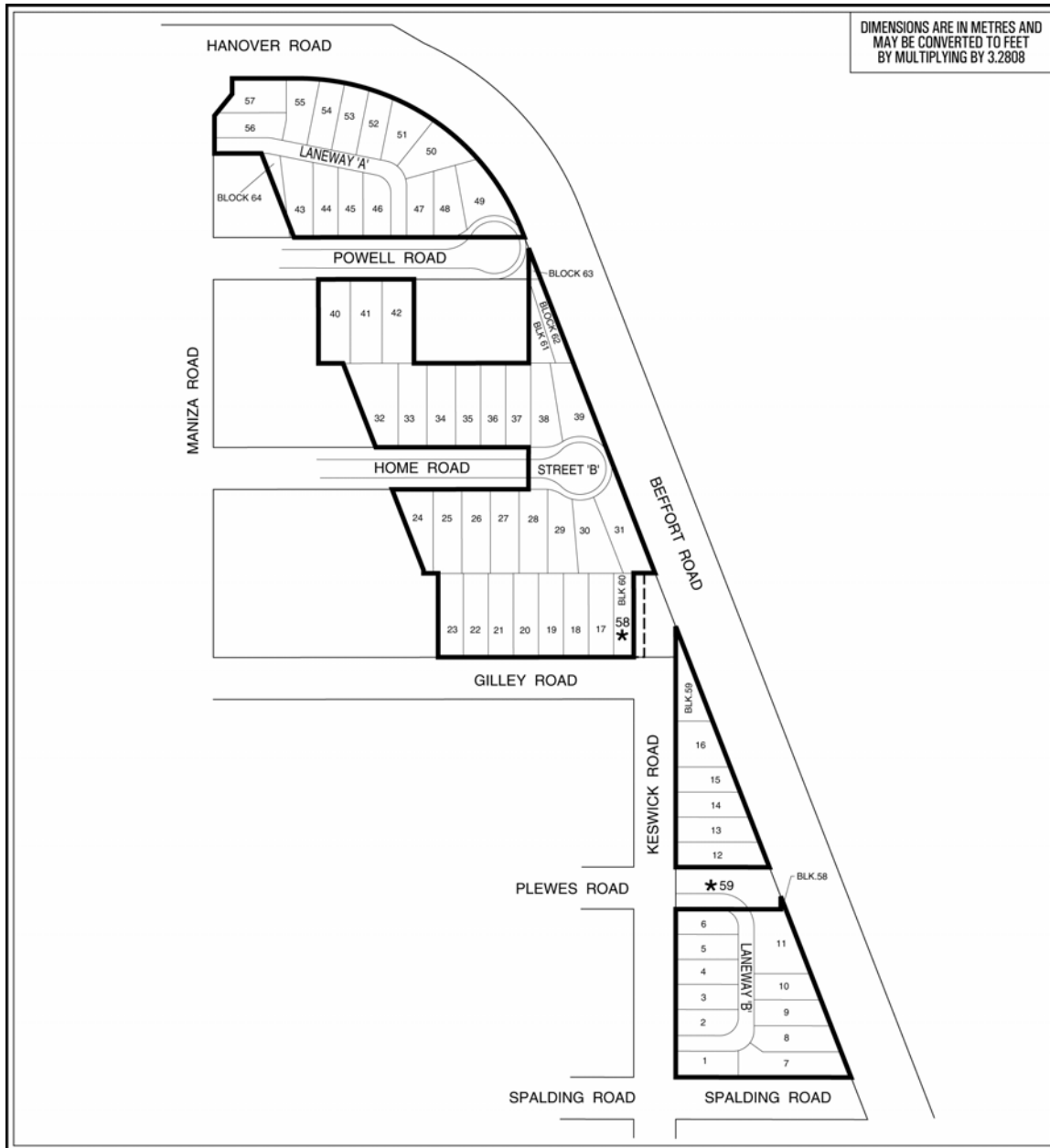
Approved by: M.P.

Date: July 7, 2005

Filename: R6(15)_1_OMB

Source: Zoning, By-Law, Lot Line, Street Line and Street Name Data - City of Toronto, City Planning Division, North District.
 Street lines represent street dedications/road allowances and do not represent actual as-built curb lines of streets.



SCHEDULE "R6(15)"

This is Schedule "R6(15)" to Bylaw _____
passed the _____ day of _____, 20__

(Sgd.) _____ (Sgd.) _____
CLERK MAYOR

Toronto
City Planning Division
Community Planning North

 
Subject Lands Not to Scale

File No: 03_035321

Drawn by: A.K.

Approved by: M.P.

Date: July 7, 2005

Filename: R6(15)_OMB.ai