

Authority: North York Community Council Item 34.26,  
as adopted by City of Toronto Council on June 8 and 9, 2010  
Enacted by Council: December 16, 2010

**CITY OF TORONTO**

**BY-LAW No. 22-2011**

**To adopt Amendment No. 120 to the Official Plan for the City of Toronto with  
respect to lands municipally known as 4726-4750 Yonge Street, 9-31 Bogert Avenue,  
2-28 Poyntz Avenue and 49 Bogert Avenue.**

WHEREAS authority is given to Council by the *Planning Act*, R.S.O. 1990, c.P. 13,  
as amended, to pass this By-law, and

WHEREAS Council of the City of Toronto has provided adequate information to the public  
and has held at least one public meeting in according with the Planning Act;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. The attached Amendment No. 120 to the Official Plan is hereby adopted pursuant to the  
*Planning Act*, R.S.O. 1990, c.P. 13, as amended.

ENACTED AND PASSED this 16th day of December, A.D. 2010.

FRANCES NUNZIATA,  
Speaker

ULLI S. WATKISS  
City Clerk

(Corporate Seal)

**AMENDMENT NO. 120**

**TO THE OFFICIAL PLAN FOR THE CITY OF TORONTO**

**Lands municipally known in 2010 as 4726-4750 Yonge Street, 9-31 Bogert Avenue,  
2-28 Poyntz Avenue, and 49 Bogert Avenue.**

The following text and maps constitute Amendment No. 120 to the City of Toronto Official Plan (being an amendment to the provisions of the North York Centre Secondary Plan).

Clause 1: Map 8-8d of Chapter Six, Section 8 (North York Centre Secondary Plan), titled "Maximum Height Limits", is amended in accordance with Map Schedule 1 attached.

Clause 2: Map 8-12 of Chapter Six, Section 8 (North York Centre Secondary Plan), titled "North York Centre South Site Specific Policies" is amended in accordance with Map Schedule 2, attached.

Clause 3: Chapter Six, Section 8 (North York Centre Secondary Plan) is amended by deleting Section 12.7 and replacing it with the following:

7. LANDS BOUNDED BY FRIZZELL ROAD, POYNTZ AVENUE, BEECROFT ROAD, AND THE SOUTH LIMIT OF ALBERT STANDING PARK (7 on Map 8-12)

All density of land in this area may be transferred to the site on the opposite side of Beecroft Road that is subject to Site Specific Policy 12.20, to be used for any of the uses permitted on the receiving lands.

Clause 4: Chapter Six, Section 8 (North York Centre Secondary Plan) is amended by deleting Section 12.20(b) and replacing it with the following:

(b) Despite Section 3.0 of this Secondary Plan, a zoning by-law for these lands may permit other exclusions from Gross Floor Area, including grade level shopping facilities and may permit an aggregate Gross Floor Area, including exemptions, incentives and transfers, that exceeds the maximum permitted density of 4.5 times the lot area by more than 33 per cent, however, the total maximum density on these lands will not exceed 8.6 times the lot area, including the exemptions, incentives and transfers.

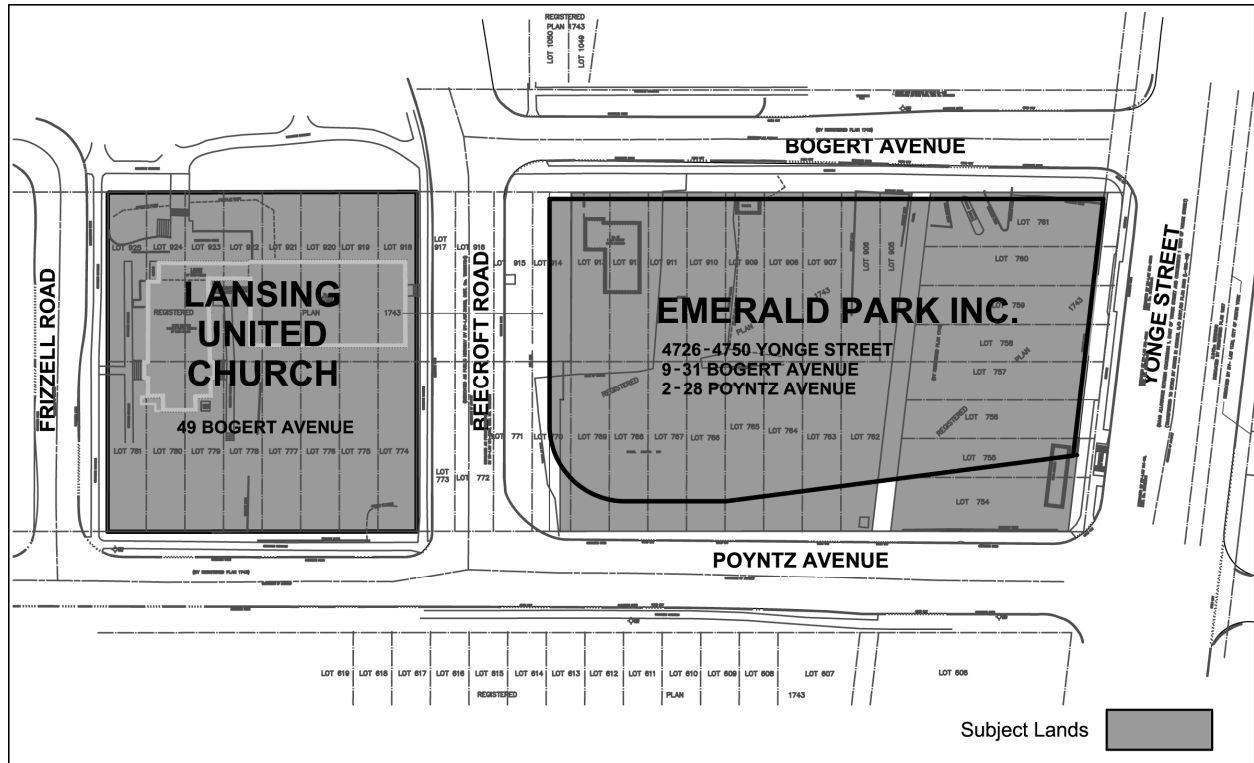
Clause 5: Chapter Six, Section 8 (North York Centre Secondary Plan) is amended by deleting Section 12.20(d)(v) and replacing it with the following:

(v) Despite Section 2.1.2 of this Secondary Plan, in order to encourage comprehensive redevelopment of the subject lands, the City upon receipt of an application which consolidates this area with lands known municipally as 4726-4750 Yonge Street, 9-31 Bogert Avenue and

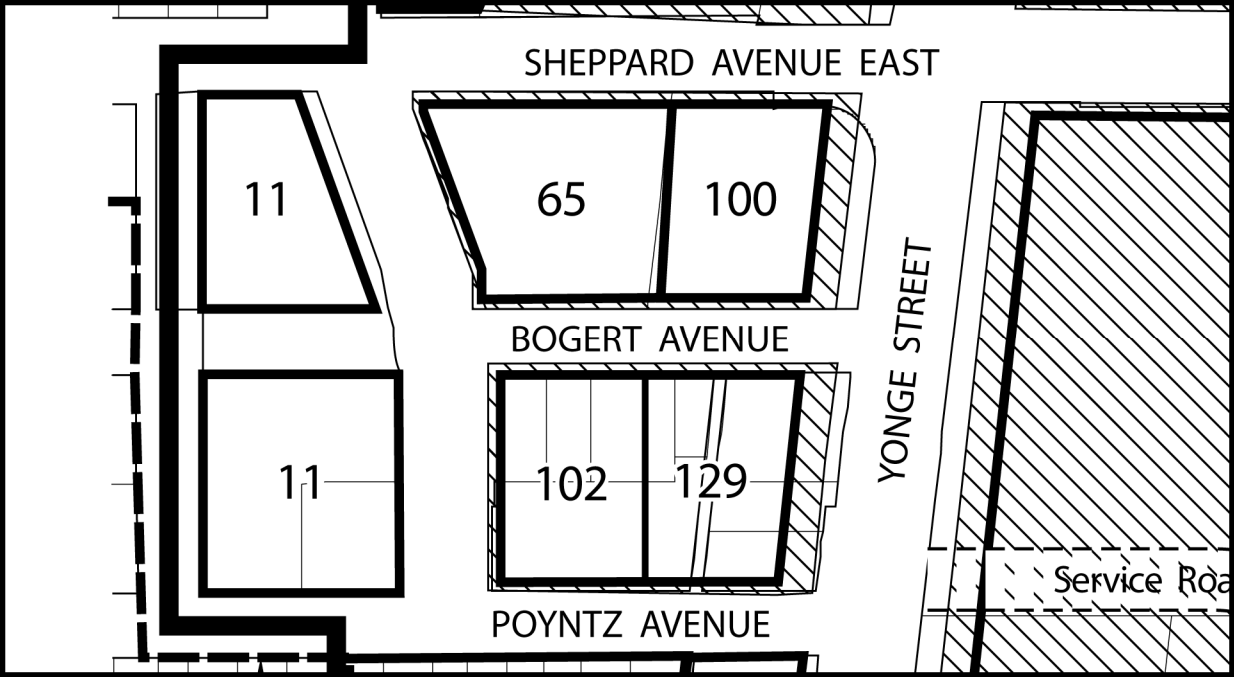
2-28 Poyntz Avenue may pass a by-law to include residential gross floor area in *Mixed Use Area A*, subject to a minimum 10,500 square metres of non-residential gross floor area being provided;

- (vi) Pursuant to Section 37 of the *Planning Act*, the following facilities, services and/or matters are to be secured; street related retail and service commercial uses on Yonge Street and Poyntz Avenue; the transfer of density from the Lansing United Church lands (49 Bogert Avenue); and, a monetary contribution to the City for the density for social facility space;
- (vii) Despite Section 6.7, private outdoor recreational space is permitted on the roof of the podium and will be counted as part of the private outdoor recreational space requirement for residential development; and
- (viii) all other provisions of this Secondary Plan will apply.

## LANDS AFFECTED BY THIS AMENDMENT



MAP SCHEDULE 1



**MAP SCHEDULE 2**