

Authority: Scarborough Community Council Item 11.25,  
as adopted by City of Toronto Council on December 11, 12 and 13, 2007  
Enacted by Council: December 13, 2007

**CITY OF TORONTO**

**BY-LAW No. 1379-2007**

**To adopt Amendment No. 39 to the Official Plan of the City of Toronto with respect to  
lands municipally known as 2055 Kennedy Road.**

WHEREAS authority is given to Council under the *Planning Act*, R.S.O. 1990, c.P. 13, as amended,  
to pass this By-law; and

WHEREAS the Council for the City of Toronto, at its meeting of December 11, 12 and 13, 2007,  
determined to amend the Official Plan for the City of Toronto adopted by By-law No. 1082-2002;  
and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has  
held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. Amendment No. 39 to the Official Plan for the City of Toronto, consisting of the attached  
text and maps is hereby approved.
2. This By-law shall come into force and effect upon the By-law becoming final under the  
provisions of the *Planning Act*.

ENACTED AND PASSED this 13th day of December, A.D. 2007.

GLORIA LINDSAY LUBY,  
Deputy Speaker

ULLI S. WATKISS  
City Clerk

(Corporate Seal)

**OFFICIAL PLAN AMENDMENT No. 39**

**TO THE CITY OF TORONTO OFFICIAL PLAN**

The Official Plan of the City of Toronto is amended as follows:

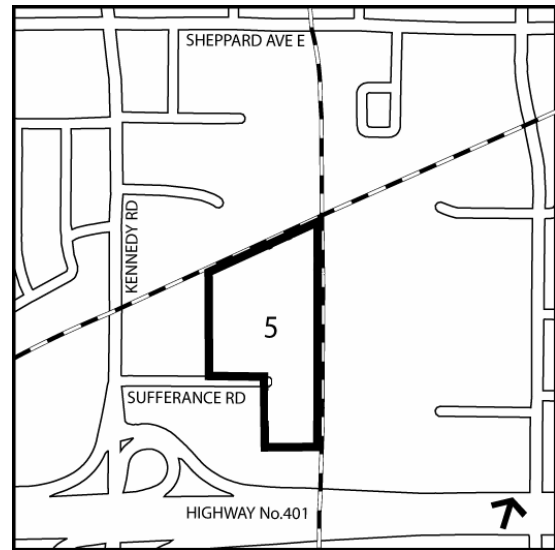
1. Map 19, Land Use Plan, is amended by deleting the existing designations from the lands municipally known in 2007 as 2055 Kennedy Road and replacing them with the *Apartment Neighbourhoods, Employment Areas* and *Parks and Open Space Areas (Parks)* designations, as shown on the attached Schedule '1'.
2. Chapter 6, Secondary Plans, Section 1, Agincourt Secondary Plan, Policy 3.1 is hereby deleted and replaced as follows:
  - 3.1 Densities shown on Map 1-2 assume a number of road improvements including one or more of the following: the widening of Sheppard Avenue, north-south connection from Bonis Avenue to Sheppard Avenue, extension of Reidmount Avenue south to Sufferance Road, extension of Lamont Avenue south to connect with Emblem Court, east-west connection from Lamont Avenue to Midland Avenue and the easterly extension of Sufferance Road to the CNR/GO Transit rail tracks.
3. Chapter 6, Secondary Plans, Section 1, Agincourt Secondary Plan, Map 1-1, Urban Structure Plan, is amended as follows:
  - a. by depicting the revised proposed road pattern for the lands subject to Site and Area Specific Policy 5 as shown on the attached Schedule '2';
  - b. by deleting the proposed easterly extension of Sufferance Road to Midland Avenue via Emblem Court; and
  - c. by depicting a re-alignment of the proposed Reidmount Avenue extension from Sheppard Avenue to Sufferance Road, south of Cowdray Court, as shown on the attached Schedule '2'.
4. Chapter 6, Secondary Plans, Section 1, Agincourt Secondary Plan Map 1-2, Maximum Densities Pre-Subway, is amended as follows:
  - a. by deleting the proposed easterly extension of Sufferance Road to Midland Avenue via Emblem Court;
  - b. by depicting a re-alignment of the proposed Reidmount Avenue extension from Sheppard Avenue to Sufferance Road, south of Cowdray Court, as shown on the attached Schedule '3'; and
  - c. by deleting Maximum Residential Density permissions from the lands subject to Site and Area Specific Policy 5 as shown on the attached Schedule '3'.

5. Chapter 6, Secondary Plans, Section 1, Agincourt Secondary Plan, Policy 6, Site and Area Specific Policies, is amended by deleting Site and Area Specific Policy No. 5 for the lands located at the terminus of Sufferance Road, north and south of Sufferance Road, municipally known in 2007 as 2055 Kennedy Road, and replacing it as follows:

**5. Lands located at the terminus of Sufferance Road, north and south of Sufferance Road, municipally known in 2007 as 2055 Kennedy Road.**

For the lands shown as 5 on Map 1-1:

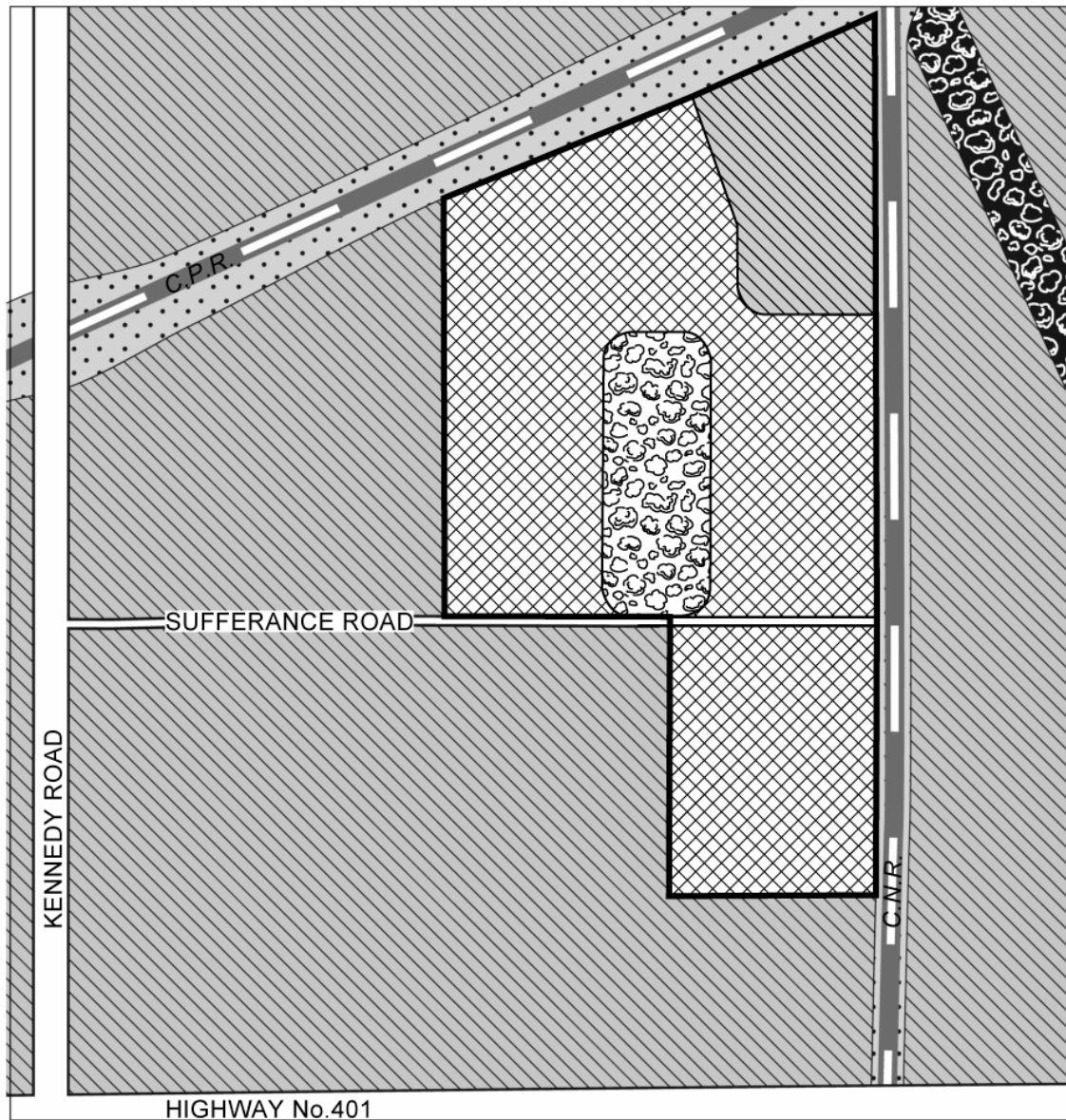
- (a) re-development of the lands, including preparation of draft plans of subdivision or condominium, conditions of approval of such plans, zoning by-laws, consents to sever and site plan approvals, will be done in accordance with the Metrogate Agincourt Redevelopment Urban Design Guidelines that are to be read in conjunction with the built form policies of the Official Plan;
- (b) maximum overall density of development is not to exceed 3.0 times the site area;
- (c) maximum residential density of development is not to exceed 2.5 times the site area;
- (d) a maximum of 2,100 dwelling units are permitted; and
- (e) detached and semi-detached dwellings are not permitted.



6. Schedule 2, The Designation of Planned but Unbuilt Roads, is amended by deleting the proposed road link between Sufferance Road and Emblem Court and replacing it with the following:

Street Name	From	To
Sufferance Road	Sufferance Road (existing terminus)	CNR/GO Transit rail tracks

## Schedule '1'




**Toronto** City Planning

## Official Plan Amendment # 39

Amendment to Land Use Plan, Map 19 to Redesignate lands

2055 Kennedy Road

 Site Location - Land Use Plan is hereby amended by designating the lands known as 2055 Kennedy Road as Apartment Neighbourhoods, Employment Areas and Parks and Open Space Areas (Parks) as shown.

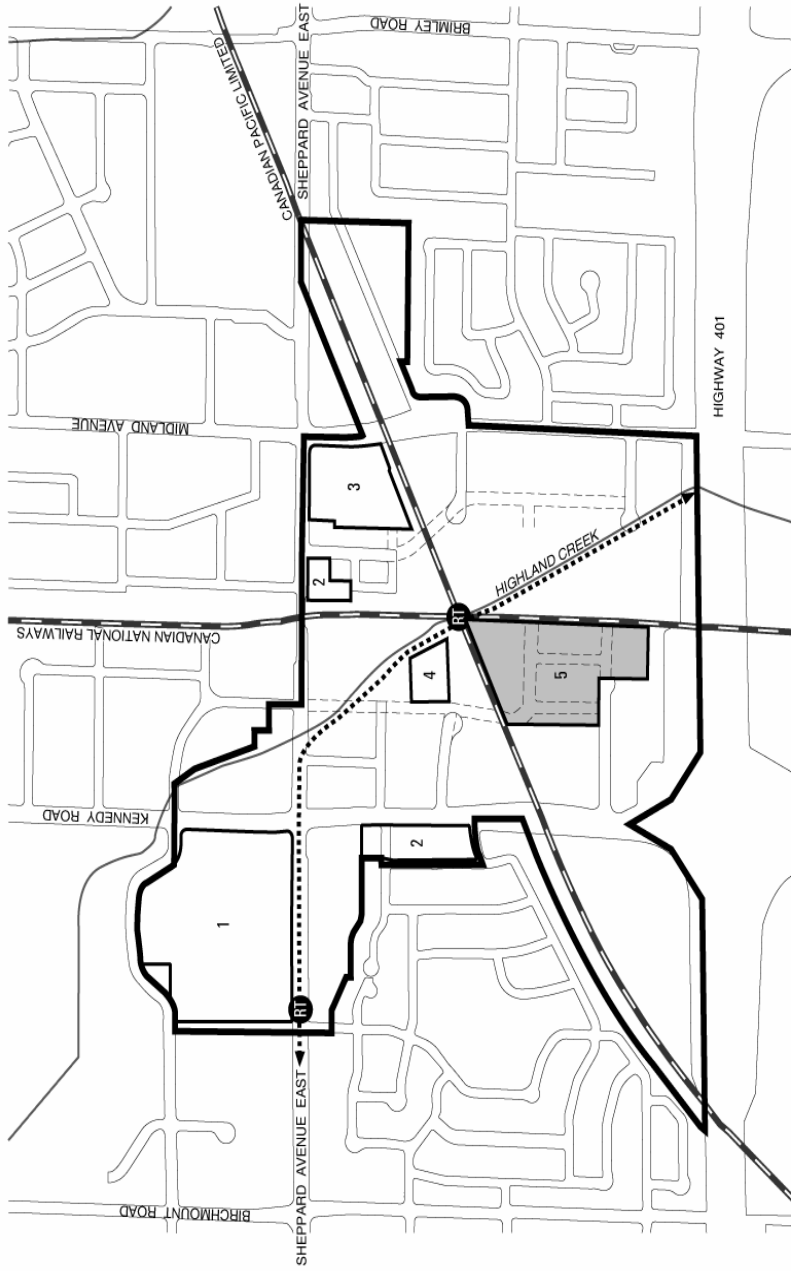
 Neighbourhoods  
 Apartment Neighbourhoods

Parks & Open Spaces Areas  
 Natural Areas  
 Parks

 Employment Areas  
 Utility Corridors

  
 Not to Scale  
 10/17/07

Schedule '2'



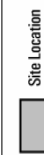
City Planning

## Official Plan Amendment #39

Amendments to depict future roads

## Agincourt Secondary Plan

MAP 1-1 Urban Structure Plan



Site Location

Secondary Plan Boundary

Site and Area Specific Policies

Proposed Road

Proposed Rapid Transit

Proposed Rapid Transit Station

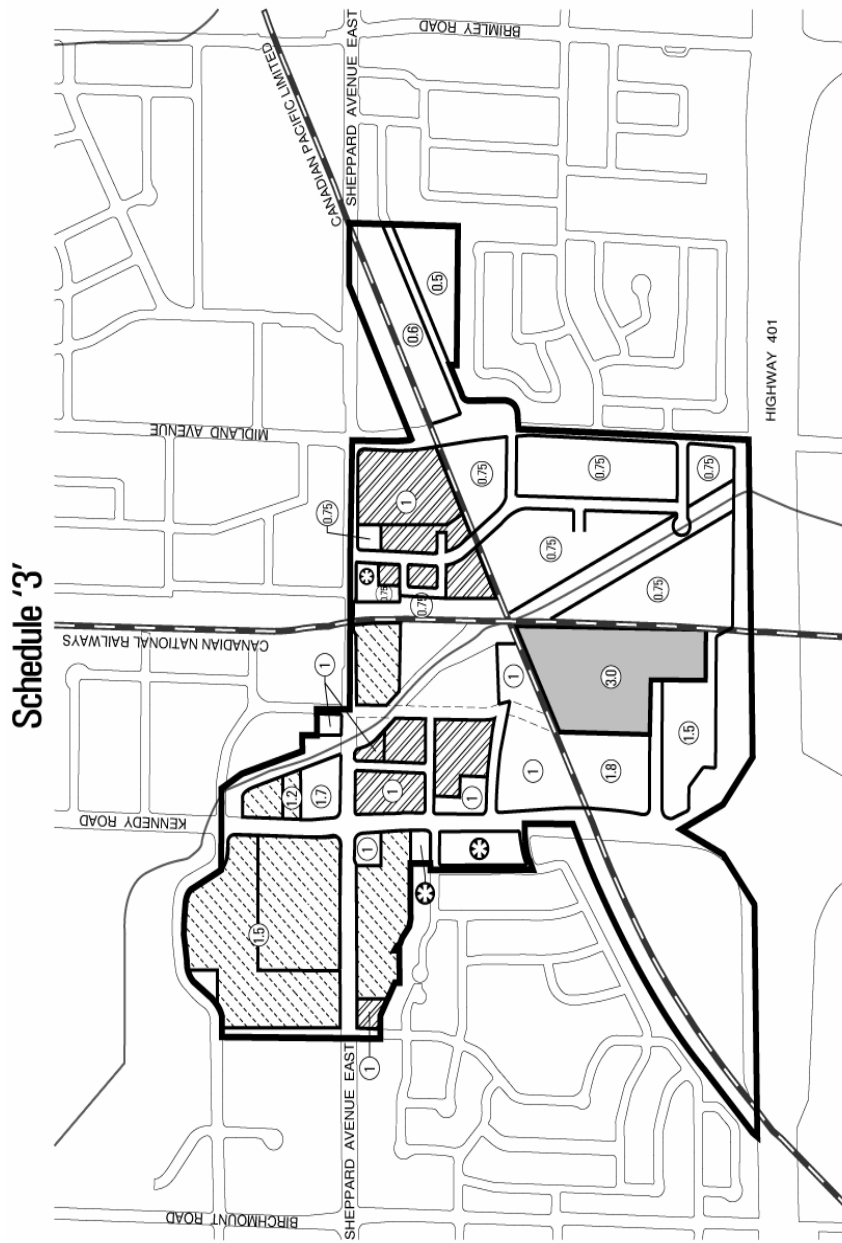
Railway

Highland Creek

## 2055 Kennedy Road

File # 06-186899 02

Note to Scale  
10/24/07

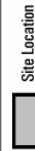


## Schedule '3'



## Official Plan Amendment #39

Amendment to depict future roads and to remove maximum residential density permissions from Site and Area Specific Policy 5 as shown on Map 1-1



Site Location



## Secondary Plan Boundary


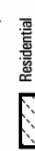
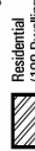
 Residential  
(150 Dwelling Units per Hectare) Residential  
(100 Dwelling Units per Hectare)

Figure Shown Equals Floor Area of all  
Uses Combined on Site Divided by the Site Area  
For Residential Density See

**\* Site and Area Specific Policies on Map 1-1**  
For Residential Density See


Railway

Highland Creek

# Agincourt Secondary Plan

### MAP 1-2 Maximum Densities Pre-Subway

2055 Kennedy Road

File # 06-186899 0Z



Note to Scale  
10/17/07