

CITY OF TORONTO

BY-LAW No. 150-2011(OMB)

To amend former City of Scarborough Oakridge Community Zoning By-law No. 9812, as amended, with respect to lands municipally known as 3520 Danforth Avenue.

WHEREAS the Ontario Municipal Board, by way of Order issued on October 20, 2010, determined to amend the former City of Scarborough Oakridge Community Zoning By-law No. 9812, as amended, with respect to lands municipally known as 3520 Danforth Avenue; and

1. **Schedule "A"** is amended by deleting the Zoning for the lands outlined on Schedule '1' and adding the following Zoning to the outlined lands:

CR - 39B - 145 - 146 - 148 - 149 - 150 - 155 - 156 - 157 - 158 - 159 - 160 - 161 - 162 - 163 - 407 - 412

2. **Schedule "B", PERFORMANCE STANDARDS CHART**, is amended by adding the following Performance Standards:

39B. Minimum Building Setbacks

Underground structures, including underground garages, shall be setback a minimum of 0.6 m from abutting "S" or "T" zones, except that portion of the underground garage wall supporting the solid masonry wall at the north property line, to a maximum of 2 m below finished grade at the base of the wall, may extend to the property line.

MISCELLANEOUS

155. Minimum first **storey** height at the first floor at or above grade shall be 3.9 m.

156. (a) The **main wall** of a building abutting Danforth Avenue for the first **storey** at or above grade shall be a minimum width of 70% of the lot at the Danforth Avenue **street** line.

(b) The **main wall** building **setback** at the Danforth Avenue **street** line shall be a minimum of 0 m and a maximum of 3 m, except that the uppermost **storey**, not including the mechanical penthouse, of a building containing 5 or more **storeys**, excluding **basements**, shall be set back an additional 1.5 m from the first **storey** above finished grade at the Danforth Avenue **street** line, and the mechanical penthouse shall be set back a minimum of an additional 1.5 m from the **storey** beneath it.

157. (a) Minimum **main wall** building setback abutting the **street** line of Scotia Avenue shall be 2.4 m, except that the uppermost **storey**, not including the mechanical penthouse, of a building containing 5 or more **storeys**, excluding **basements**, shall be set back an additional 3.3 m from the first storey above finished grade at the Scotia Avenue **street** line; except that a projection to screen an exterior transformer may project to the **street** line and extend a maximum of 5 m along the **street** line, and balconies may project a maximum of 1.5 m into the required setback.

- (b) Minimum **main wall** building setback abutting the **street** line of Warden Avenue shall be 0.9 m within 15 m of the north property line, and 0 m for that portion of the **main wall** located more than 15 m from the north property line, and for the 2nd to 6th **storeys** above finished grade, the **main wall** of the building abutting the street line of Warden Avenue within 15 m of the north property line shall be setback an additional 1.5 m from the first **storey** above finished grade, and for the 7th **storey** above finished grade, the **main wall** of the building abutting the **street** line of Warden Avenue within 15 m of the north property line shall be setback an additional 3.2 m from the **storey** beneath it.
158. Minimum 2 **storeys** and maximum 7 **storeys**, excluding **basements** and mechanical penthouses, is permitted and shall not exceed an overall **height** of 21.5 m. An additional **storey** used exclusively for mechanical penthouse purposes, which includes mechanical equipment for the building and elevator machine rooms, not exceeding an overall height of 4.5 m is also permitted.
159. Maximum 95 **dwelling units**.
160. Minimum 95 **parking spaces** for all uses, of which 19 **parking spaces** shall be for visitor and commercial uses.
161. Maximum total **gross floor area** for all commercial uses including restaurants shall be 367 square metres.
162. Minimum 235 square metres of indoor recreational amenity space shall be provided.
163. **CLAUSE VI – GENERAL PROVISIONS FOR ALL ZONES, Section 12, Underground Structures in "NC", "CC", "CR", "HC" and "OU" Zones** shall not apply.

INTENSITY OF USE

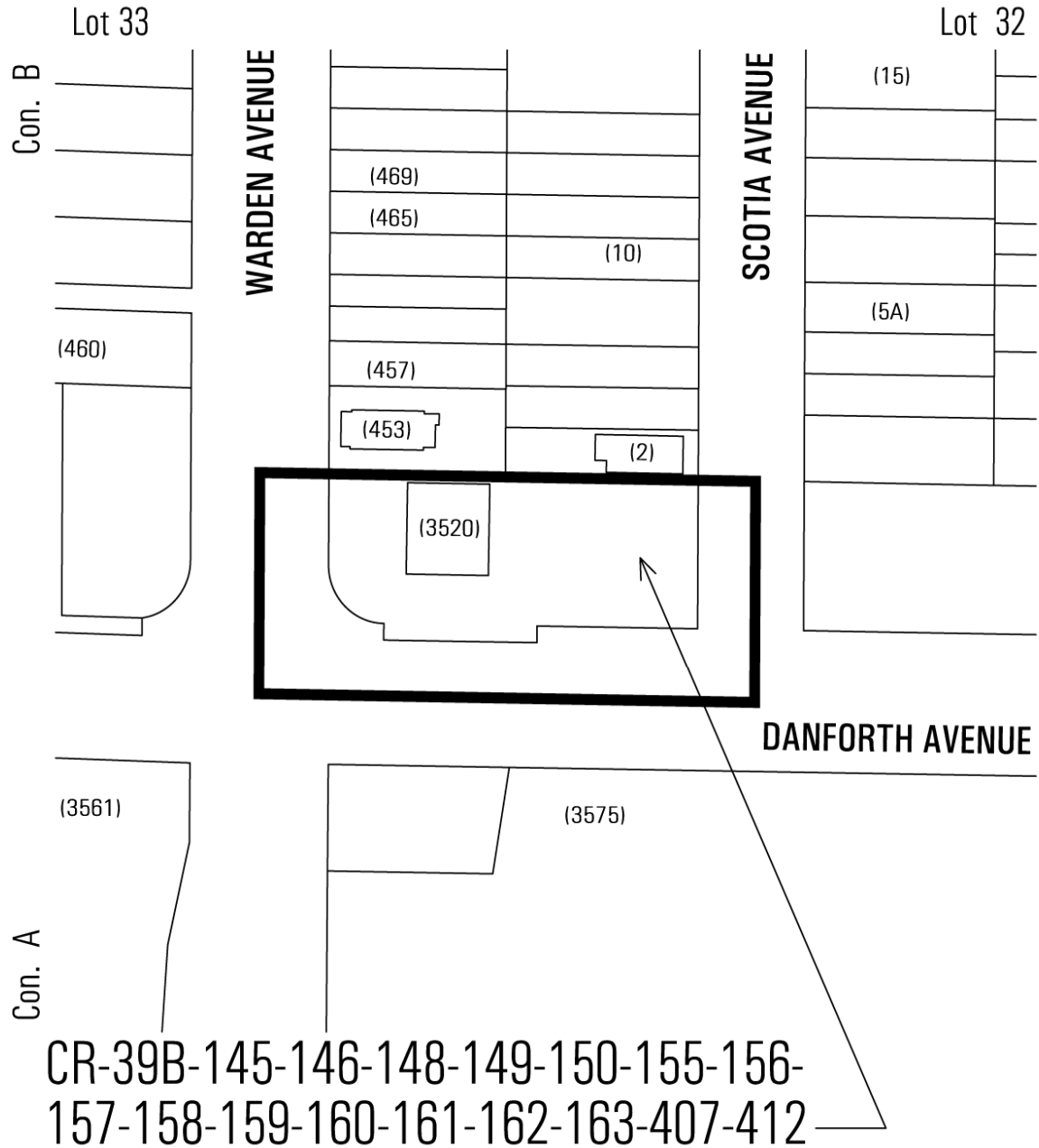
412. Maximum **gross floor area** 4.19 times the area of the lot or parcel.
3. **Schedule "C"**, is amended by deleting Exception No. 61 and adding Exception No. 67 to the lands outlined on Schedule '2' as follows:
67. On those lands identified on the accompanying map, the following provisions shall apply:
- (a) Notwithstanding the provisions of **Clause VIII – ZONE PROVISIONS, Section 17, Commercial-Residential Zone (CR)**, only the following uses shall be permitted:
- **Day Nurseries**
 - **Dwelling Units**
 - Educational and Training Facility Uses

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- Financial Institutions
 - Offices
 - **Personal Service Shops**
 - **Private Home Day Care**
 - Restaurants
 - Retail stores
- (b) **Dwelling Units** shall only be permitted on or above the second **storey**, excluding basements.
- (c) Maximum **gross floor area** for all restaurants 150 m².
- (d) Notwithstanding the angular plane requirements set out in Performance Standard 146, the allowable minimum building **setbacks** shall be follows:
- (i) Minimum 6.0 metre building **setback** abutting "S" or "T" zones, and
 - (ii) 5th storey above finished grade: Minimum 8.8 metres abutting "S" or "T" zones for that portion of the building located east of a straight line projected parallel to and 28 metres east of the Warden Avenue **street** line and not including any corner rounding, and minimum 11.0 metres abutting "S" or "T" zones for that portion of the building located between 23 and 28 metres of straight lines projected parallel to and east of the Warden Avenue **street** line and not including any corner rounding, and
 - (iii) 6th storey above finished grade: Minimum 15 metres abutting "S" or "T" zones for that portion of the building located east of a straight line projected parallel to and 29.2 metres east of the Warden Avenue **street** line and not including any corner rounding and more than 16 metres west of the Scotia Avenue **street** line. A terrace and planter may project a maximum of 7 metres into the required setback, and
 - (iv) 7th storey above finished grade: Minimum 10.3 m abutting "S" or "T" zones for that portion of the building located not more than 16 m west of the Scotia Avenue street line and minimum 7.5 m abutting "S" or "T" zones for that portion of the building located between the Warden Avenue **street** line and a line 23 m east of a straight line projected parallel to the Warden Avenue **street** line and not including any corner rounding.
- (e) **Clause VI – PROVISIONS FOR ALL ZONES, Section 5. Landscaping Requirements**, shall not apply, except that a 1.5 m strip of land immediately abutting "S" or "T" zones and within 5 m of both the east and west property lines of the site shall not be used for any purpose other than landscaping.

- (f) **Clause VII – GENERAL PARKING REQUIREMENTS FOR ALL ZONES, 2.1.4, Garages, Carports and Accessory Buildings** shall not apply.
- (g) Outdoor **bicycle parking spaces** are not subject to the requirements of Performance Standard 148.
- (h) A solid masonry wall having a minimum height of 1.6 m and a maximum height of 3.25 m measured at the south side of the wall, and a minimum height of 1.6 m and a maximum height of 2.85 m measured at the north side of the wall, shall be provided parallel to and within 0.4 m of the north property line, extending from a point 5 m east of the west property line to a point 5 m west of the east property line. The height of the masonry wall shall be measured from the finished grade to the top of the wall.

PURSUANT TO DECISION/ORDER OF THE ONTARIO MUNICIPAL BOARD ISSUED ON OCTOBER 20, 2010 IN BOARD FILE NO. PL080299.

Schedule '1'



Zoning By-Law Amendment

3520 Danforth Avenue

File # 06-199459 OZ

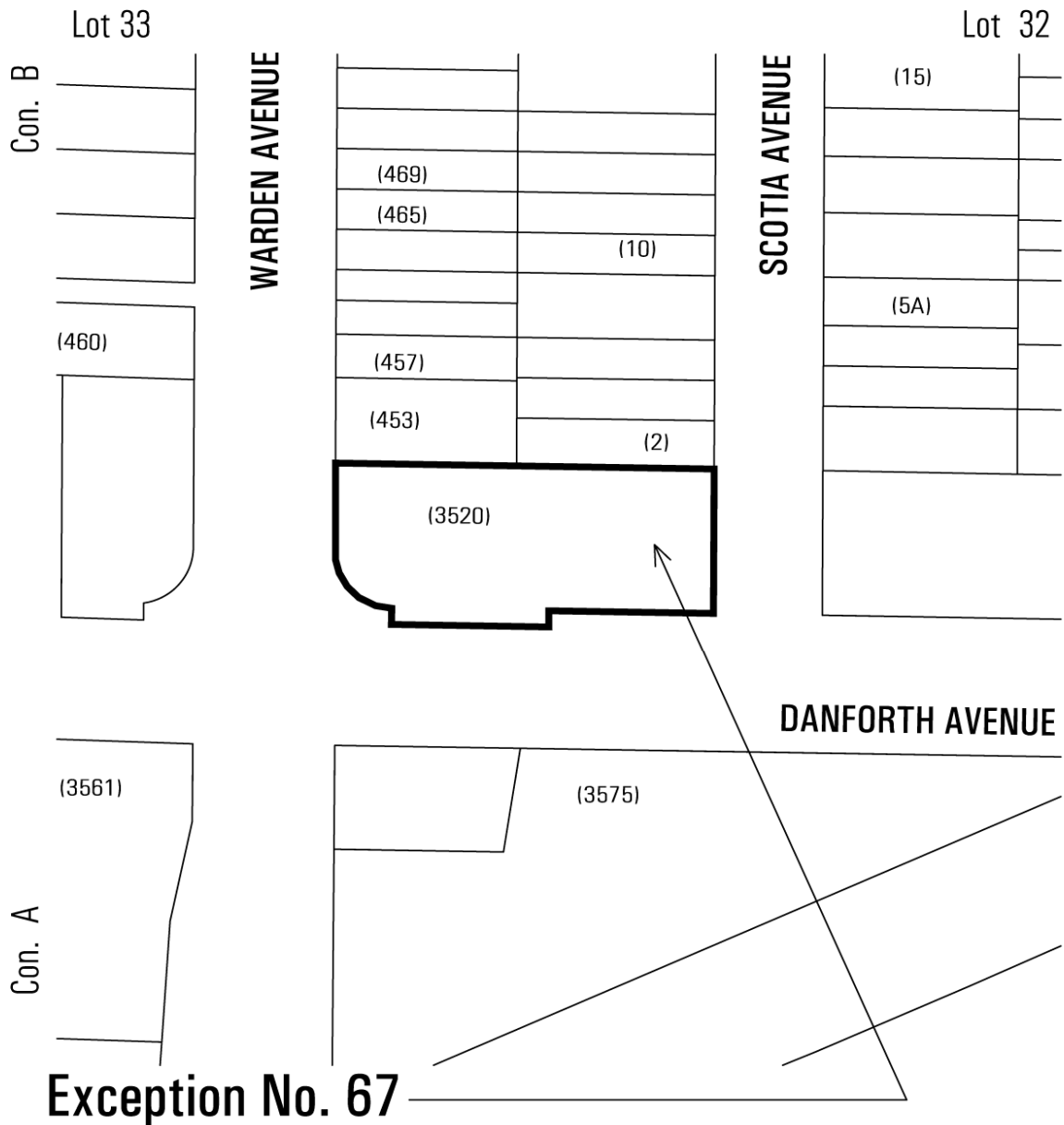


Area Affected By This By-Law

Oakridge Community Bylaw
Not to Scale
11/25/09



Schedule '2'



Toronto City Planning Division
Zoning By-Law Amendment

3520 Danforth Avenue

File # 06-199459 0Z

 Area Affected By This By-Law

Oakridge Community Bylaw
 Not to Scale
 11/25/09

