

Authority: Scarborough Community Council Item 8.36,
as adopted by City of Toronto Council on September 26 and 27, 2007
Enacted by Council: September 27, 2007

CITY OF TORONTO

BY-LAW No. 1019-2007

**To amend former City of Scarborough Rouge Community Zoning By-law No. 15907,
as amended, with respect to lands municipally known as 262 Dean Park Road.**

WHEREAS authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. **SCHEDULE “A”** of the Rouge Community By-law is amended by deleting the existing Agricultural Uses (AG) Zone designation on the lands outlined on the attached Schedule ‘1’ and replacing it with the following zone category and performance standards so that the amended zoning reads as follows:

S-1-113-225-331-400-479-481

S-1-113-225-331-400-479-480

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2. **SCHEDULE “B”, PERFORMANCE STANDARDS CHART** of the Rouge Community By-law, is amended by adding:

MISCELLANEOUS

479. Height of dwellings shall not exceed 10 metres and 2 storeys.

480. One single family dwelling per lot as shown on Registered Plan having a minimum frontage of 9.70 metres on a public street and a minimum area of 290 square metres.

481. One single family dwelling per lot as show on a Registered Plan having a minimum frontage of 12.50 metres on a public street and a minimum area of 375 square metres.

3. **SCHEDULE “C” EXCEPTIONS MAP** of the Rouge Community By-law, is amended by deleting Exception Number 33 and replacing it with Exception Number 45 with respect to the lands outlined on the attached Schedule ‘2’.

4. SCHEDULE “C” EXCEPTIONS LIST of the Rouge Community By-law, is amended by adding the following Exception Number 45 to the lands outlined on the attached Schedule ‘2’:

45. No person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:
- (a) all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway, and
 - (b) all water mains and sanitary sewers, and appropriate appurtenances, have been installed and are operational.

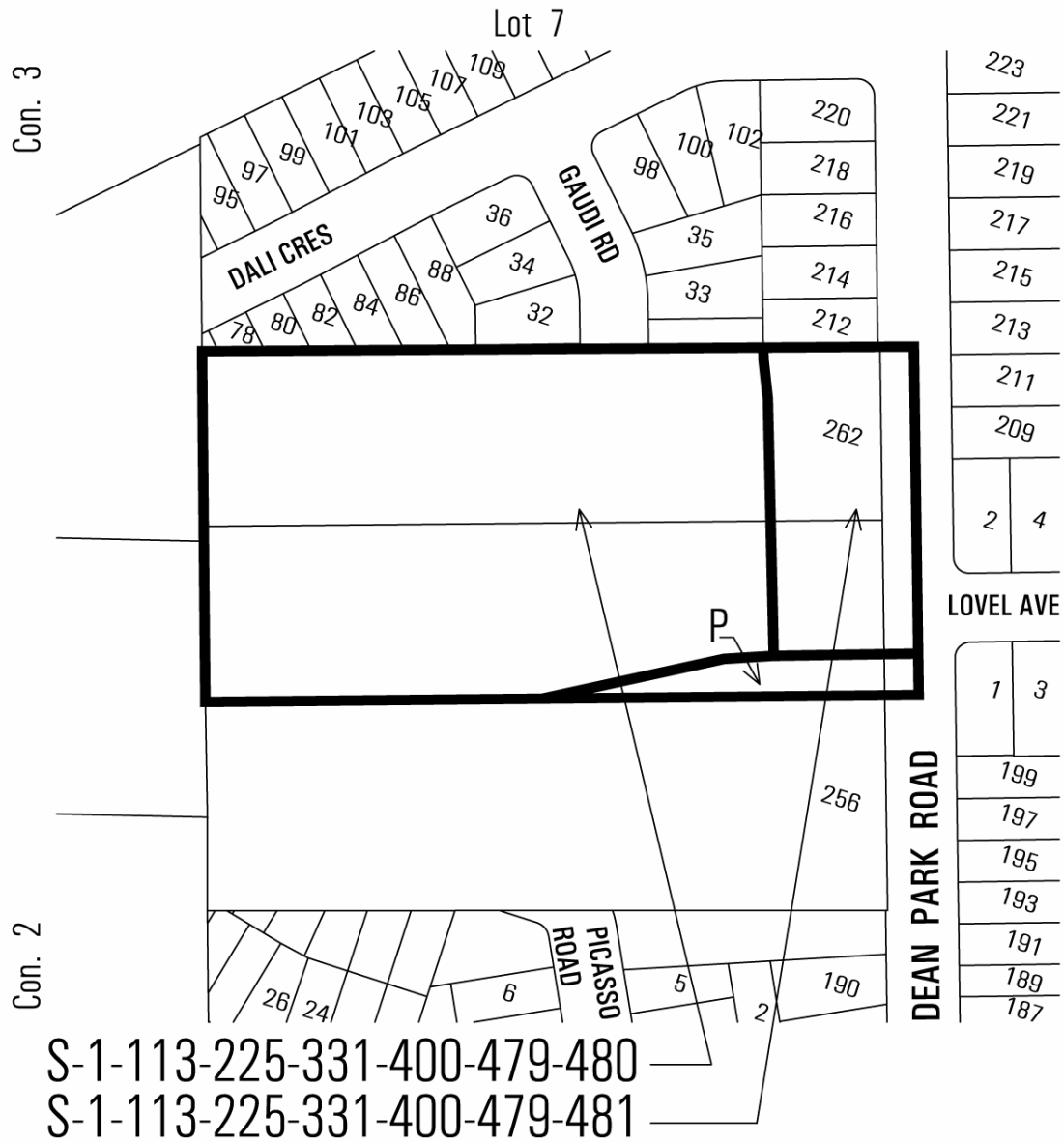
ENACTED AND PASSED this 27th day of September, A.D. 2007.

SANDRA BUSSIN,
Speaker

ULLI S. WATKISS
City Clerk

(Corporate Seal)

Schedule '1'



Zoning By-Law Amendment

262 Dean Park Road

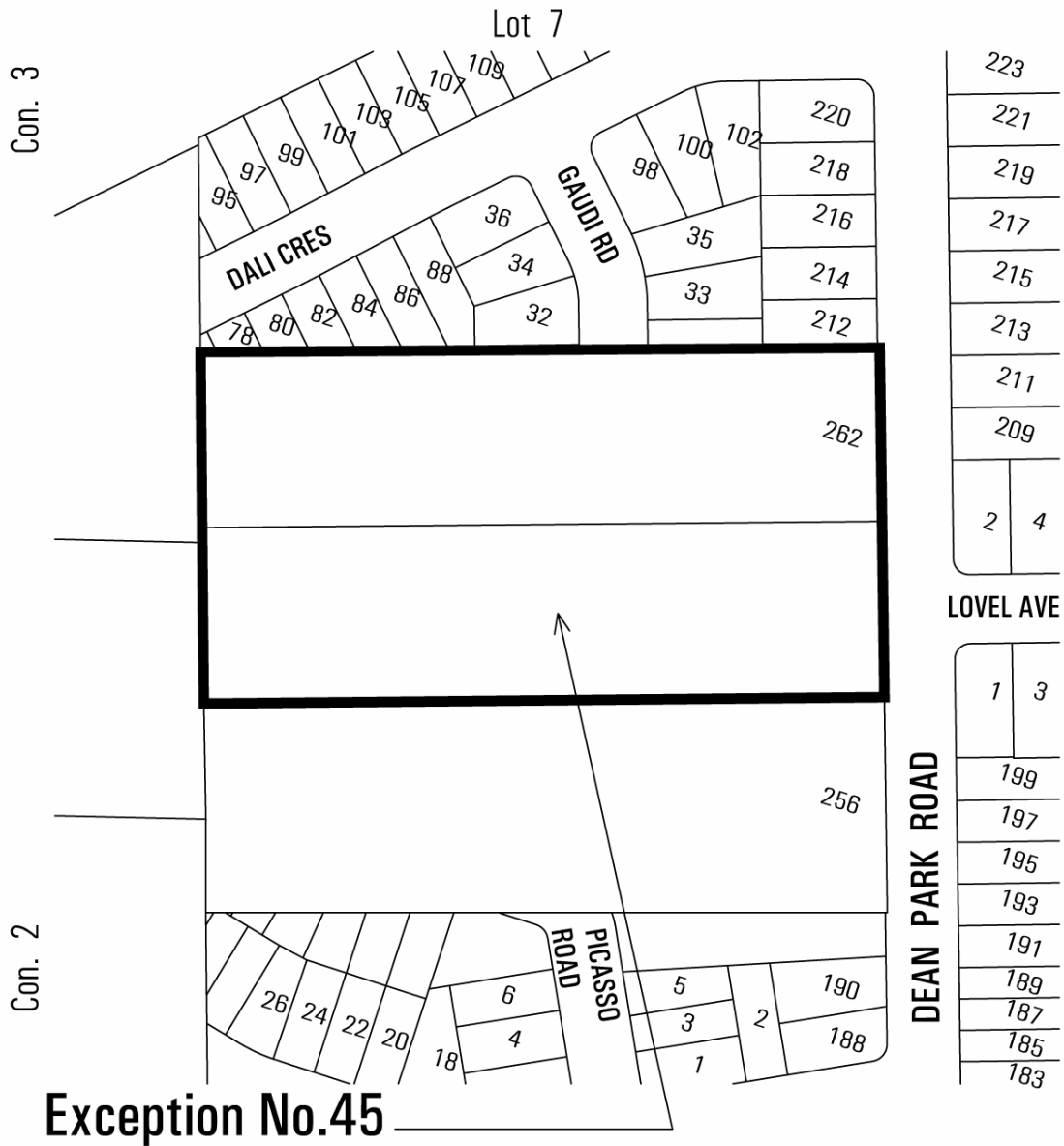
File # 07-101100 OZ and 07-101103 SB



Area Affected By This By-Law

Rouge Community Bylaw
Not to Scale
09/07/07

Schedule '2'



Toronto City Planning Division
Zoning By-Law Amendment

262 Dean Park Road
 File # 07-101100 OZ and 07-101103 SB



Area Affected By This By-Law

Rouge Community Bylaw
 Not to Scale
 09/07/07

