

# CITY OF TORONTO

## BY-LAW No. 896-2007(OMB)

**To amend the former City of Scarborough Centennial Community Zoning By-law No. 12077, as amended, with respect to lands municipally known as 27, 29, 31 and 35 Meadowvale Road (and the former rear of 37 Meadowvale Road and 25 Wanita Road).**

WHEREAS the Ontario Municipal Board, by way of Order No. 1226 issued on May 3, 2007 and Order No. 1620 issued on June 12, 2007, following an appeal pursuant to Section 34(11) of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, determined to amend By-law No. 12077, as amended, of the City of Toronto with respect to lands municipally known as 27, 29, 31 and 35 Meadowvale Road;

NOW THEREFORE, the Ontario Municipal Board orders as follows:

1. **Schedule “A”** of the Centennial Community Zoning By-law is amended by deleting the current zoning for the lands outlined on the attached Schedule ‘1’ and replacing it with the following zoning as shown on the attached Schedule ‘1’:

S – 1 – 30 – 48 – 58E – 66 – 120 – 149 – 158 – 358

P

2. Schedule “B”, **PERFORMANCE STANDARD CHART**, is amended by adding Performance Standards 58E and 358 as follows:

### **SIDE YARD**

58E. Minimum 1.2 m from one side and 0.6 m from the other side with a minimum of 1.8 m between **dwelling units**.

### **FLOOR AREA**

358. Maximum total **floor area** per **dwelling unit** of 0.65 x lot area for lots less than 690 square metres and a maximum total **floor area** per **dwelling unit** of 0.5 x lot area for lots 690 square metres and larger.

3. Schedule “C”, **EXCEPTIONS LIST**, is amended by adding the following Exception Nos. 36, 37 and 38 to the lands as shown on Schedule ‘2’ as follows:

36. No person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:

- (i) all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway, and
- (ii) all water mains and sanitary sewers, and appropriate appurtenances, have been installed and are operational.

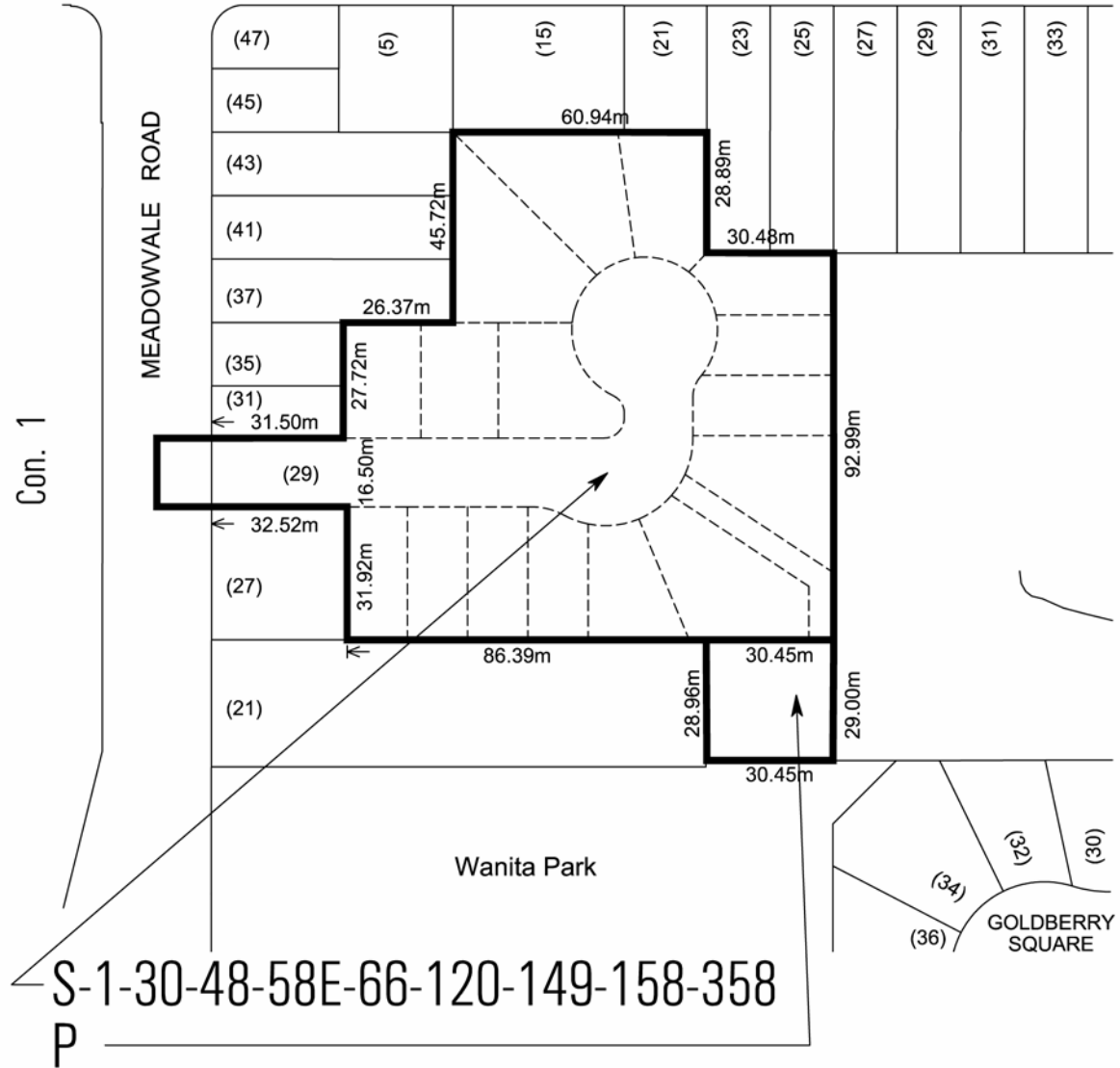
37. Notwithstanding the side yard setback provision of this By-law a minimum 3.9 metre side yard setback shall be required adjacent to the east lot line.
38. Notwithstanding **CLAUSE V (f) Definitions**, the lot shall be deemed to be a corner lot and the front lot line shall be deemed to be the straight portion of the southern lot line.

PURSUANT TO ORDER/DECISION NO. 1226 ISSUED MAY 3, 2007 AND ORDER/DECISION NO. 1620 ISSUED JUNE 12, 2007 OF THE ONTARIO MUNICIPAL BOARD IN BOARD FILE NO. PL061191.

**Schedule '1'**

Lot 4

WANITA ROAD



**Toronto** City Planning Division  
**Zoning By-Law Amendment**

27-35 Meadowvale Road

File # 06-128381 0Z

 Area Affected By This By-Law

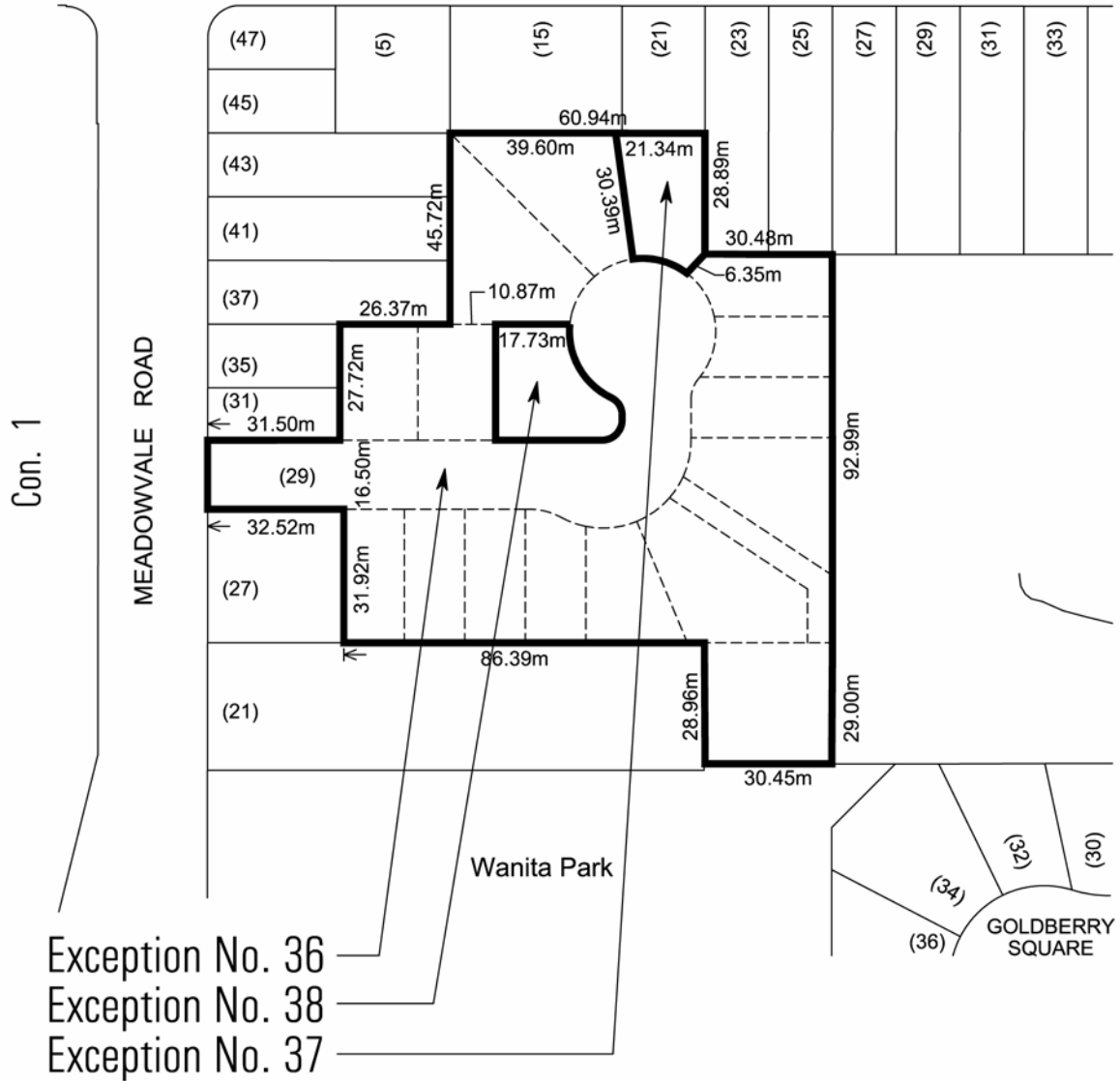
Centennial Community By-law  
 Not to Scale  
 6/29/07



**Schedule '2'**

Lot 4

WANITA ROAD



**Toronto** City Planning Division  
**Zoning By-Law Amendment**

27-35 Meadowvale Road

File # 06-128381 0Z



Area Affected By This By-Law

Centennial Community By-law  
 Not to Scale  
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