

CITY OF TORONTO

BY-LAW No. 1314-2011(OMB)

To amend former Borough of East York Zoning By-law No. 6752, as amended, with respect to the lands municipally known as 2 True Davidson Drive.

WHEREAS the Ontario Municipal Board pursuant to its Order issued November 9, 2011 deemed it advisable to amend the former Borough of East York By-law No. 6752, as amended, with respect to certain lands municipally known as 2 True Davidson Drive;

THEREFORE former Borough of East York By-law No. 6752 is hereby amended by the Ontario Municipal Board as follows:

1. The lands subject to this By-law are those lands outlined by heavy black line as shown on Map 1 attached hereto.
2. Schedule "A" to Zoning By-law No. 6752, as amended, as it applies to the lands identified as Part A on Map 1 of this By-law, is further amended by changing the zoning category from Conservation G to Residential R1C – Site Specific (R1C.9) Zone.
3. Schedule "A" to Zoning By-law No. 6752, as amended, as it applies to the lands identified as Part B on Map 1 of this By-law shall remain Conservation G.
4. Former East York Zoning By-law No. 6752, as amended, is hereby further amended by adding a new Section 7.4.4.9 immediately after Section 7.4.4.8 of the by-law as follows:

"7.4.4.9 2 True Davidson Drive (R1C.9 Zone)

7.4.4.9.1 Area Restricted

The provisions of this section shall only apply to those lands municipally known as 2 True Davidson Drive identified as Parts A and B on Map 1 of By-law No. 1314-2011(OMB) and zoned Residential R1C.9 and Conservation G on Schedule "A".

7.4.4.9.2 General Provisions

On those lands referred to in Section 7.4.4.9.1 of this By-law, no person shall use, occupy, erect, alter, cause to be used, occupied, erected or altered, any building, structure, or land or part thereof, except in accordance with the following provisions:

(1) Definitions

For the purpose of Section 7.4.4.9:

- (a) "MAP 1", "MAP 2" and "MAP 3" means Map 1, Map 2 and Map 3 attached to and forming part of By-law No. 1314-2011(OMB).

(2) Development Areas

- (a) For the purpose of this Section, reference to the lot shall mean Part A on Map 1;
- (b) The development permissions and requirements contained in Sections 7.4.4.9.2 (3) and (4) shall only apply to Part A on Map 1;
- (c) No building, structure or swimming pool, or any part thereof, and no landscape-architectural element, including but not limited to, driveways, parking areas, decorative stonework, sidewalks, patios, screening, or any portion thereof, shall be permitted within Part B on Map 1; and
- (d) Notwithstanding Section 7.4.4.9.2 (2)(c) and 7.4.4.9.2 (4)(e), a noise attenuation fence and retaining wall shall be permitted in the locations identified on Map 3.

(3) Permitted Uses, Buildings and Structures – Part A

Residential uses

One-Family Detached Dwelling

Buildings and Structures accessory to the foregoing

(4) Development Requirements – Part A

- | | | |
|-----|---|--|
| (a) | Minimum Lot Area | 600 m ² |
| (b) | Maximum Gross Floor Area | 600 m ² |
| (c) | Maximum Height | 13.5 metres |
| (d) | Maximum Number of Storeys | 3 Storeys |
| (e) | Location of all Buildings,
Structures or portion thereof | Wholly within the
Building Envelope
as shown on Map 2
except as permitted
by Section 5.6 a) –
e), h) & i) |
| (f) | Minimum Number of Parking
Spaces | 1 Off-Street
Parking Space |
| (g) | Minimum Landscaped Open Space | 25% of the
Minimum Lot Area |

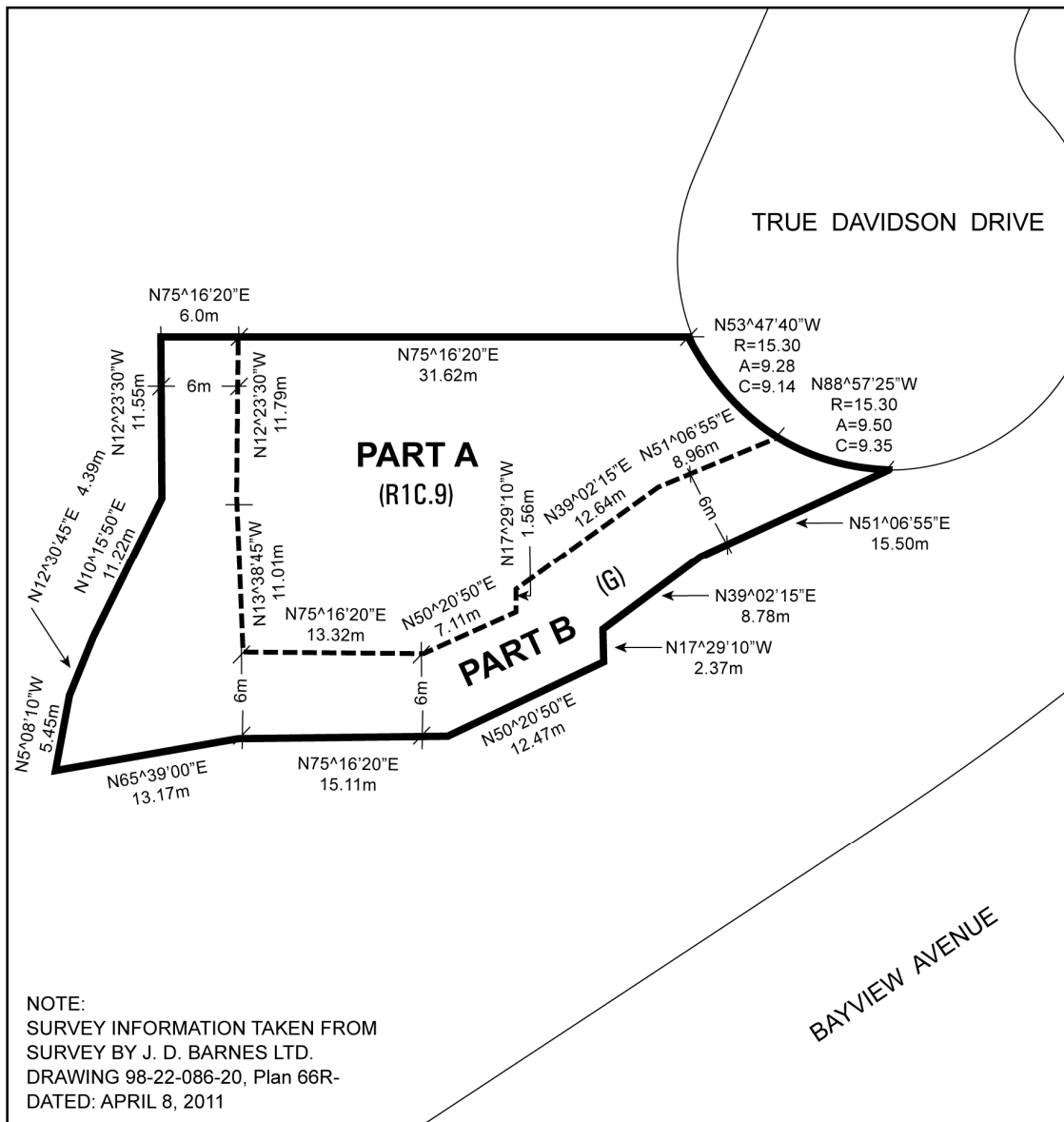
(5) Other Provisions

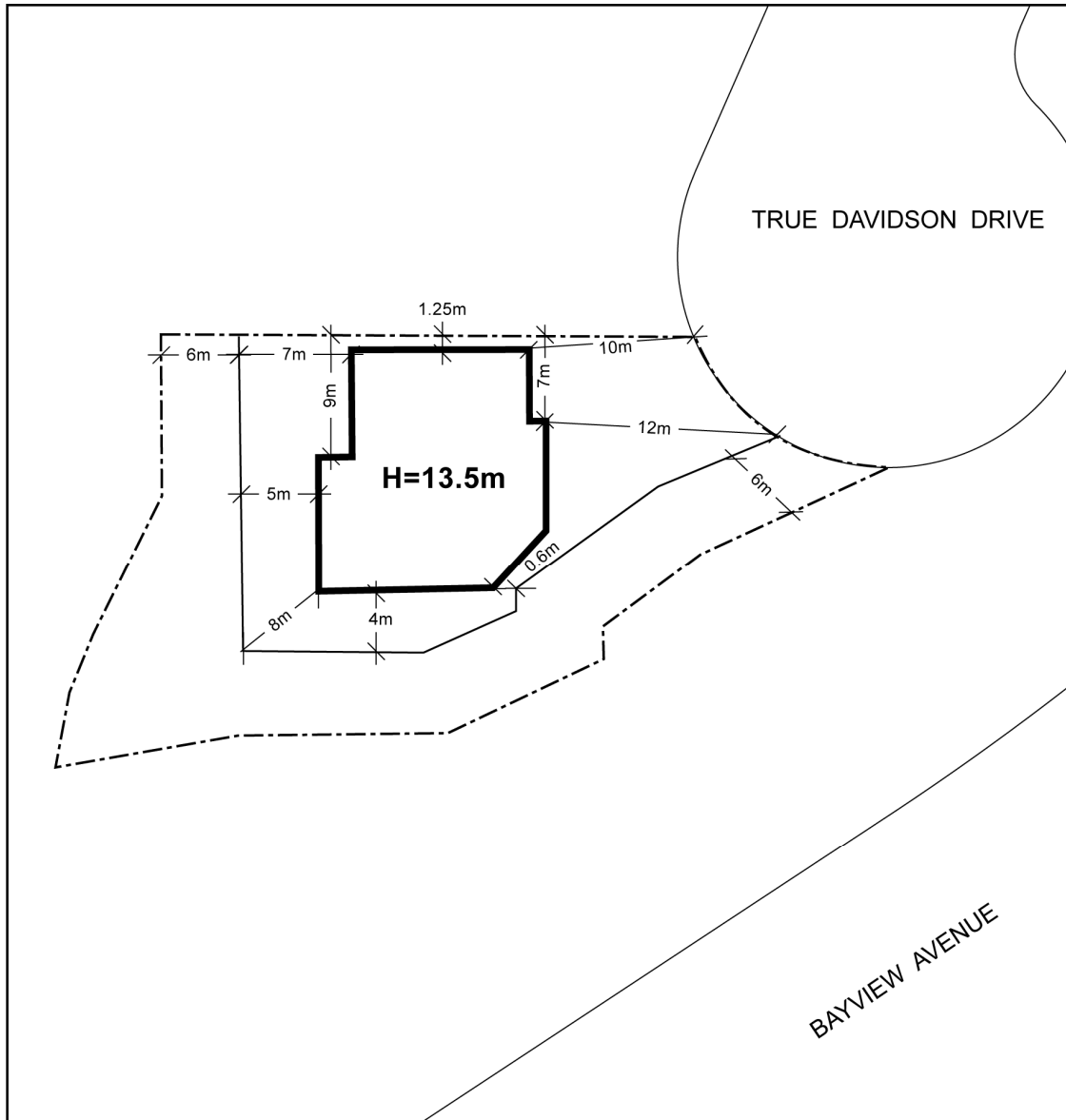
- (a) A garage located below grade shall be permitted within Part A on Map 1; and
- (b) Except as amended by this Section 7.4.4.9, all other provisions of this By-law, with the exception of provisions applicable to lands in an R1C zone, shall apply to the lands referred to Section 7.4.4.9.1."

5. Within the lands shown on Map 1 attached to this By-law, no person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:

- (a) all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway; and
- (b) all water mains and sanitary sewers, and appropriate appurtenances, have been installed and are operational.

PURSUANT TO THE ORDER/DECISION OF THE ONTARIO MUNICIPAL BOARD
ISSUED NOVEMBER 9, 2011 UNDER BOARD FILE NO. PL100346.





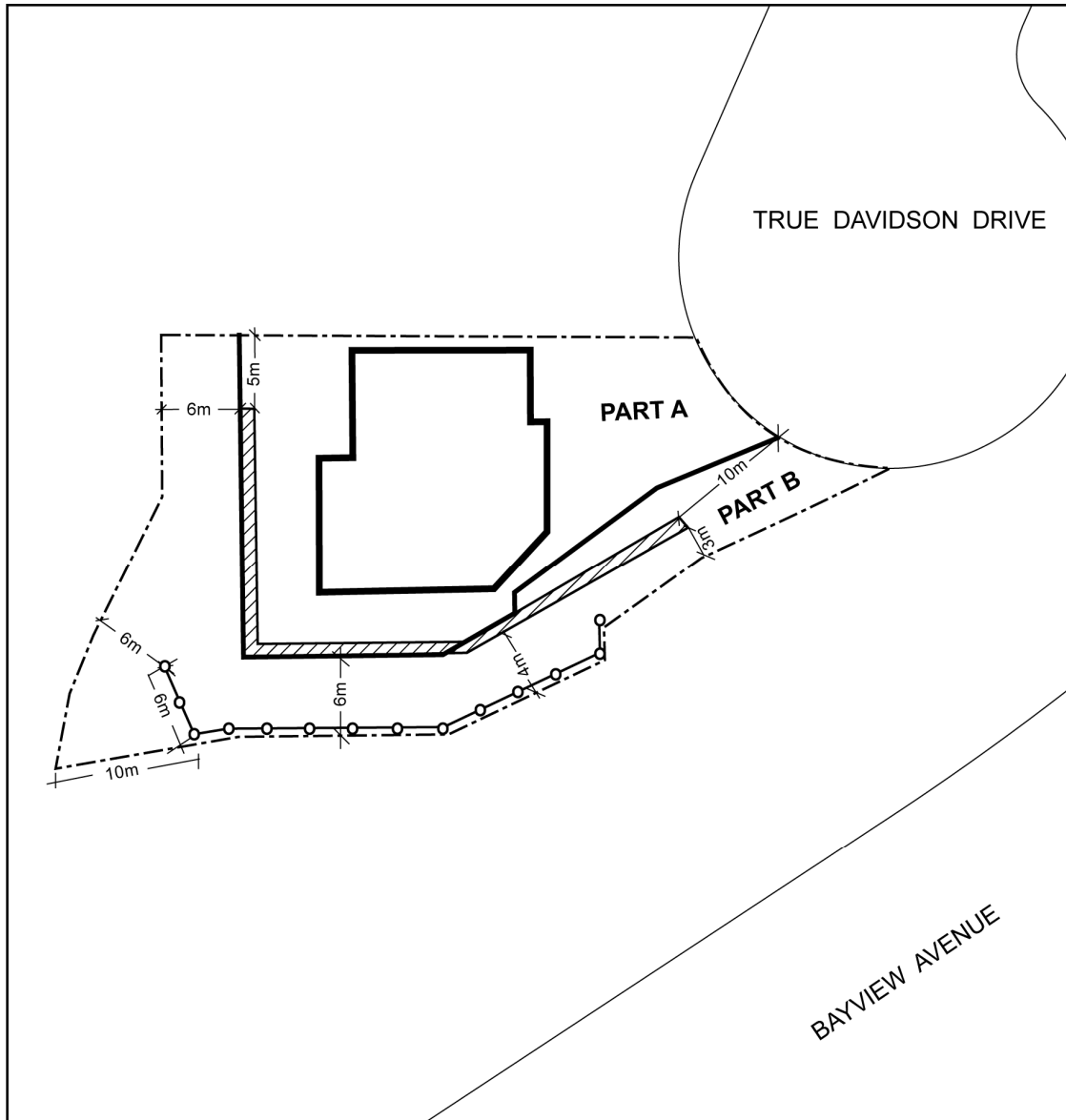
Toronto City Planning
Map 2

2 True Davidson Drive

File # 05_102723

— Building Footprint (*will not extend past 6m No Build Line)
 - 5m - Building Setbacks (minimum)
 H= Maximum Building Height

↑
Not to Scale
08/4/11



TORONTO City Planning

Map 3

2 True Davidson Drive

File # 05_102723

- Property Line
- Building Envelope
- Noise Attenuation Fencing - (centre of posts will be inset a minimum of 0.5 m within property boundary)
- ▨ Retaining Wall
- m — Minimum Dimension in Metres

↑
Not to Scale
08/04/11