CITY OF TORONTO

BY-LAW No. 882-2009(OMB)

To amend the former City of North York Zoning By-law No. 7625, as amended, with respect to lands municipally known as 61, 65, 69 and 71 Churchill Avenue and 2, 4 and 6 Basswood Road.

WHEREAS the Ontario Municipal Board, by way of Order No. 2348 issued on August 18, 2006 in connection with the Ontario Municipal Board Case No. PL041202, determined to amend the former City of North York Zoning By-law No. 7625, in respect of the lands municipally known in the year 2005 as 61, 65, 69 and 71 Churchill Avenue and 2, 4 and 6 Basswood Road;

THEREFORE the Ontario Municipal Board orders as follows:

1.   Schedules "B" and "C" of By-law No. 7625, as amended, are hereby amended in accordance with Schedule "1" of this By-law.

2.   Section 64.16 of By-law No. 7625 is amended by adding the following subsection:

"**64.16(66)   RM1(66)**

PERMITTED USES

(a)   The only permitted uses shall be multiple attached dwellings and accessory uses thereto.

EXCEPTION REGULATIONS

(b)   The maximum number of dwelling units shall be 36.

MAXIMUM GROSS FLOOR AREA

(c)   The maximum gross floor area permitted shall be 8840 m^2.

BUILDING HEIGHT

(d)   The building height shall not exceed the height limits in metres and in storeys, specified by the numbers following the symbol H on the attached Schedule RM1(66). For the purpose of this exception, "Established Grade" shall be considered to be the geodetic elevation of 177.37 m for Blocks A, B and C, and 176.53 m for Blocks D, E and F as shown on Schedule RM1(66).

BUILDING ENVELOPE

(e)   No portion of any building or structure erected and used above established grade shall be located otherwise than wholly within the building envelope identified on Schedule RM1(66).

PARKING

(f)   Two (2) parking spaces per dwelling unit shall be provided on the site.

(g)   A Parking space size shall have a minimum width of 2.7 m and a minimum length of 5.5 m.

(h)   A two-way driveway aisle shall have a minimum width of 8.0 m.

LOT COVERAGE

(i)   The maximum permitted lot coverage is 39% of the site.

LANDSCAPING

(j)   A minimum of 1,705 m^2 landscaping shall be provided on the site. Landscaping excludes walkways, decks and porches.

YARD SETBACKS AND DISTANCES BETWEEN BUILDINGS

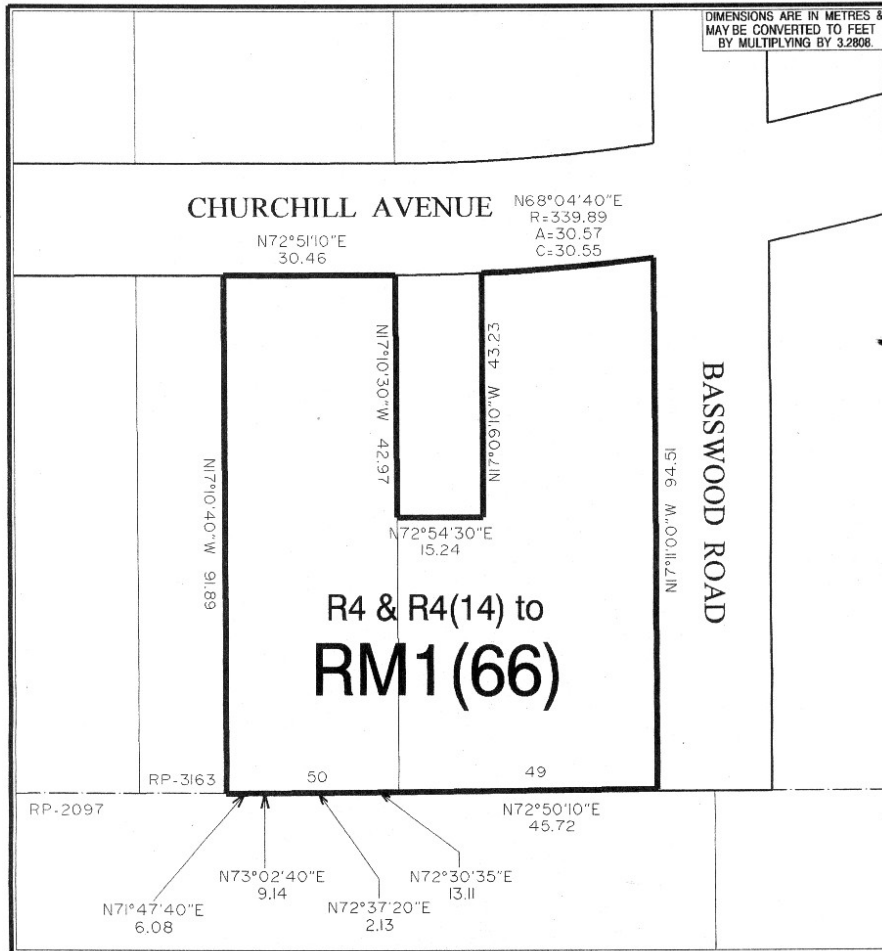(k)   The minimum yard setbacks and distances between buildings shall be as shown on Schedule RM1(66).

PERMITTED PROJECTIONS INTO MINIMUM YARDS

(l)   For the purpose of permitted projections into minimum yard setbacks, the front yards shall be considered to be the yards adjacent to the east sides of Blocks A, B and F and the north sides of Blocks C, D and E.

(m)   Each dwelling unit is permitted a maximum of 1 balcony, which is located at the rear yard fourth floor level.

(n)   Notwithstanding Section 6(9)(l) of Zoning By-law No. 7625, balconies shall be permitted to project not more than 0.5 m beyond the rear wall of the building.

(o)   Each dwelling unit is permitted a maximum of 1 deck. The deck is to be located at or below the rear first floor level.

(p)   Notwithstanding Section 6(9)(g) of Zoning By-law No. 7625, no deck or patio of any height is permitted to extend more than 2.1 m beyond the rear wall of the building.

(q)   Notwithstanding 6(9)(c) of Zoning By-law No. 7625, exterior stairways, wheelchair ramps, and porches and decks 5.5 m^2 or less in area, shall be permitted to project into one minimum side yard setback only, not more than 1.65 m, but no closer than 0.2 m from any lot line between the site and adjacent public streets.

(r)   Sections 6A(8)(b), 15.8 and 16.2.2 relating to parking, landscaping and lot coverage shall not apply.

(s)   Notwithstanding any severance, partition or division of the site shown on Schedule RM1(66), the provisions of this By-law shall apply to the whole of the site as if no severance, partition or division occurred."

3.   Section 64.16 of Zoning By-law No. 7625 is amended by adding Schedule RM1(66) attached hereto.
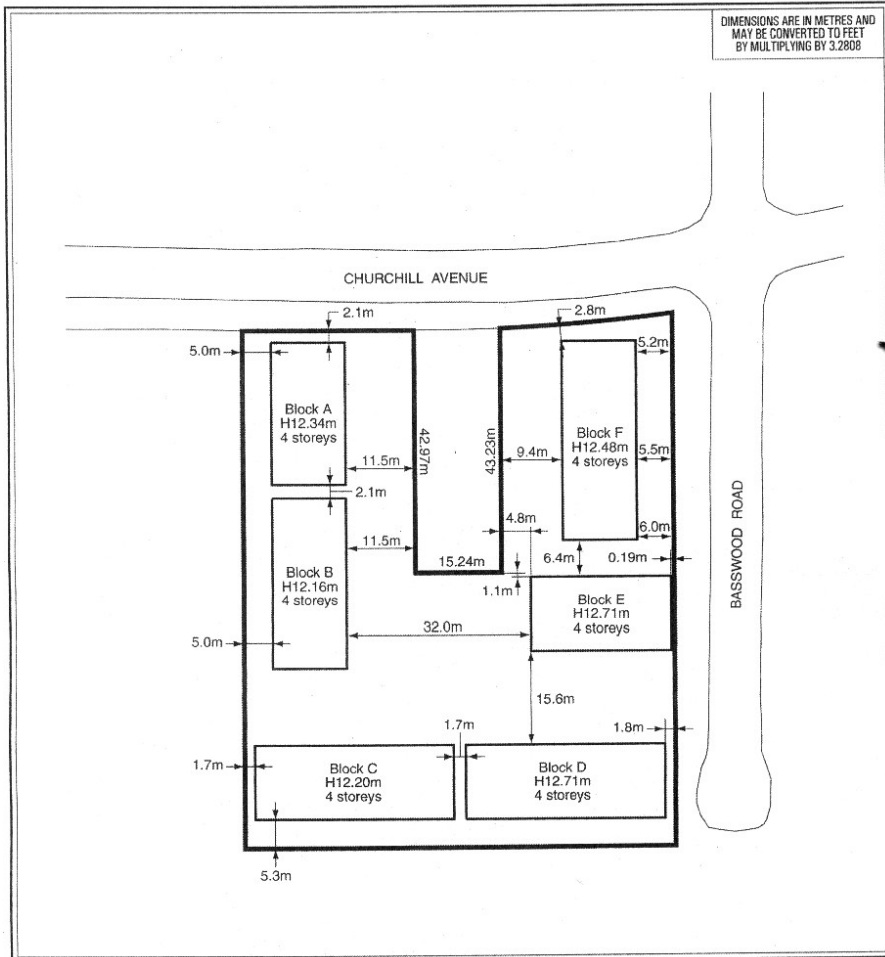
PURSUANT TO THE DECISION/ORDER OF THE ONTARIO MUNICIPAL BOARD ISSUED ON AUGUST 16, 2006 UNDER CASE NO. PL041202.

SCHEDULE "1"

DIMENSIONS ARE IN METRES & MAY BE CONVERTED TO FEET BY MULTIPLYING BY 3.2808.

CHURCHILL AVENUE

N68°04'40"E
R=339.89
A=30.57
C=30.55

N72°51'10"E
30.46

N7°10'30"W 42.97

N7°09'10"W 43.23

N72°54'30"E
15.24

BASSWOOD ROAD

N7°10'40"W 91.89

N7°00'II"W 94.51

R4 & R4(14) to

RM1(66)

RP-3163

RP-2097

50

49

N72°50'10"E
45.72

N73°02'40"E
9.14

N72°30'35"E
13.11

N7I°47'40"E
6.08

N72°37'20"E
2.13

TORONTO
City Planning Division
North District

SUBJECT PROPERTY

Location: Part of Lots 49 & 50, RP 3163, City of Toronto

| File: 04_171098 | Prepared by: A.K. | Approved by: C.C. | Date: April 19, 2006 | Filename: RM1(66)_1 |

Source: Zoning, By-Law, Lot Line, Street Line and Street Name Data - City of Toronto, City Planning Division, North District.
Street lines represent street dedications/road allowances and do not represent actual as-built curb lines of streets.

SCHEDULE "RM1(66)

DIMENSIONS ARE IN METRES AND
MAY BE CONVERTED TO FEET
BY MULTIPLYING BY 3.2808

CHURCHILL AVENUE

2.1m   2.8m

5.0m   5.2m

Block A   Block F
H12.34m   H12.48m
4 storeys   4 storeys

11.5m   42.97m   43.23m   9.4m   5.5m

2.1m

11.5m   4.8m

Block B   6.0m
H12.16m   15.24m   6.4m   0.19m
4 storeys

32.0m   1.1m   Block E
5.0m   H12.71m
                         4 storeys

BASSWOOD ROAD

15.6m

1.7m   1.8m

1.7m   Block C   Block D
        H12.20m   H12.71m
        4 storeys   4 storeys

5.3m

TORONTO
City Planning Division
Community Planning North

Subject Lands   Not to Scale

Location: Part of Lots 49 & 50, RP 3163, City of Toronto

| File No: 04_171098 | Drawn by: A.K. | Approved by: C.C. | Date: May 19, 2006 | Filename: RM1(66).ai |