

Authority: Scarborough Community Council Item 11.28,
as adopted by City of Toronto Council on December 11, 12 and 13, 2007
Enacted by Council: December 13, 2007

CITY OF TORONTO

BY-LAW No. 1381-2007

To amend City of Toronto Zoning By-law No. 950-2005, the Warden Woods Community Zoning By-law; Zoning By-law No. 842-2004, the Midland/St. Clair Community Zoning By-law; Scarborough Zoning By-law No. 8786, the Birchcliff Community Zoning By-law; Zoning By-law No. 10010, the Scarborough Village Community Zoning By-law; Zoning By-law No. 12797, the Agincourt North Community Zoning By-law; Zoning By-law No. 12077, the Centennial Community Zoning By-law; Zoning By-law No. 10048, the Eglinton Community Zoning By-law; Zoning By-law No. 9396, the Cliffcrest Community Zoning By-law; Zoning By-law No. 17677, the Milliken Community Zoning By-law; Zoning By-law No. 10327, the West Hill Community Zoning By-law; Scarborough Employment Districts Zoning By-law No. 24982, the Milliken Employment District; the Progress Employment District; and the Rouge Employment District.

WHEREAS authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. The Warden Woods Community Zoning By-law No. 950-2005, is amended as follows:
 - 1.1 **PERFORMANCE STANDARD CHART – SCHEDULE “B”**, is amended by adding the following performance standards:

HEIGHT

154. Minimum 3 **storeys** and maximum 8 **storeys** for **apartment buildings**. Maximum 13 m and 3 **storeys** for **townhouse dwellings**, as measured from the average finished grade along the **main wall** of the **dwelling unit** facing any **street** line.

MISCELLANEOUS

216. The threshold of **building** entrances (excluding garage doors) facing Warden Avenue shall not be lower than the finished grade of the pedestrian walkway at the **street** line leading to the entrance.
217. The **street** yard adjacent to Warden Avenue adjacent to any residential use in the first **storey** shall only be used for **landscaping**, which includes permitted projections and may include driveways but does not include patios.

- 1.2 **SCHEDULE ‘A’** is amended by deleting Performance Standard Nos. 145, 208, and 209 for the lands outlined on the attached Schedule ‘1’ and replacing them with Performance Standard Nos. 154, 216 and 217 so that the zoning on the lands reads as follows:

A – 64 – 83 – 103 – 154 – 163 – 202 – 206 – 207 – 210 – 216 – 217

- 1.3 **EXCEPTIONS LIST – SCHEDULE “C”**, is amended by deleting Exception No. 13 for the lands outlined on the attached Schedule ‘2’ and replacing it with Exception 14 as follows:

EXCEPTIONS

14. Prohibited Uses

- **Private Home Day Care**
- **Places of Entertainment**
- **Places of Worship**
- **Apartment Buildings**
- **Recreational Uses**
- **Medical Centres**
- **Nursing Homes and Senior Citizens Homes**

- 1.4 **EXCEPTIONS LIST – SCHEDULE “C”**, Exception 3(a)(ii) is amended by deleting the text and replacing it with the following:

EXCEPTIONS

- 3.(a)(ii) The owner of the lands shall enter into one or more agreements with the City of Toronto pursuant to Section 37 of the *Planning Act*, to secure the facilities, services and matters referred to in Section 3(a)(i) herein and which shall be registered on title to the lands to which this By-law applies.

- 1.5 **TABLE OF CONTENTS, CLAUSE V – INTERPRETATION**, is amended by deleting (g) Definitions and replacing it with the following so that it reads:

(f) Definitions

- 1.6 Performance Standard Nos. 145, 208 and 209 introduced by By-law No. 347-2006 are repealed.
- 1.7 Exception No. 13 introduced by By-law No. 845-2006 is repealed.

2. The Midland/St. Clair Community Zoning By-law No. 842-2004, is amended as follows:
- 2.1 **CLAUSE VII – GENERAL PARKING REGULATIONS FOR ALL ZONES**, Section 2.1.4(e)(ii) is amended by deleting the text and replacing it with the following:
- 2.1.4 Garages, Carports and Accessory Buildings:
- (e)(ii) The combined total floor area of all garages, carports and other **accessory buildings** on a **lot** or parcel shall not exceed 75 m², this provision shall not apply to a **townhouse dwelling**.
3. The Birchcliff Community Zoning By-law No. 8786, is amended as follows:
- 3.1 **PERFORMANCE STANDARD CHART – SCHEDULE “B”**, is amended by adding the following performance standards:
- MISCELLANEOUS**
231. The provisions of this By-law shall apply collectively to the lands notwithstanding their division into two or more parcels.
232. The provisions of CLAUSE VI, Section 4, **Frontage on a Street** shall not apply.
- INTENSITY OF USE**
250. One dwelling unit per 250 square metres of lot area.
- 3.2 **PERFORMANCE STANDARD CHART – SCHEDULE “B”**, is amended by adding the following performance standard:
- PARKING**
201. A minimum of one enclosed parking space per dwelling unit. Notwithstanding the minimum parking space dimensions required in the zoning by-law, five (5) of the required parking spaces for dwelling units are permitted having minimum dimensions of 2.7 m width x 5.5 m length.
- 3.3 Clause 2 introduced by By-law No. 648-2004 is repealed.
- 3.4 Clause 2, PARKING introduced by By-law No. 194-2006 is repealed.

4. The Scarborough Village Community Zoning By-law No. 10010, is amended as follows:

- 4.1 **SCHEDULE 'A'** is amended by deleting Performance Standard No. 86 for the lands outlined on the attached Schedule '3' so that the zoning on the lands reads as follows:

M – 38 – 137 – 167 – 180 – 181 – 218 – 219 – 266 – 324 – 325 – 326

5. The Agincourt North Community Zoning By-law No. 12797, is amended as follows:

- 5.1 **PERFORMANCE STANDARD CHART – SCHEDULE "B"**, is amended by deleting the text of Performance Standard Nos. 20R and 60E and replacing them with the following:

INTENSITY OF USE

20R. Maximum **two-family dwelling** per lot on a Registered Plan having a minimum area of 435 m² and a minimum lot frontage of 15 m measured 4.5 m from the **front lot line**;

or

Maximum one **dwelling unit** per lot on a Registered Plan having a minimum area of 270 m² and a minimum lot frontage of 9 m measured 4.5 m from the **front lot line**.

SIDE YARD

60E. Minimum 1.2 m on each side for **two-family dwellings**;

or

Minimum .6 m on the side on which the garage is located and 1.2 m on the other side, for single detached **dwellings**.

On a corner lot, the minimum **setback** of the side wall of **dwellings** and garages shall be 2.5 m from the street line.

- 5.2 **SCHEDULE 'A'** is amended by deleting the Street Townhouse Residential (ST) Zone for the lands outlined on the attached Schedule '4' and replacing it with both Single-Family Residential (S) and Two-Family Residential (T) Zones so that the zoning on the lands reads as follows:

S and T – 20R – 40G – 60E – 80N – 155 – 156 – 157 – 158

6. The Centennial Community Zoning By-law No. 12077, is amended as follows:

- 6.1 **PERFORMANCE STANDARD CHART – SCHEDULE “B”**, is amended by adding the following performance standard:

INTENSITY OF USE

233. One single-family dwelling per parcel of land with a minimum frontage of 9 m and a minimum lot area of 270 m².

- 6.2 **SCHEDULE ‘A’** is amended by deleting Performance Standard No. 230 for the lands outlined on the attached Schedule ‘5’ and replacing it with Performance Standard No. 233 so that the zoning on the lands reads as follows:

S – 40J – 123 – 132 – 233 – 303 – 350 – 351 – 352

- 6.3 Performance Standard No. 230 introduced by By-law No. 25-2006 is repealed.

7. The Eglinton Community Zoning By-law No. 10048, is amended as follows:

- 7.1 **PERFORMANCE STANDARD CHART – SCHEDULE “B”**, is amended by adding the following performance standard:

INTENSITY OF USE

336. Maximum one suite (individual dwelling unit) per 42 m² of lot area.

- 7.2 **SCHEDULE ‘A’** is amended by deleting Performance Standard No. 334 for the lands outlined on the attached Schedule ‘6’ and replacing it with Performance Standard No. 336 so that the zoning on the lands reads as follows:

A – 40H – 40I – 336 – 425 – 426 – 427 – 428

- 7.3 Performance Standard No. 334 introduced by By-law No. 316-2007(OMB) is repealed.

8. The Cliffcrest Community Zoning By-law No. 9396, is amended as follows:

- 8.1 **SCHEDULE ‘A’** is amended by adding the lands on the north side of St. Clair Avenue, to the Cliffcrest Community By-law No. 9396, as shown on the attached Schedule ‘7’.

- 8.2 **SCHEDULE ‘A’** is further amended by adding a zoning category and performance standards for the lands outlined on the attached Schedule ‘7’, so that the zoning on the lands reads as follows:

HC – 24 – 53 – 76 – 87

- 8.3 **EXCEPTIONS LIST – SCHEDULE “C”**, is amended by adding Exception No. 51 for the lands outlined on the attached Schedule ‘8’.
- 8.4 The provisions of the Cliffcrest Community Zoning By-law No. 9396 shall apply to the lands outlined on the attached Schedule ‘7’ and Schedule ‘8’.
9. The Milliken Community Zoning By-law No. 17677, is amended as follows:
- 9.1 **EXCEPTIONS LIST – SCHEDULE “C”**, is amended by deleting Exception No. 14 for the lands outlined on the attached Schedule ‘9’.
10. The West Hill Community Zoning By-law No. 10327, is amended as follows:
- 10.1 **EXCEPTIONS LIST – SCHEDULE “C”**, Exception 63 is amended by deleting the text and replacing it with the following:
- EXCEPTIONS**
63. The following use shall be prohibited:
- Sale of new or used automobiles
11. The Scarborough Employment Districts (Milliken Employment District) Zoning By-law No. 24982, is amended as follows:
- 11.1 **PERFORMANCE STANDARD CHART – SCHEDULE “B”**, is amended by adding the following performance standards:
- GROSS FLOOR AREA**
476. Gross floor area of all retail stores shall not exceed 13,500 square metres.
477. Gross floor area of any individual retail store shall not exceed 6,500 square metres.
- 11.2 **EXCEPTIONS LIST – SCHEDULE “C”**, is amended by deleting Exception No. 432 for the lands outlined on the attached Schedule ‘10’ and replacing it with the following Exception:
- EXCEPTIONS**
424. - Additional Permitted Use – Service Shops
- Notwithstanding its future division into two or more parcels of land, the parking standards shall apply in common to the lands comprised of 3250-3300 Midland Avenue, and 50-70 Silver Star Boulevard.

- 11.3 **SCHEDULE 'A'** is amended by deleting Performance Standard Nos. 1628, 1629, and Exception No. 432 for the lands outlined on the attached Schedule '10' and replacing it with Performance Standard Nos. 476 and 477, and Exception No. 424 so that the zoning on the lands reads as follows:

ME – 414 – 476 – 477 – 913 – 1076 – 1295 – 1398 – 1402 – 2029 –
Exception 200 – Exception 202 – Exception 424

MS – 414 – 913 – 998 – 1054 – 2029 – Exception 424

- 11.4 Performance Standard Nos. 1628 and 1629 introduced by By-law No. 426-2006 are repealed.

12. The Scarborough Employment Districts (Progress Employment District) Zoning By-law No. 24982, is amended as follows:

- 12.1 **SCHEDULE 'A'** is amended by deleting Performance Standard No. 2364 for the lands outlined on the attached Schedule '11' and replacing it with Performance Standard No. 2363 so that the zoning on the lands reads as follows:

CCO – M – 44 – 130 – 913 – 2363

13. The Scarborough Employment Districts (Rouge Employment District) Zoning By-law No. 24982, is amended as follows:

- 13.1 **SCHEDULE 'A'** is amended by adding Performance Standard No. 1640 for the lands outlined on the attached Schedule '12' so that the zoning on the lands reads as follows:

M – OU – 913 – 991 – 1054 – 1640 – 2365 – 2610 – 2611 – 2612 –
Exception 138 – Exception 139

- 13.2 Clause 3 introduced by By-law No. 810-2007 is repealed.

ENACTED AND PASSED this 13th day of December, A.D. 2007.

GLORIA LINDSAY LUBY,
Deputy Speaker

ULLI S. WATKISS
City Clerk

(Corporate Seal)

Schedule '1'

Lot 32



Toronto City Planning
Division
Zoning By-Law Amendment

651 Warden Avenue

File # 06-120986 TM

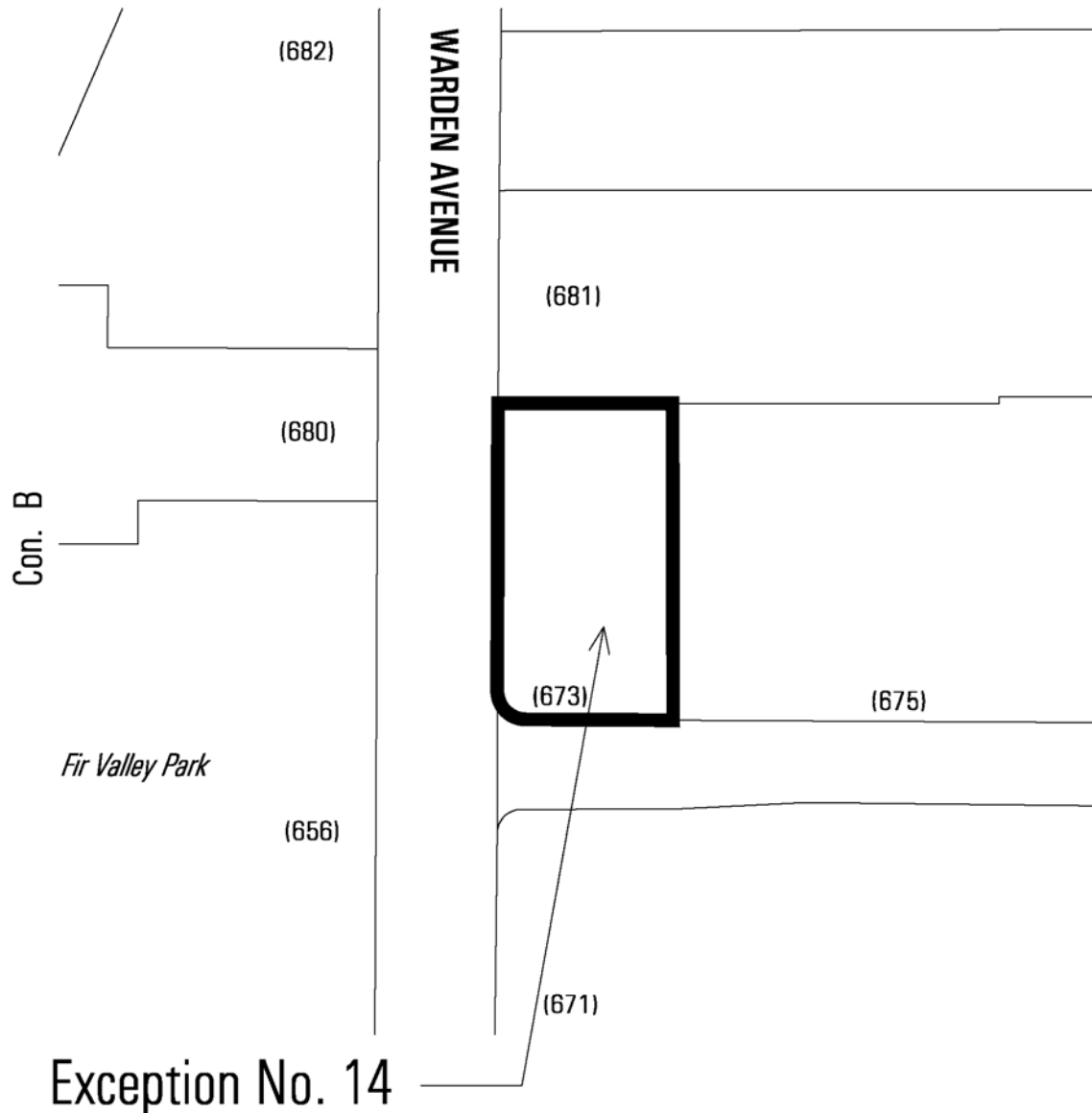
 Area Affected By This By-Law

Warden Woods Community Bylaw
Not to Scale
11/12/07



Schedule '2'

Lot 32



Toronto City Planning
Division
Zoning By-Law Amendment

673 Warden Avenue

File # 06-120986 TM



Area Affected By This By-Law

Warden Woods Community Bylaw
Not to Scale
11/12/07



Lot 20

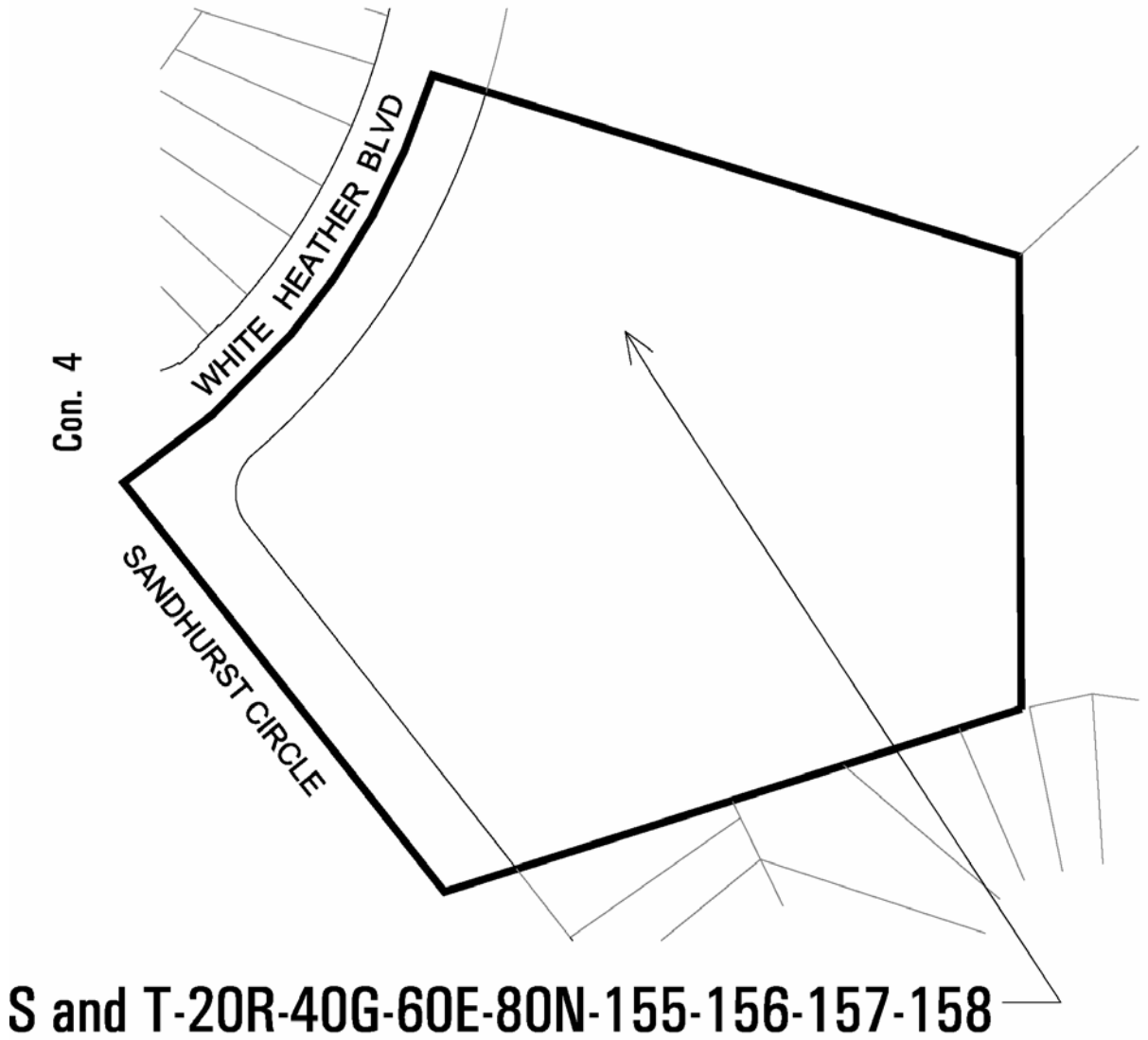


Con. C

GREENDOWNS DR

M-38-137-167-180-181-218-
219-266-324-325-326

Schedule '4'
Lot 22

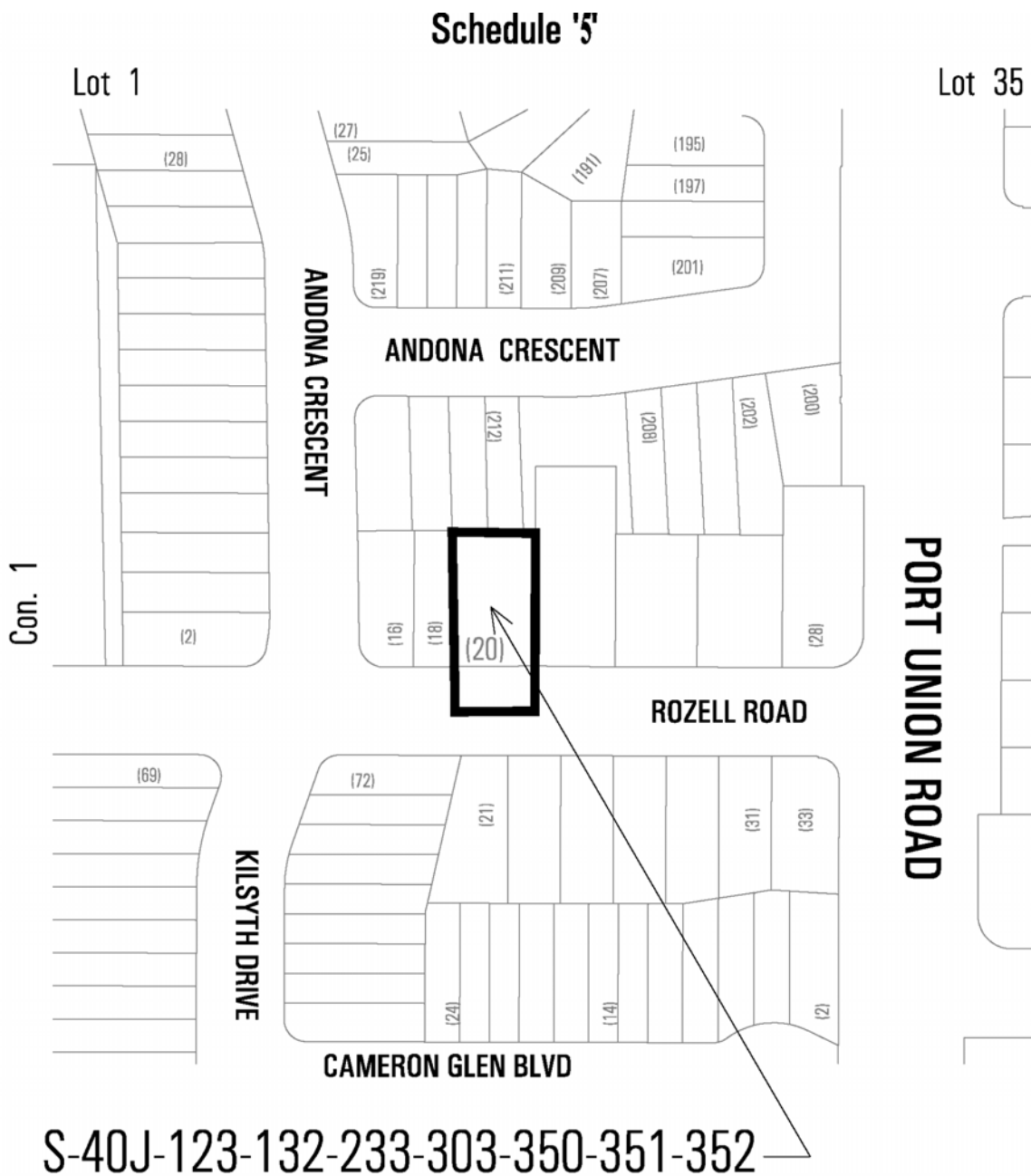


Toronto Urban Development Services
Zoning By-Law Amendment

Sandhurst & White Heather Blvd.
File # **06-120986_TM**

 Area Affected By This By-Law

Agincourt North Bylaw
Not to Scale
11/5/07



Toronto City Planning Division
Zoning By-Law Amendment

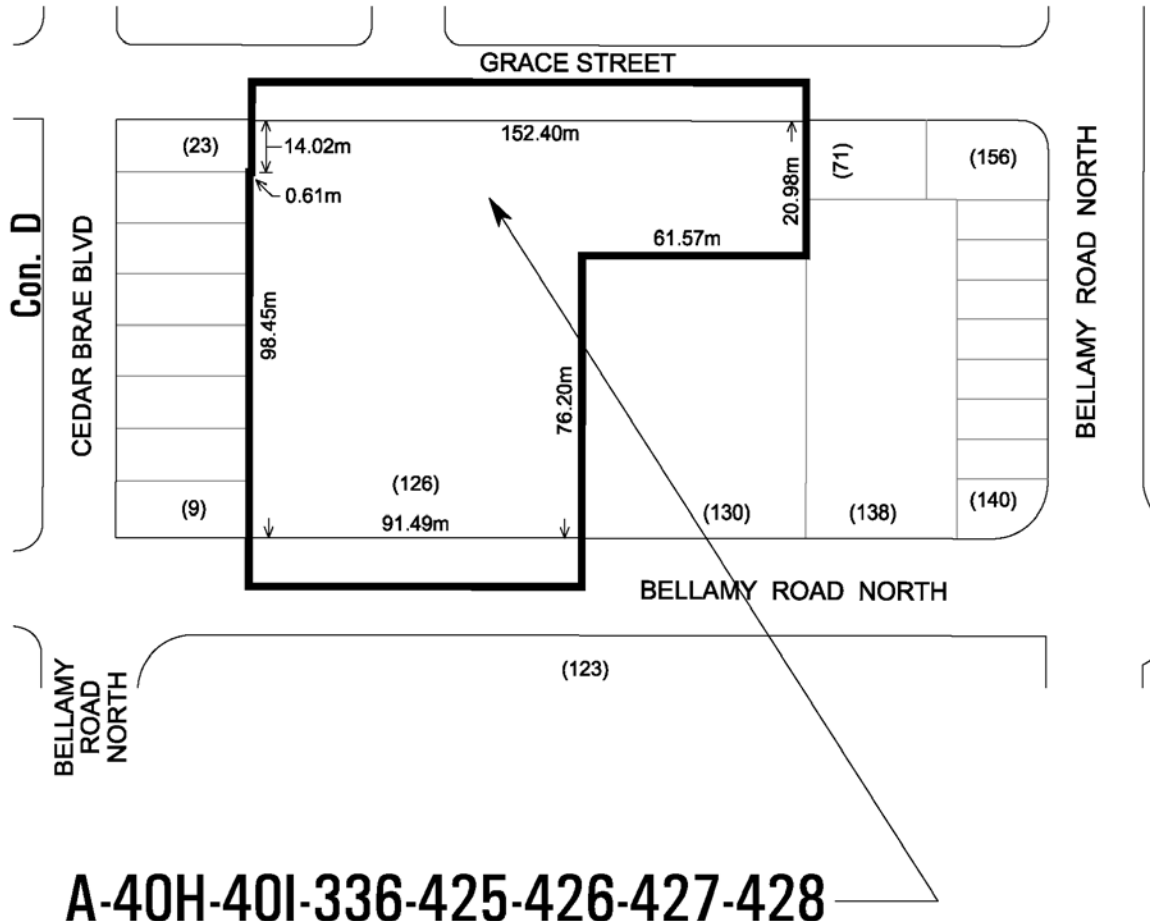
20 Rozell Road
File # 06-120986 TM

 Area Affected By This By-Law

Centennial Community Bylaw
Not to Scale
11/05/07

Schedule "6"

Lot 21



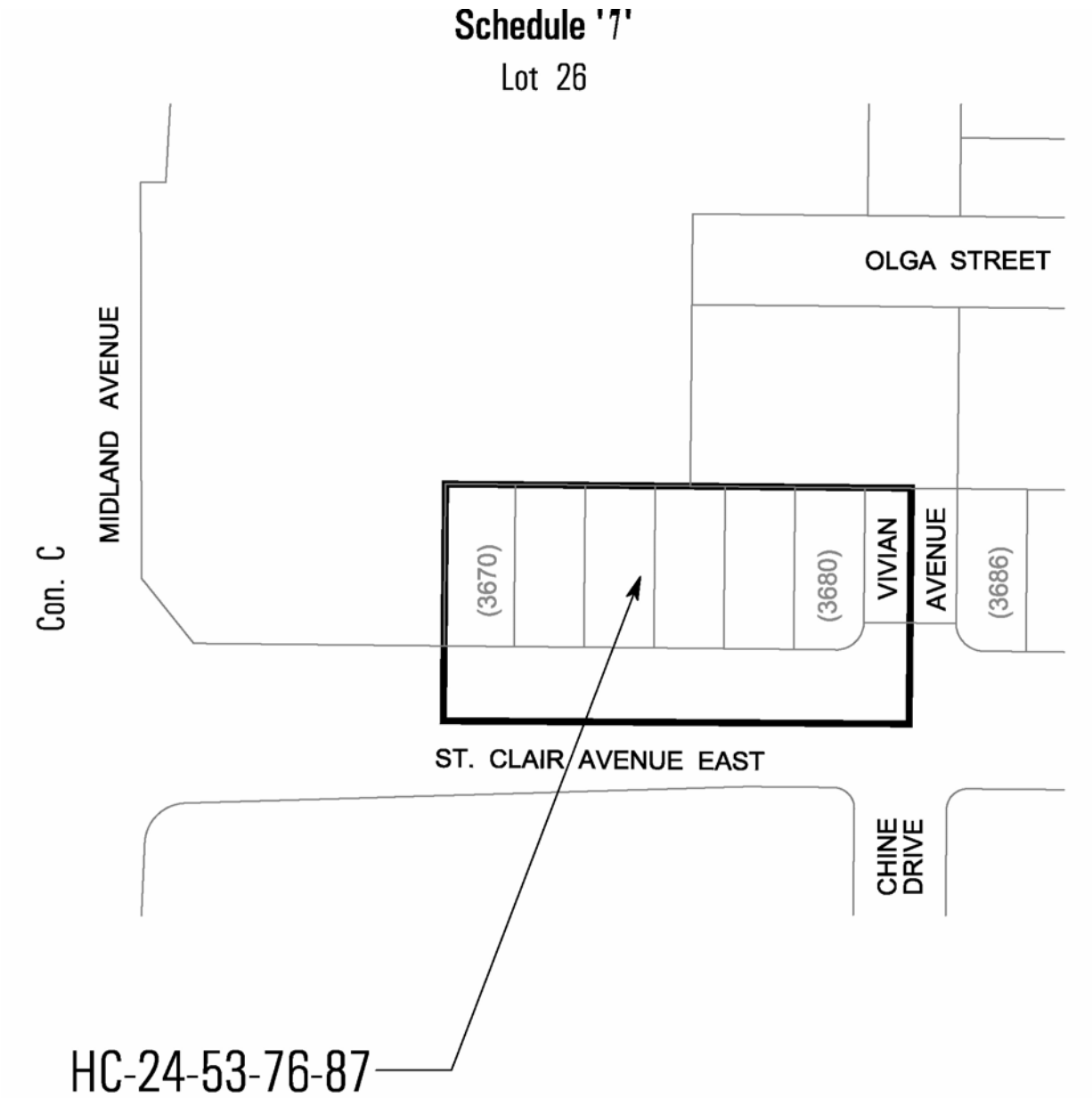
Toronto Urban
Development Services
Zoning By-Law Amendment

126 Bellamy Road North

File # **06-120986 TM**

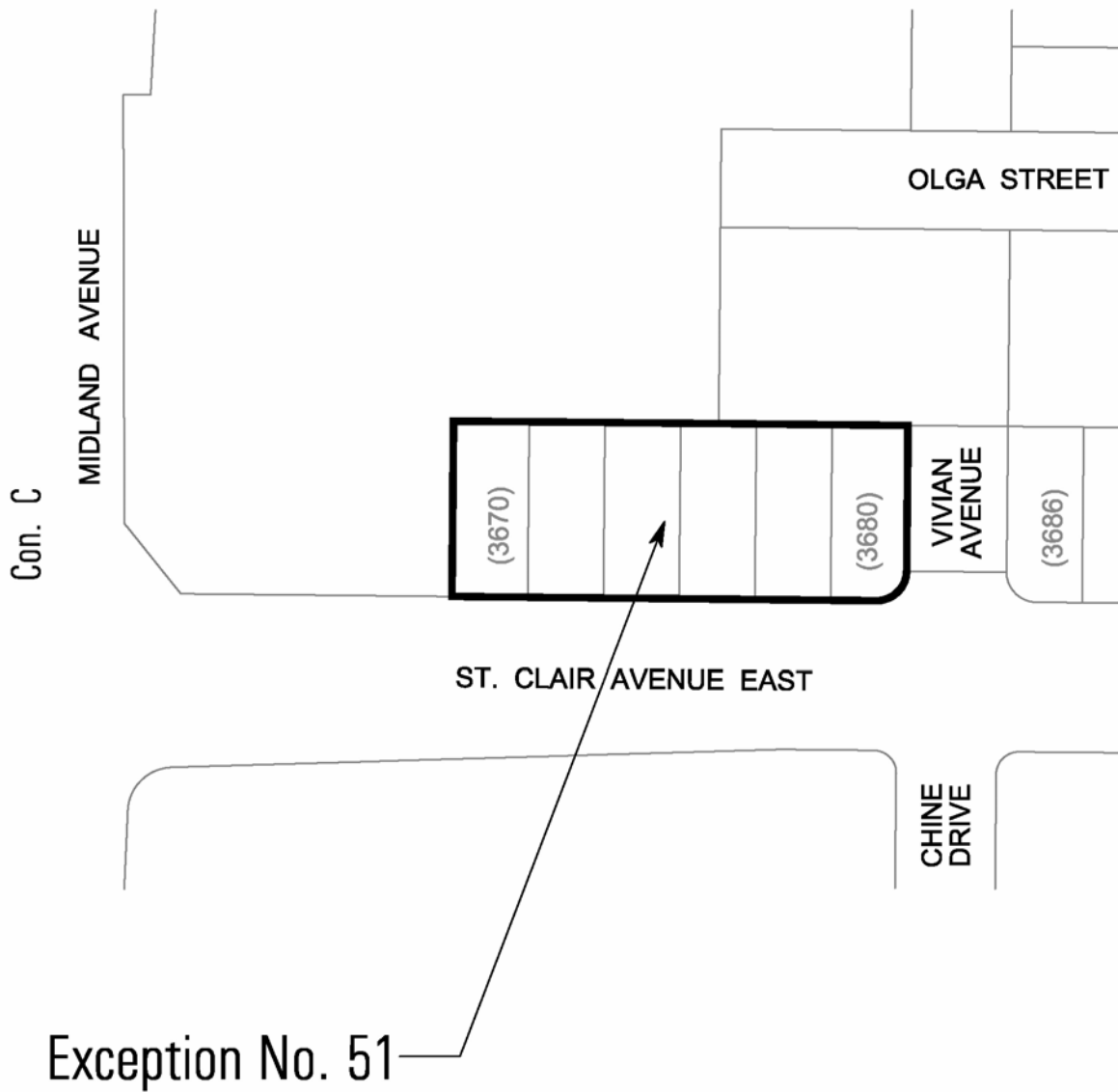
 **Area Affected By This By-Law**

Eglinton Community By-law
Not to Scale
11/05/07

Schedule '8'

Lot 26

**Zoning By-Law Amendment**

3670-3680 St. Clair Avenue East

File # 06-120986 TM

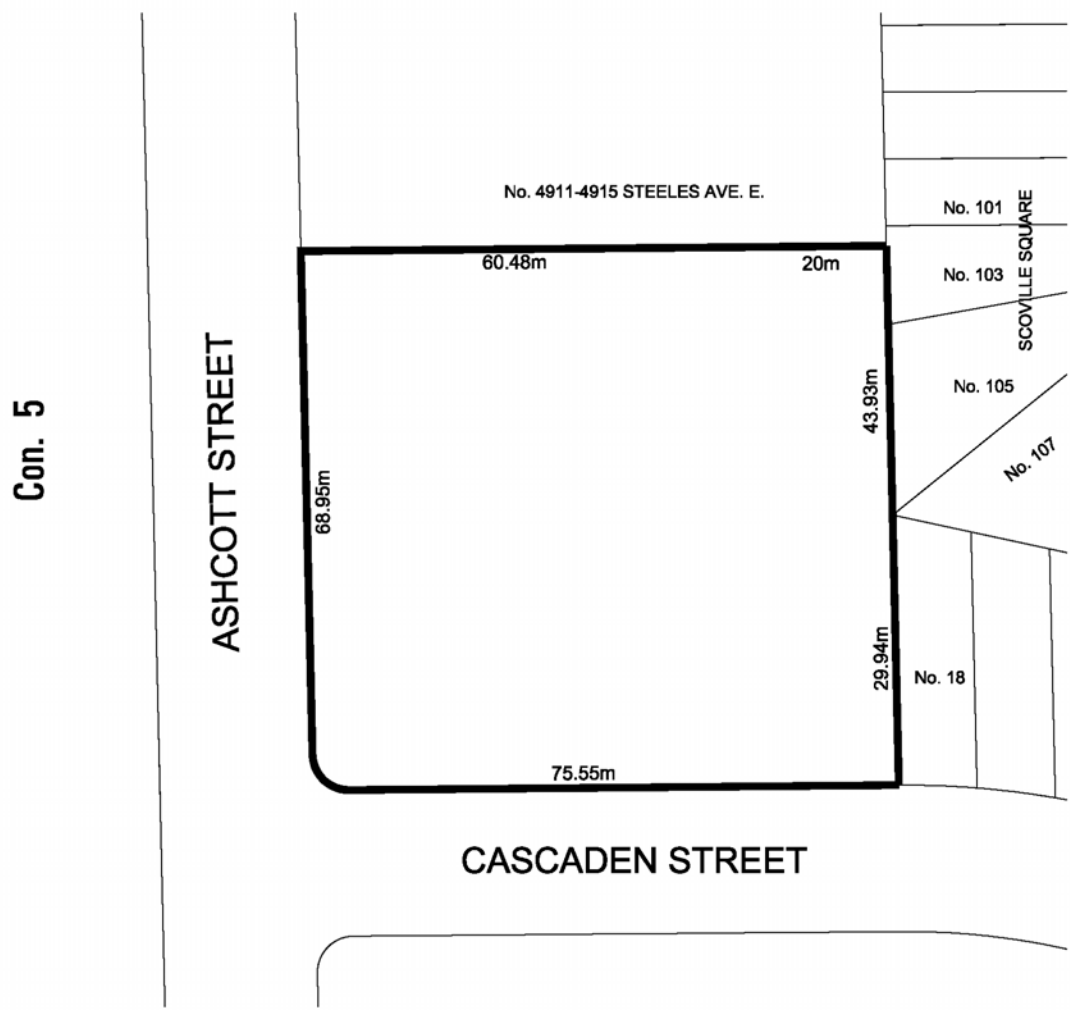


Area Affected By This By-Law

Cliffcrest Community By-law
Not to Scale
11/05/07

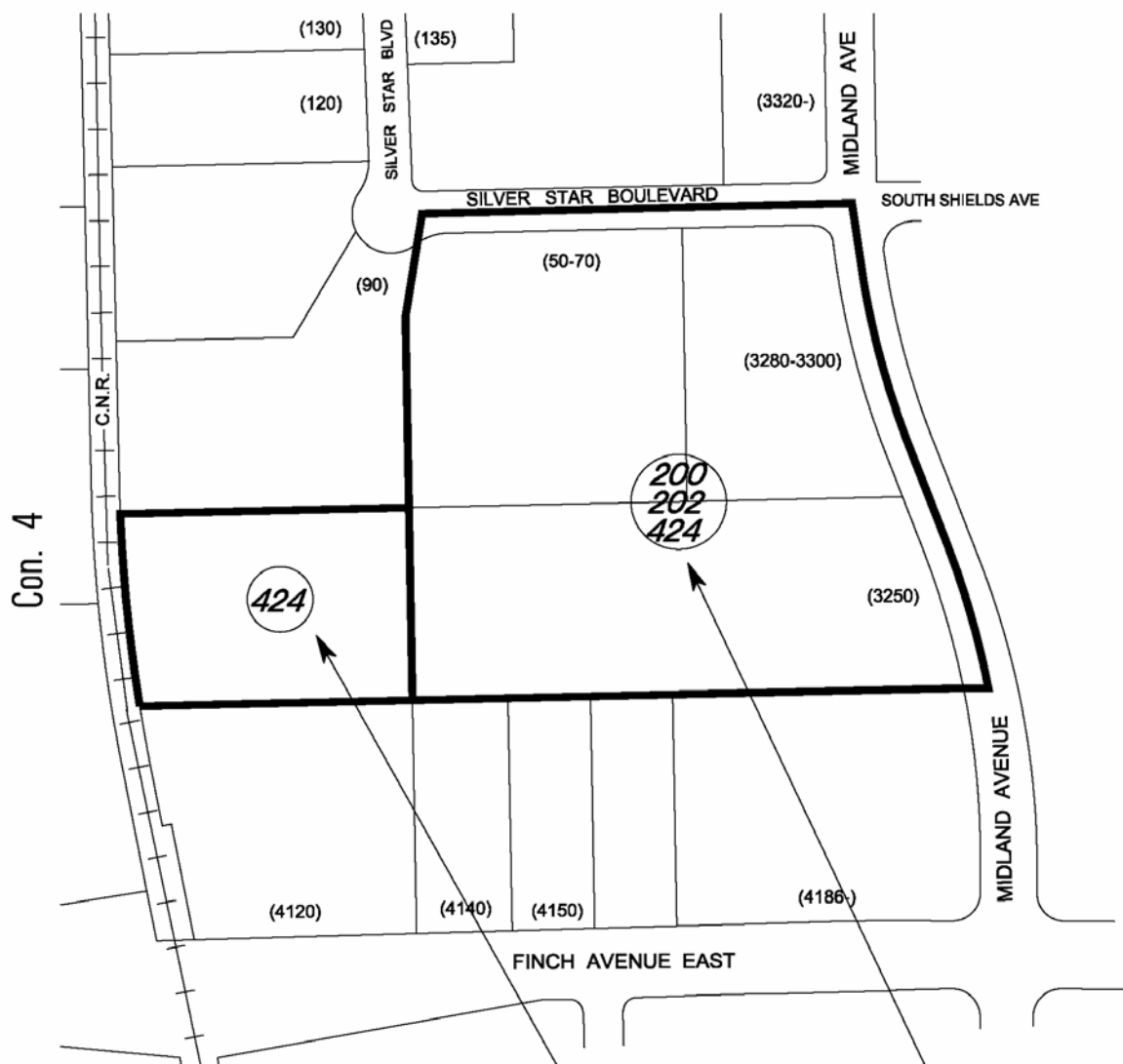


Schedule "9"
Lot 25



Schedule '10'

Lot 27



MS-414-913-998-1054-2029

ME-414-476-477-913-1076-1295-1398-1402-2029



Zoning By-Law Amendment

3250-3300 Midland Ave. and 50-70 Silver Star Blvd.

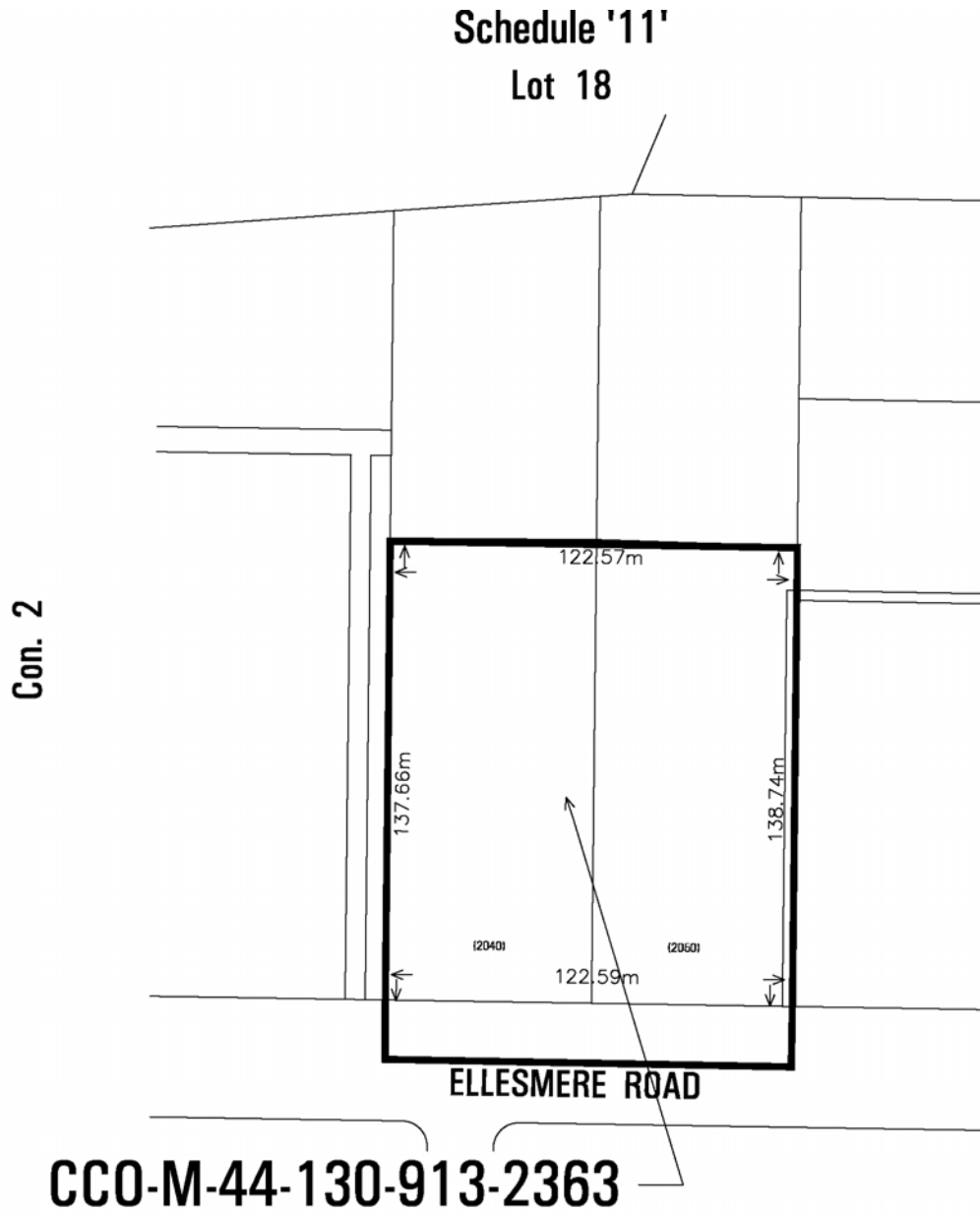
File # 06-120986 TM



Area Affected By This By-Law

Milliken Employment District By-law
Not to Scale
11/08/07





Zoning By-Law Amendment

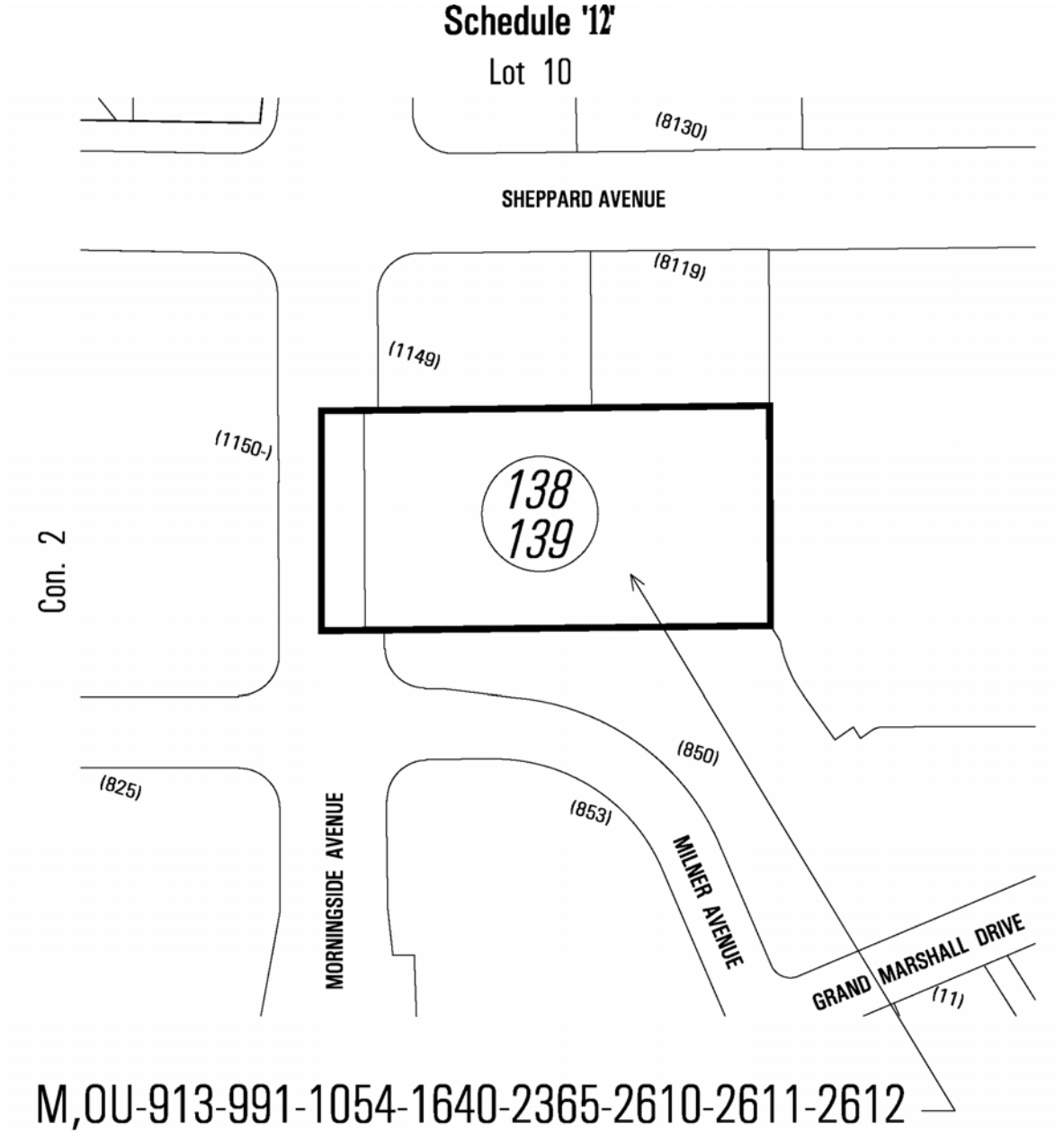
2040-2050 Ellesmere Road

File # 06-120986 TM



Area Affected By This By-Law

Progress Employment District Bylaw
Not to Scale
11/06/07



Zoning By-Law Amendment

1145 Morningside Avenue
File # 06-120986 TM



Area Affected By This By-Law

Rouge Emp. District Bylaw
Not to Scale
11/05/07