

CITY OF TORONTO

BY-LAW No. 1434-2011(OMB)

To amend the former City of Scarborough Zoning By-law No. 10010, (Scarborough Village Community) as amended, with respect to the lands municipally known as 2 and 4 Dale Avenue.

WHEREAS authority is given to the Ontario Municipal Board by Section 34(11) of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to direct that this by-law be enacted; and

WHEREAS the Ontario Municipal Board has considered the merits of an appeal of the application to amend the Zoning By-law;

THEREFORE the Ontario Municipal Board HEREBY AMENDS the Scarborough Village Community Zoning By-law No. 10010, as amended, of the former City of Scarborough, as follows:

1. Schedule "A" is amended by deleting the current zoning and replacing it with the following zoning as shown on the attached Schedule '1':

M – 39 – 60I – 167 – 173 – 174 – 226 – 257 – 263 – 291 – 292 – 400 – 401 – 402

2. Schedule "B", **PERFORMANCE STANDARDS CHART**, is amended by adding the following Performance Standards:

BUILDING SETBACKS FROM LOT LINES OTHER THAN STREET LINES

60I. Minimum building **setback** of 10.2 metres except that:

- (a) All **main walls** shall be **setback** a minimum of 27 m from a **Railway Corridor Zone (RWY)**.

MISCELLANEOUS

173. Maximum number of **storeys** excluding **basements**: 3

174. Maximum building **height** of 12.2 m, measured from the average elevation of the finished grade at the front wall of a **Single-Family Dwelling** or combined **Two-Family Dwelling**.

PARKING

226. Minimum of 2.1 **parking spaces** to be provided for every **dwelling unit**, on the following basis:

- (a) 1 enclosed **parking space** for each **dwelling unit** each having minimum dimensions of 3.2 m x 5.6 m;
- (b) 1 tandem **parking space** be provided on the **driveway** leading to the required enclosed **parking space**; and

- (c) minimum of 0.1 visitor **parking spaces** to be provided, not in tandem.

INTENSITY OF USE

263. Maximum building **coverage** 25 percent of the area of the lot.

BUILDING SETBACK FROM STREET

291. Minimum building **setback** of 3.0 m from the Dale Avenue **street** line for **Single-Family Dwellings**. Chimneys, pilasters, roof overhangs, balconies, unenclosed porches and exterior steps can project a maximum of 1.0 m into the Dale Avenue **street yard**.
292. Minimum building **setback** of 2.8 m from the Dale Avenue **street** line for **Two-Family Dwellings**. Chimneys, pilasters, roof overhangs, balconies, unenclosed porches and exterior steps can project a maximum of 1.0 m into the Dale Avenue **street yard**.

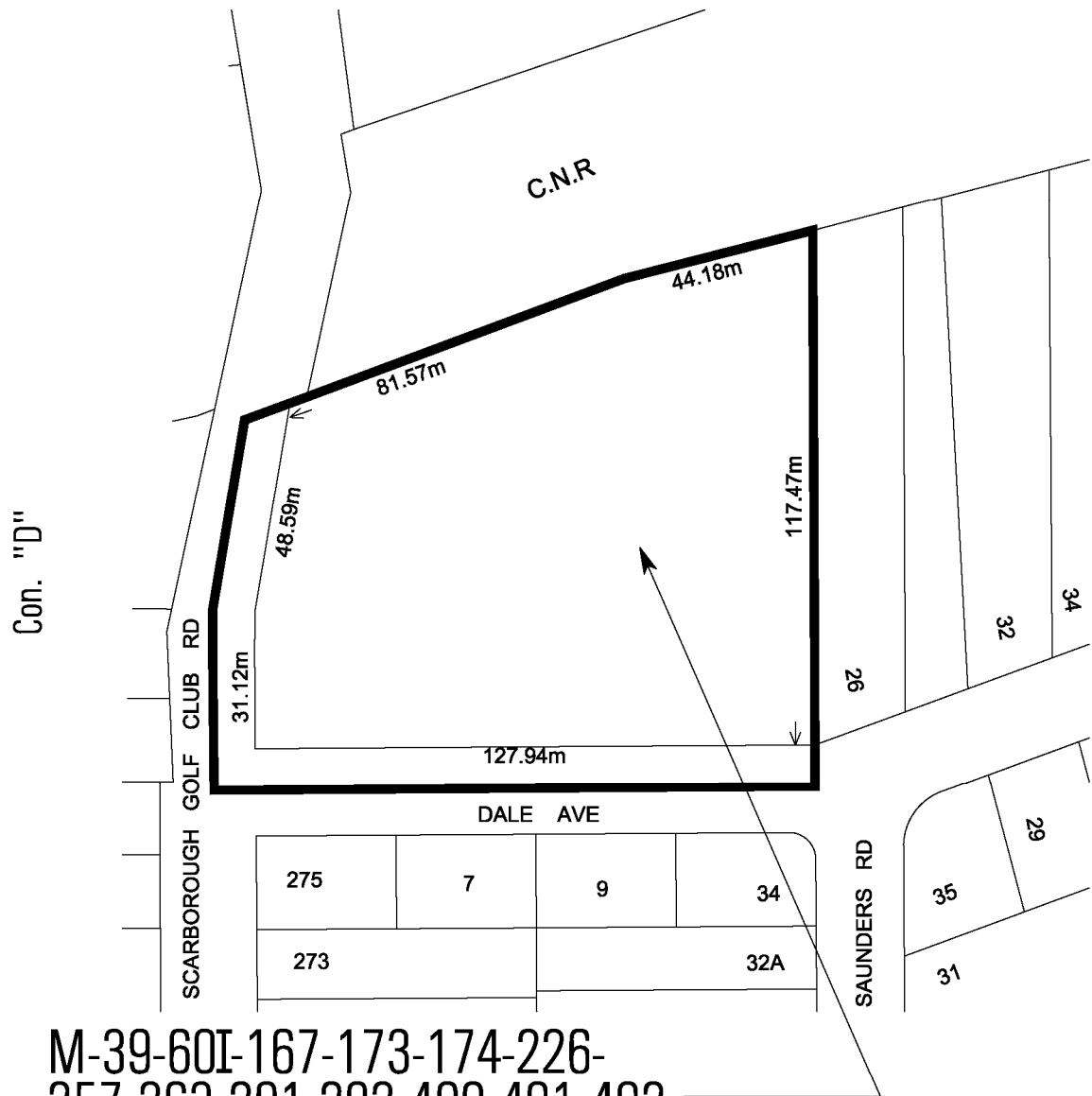
MISCELLANEOUS

400. Notwithstanding **CLAUSE VI- PROVISION FOR ALL ZONES, Sub-Clause 5. Landscaping Requirements**, a private driveway is permitted within the required 1.5 m landscaping strip abutting "S" or "T" zones.
401. **CLAUSE VI - PROVISION FOR ALL ZONES, Sub-Clause 15. Regulations for Single-Family and Two-Family Dwellings** shall not apply.
402. No person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:
- (a) all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway; and
 - (b) all water mains and sanitary sewers, and appropriate appurtenances, have been installed and are operational.

PURSUANT TO THE ORDER/DECISION OF THE ONTARIO MUNICIPAL BOARD
ISSUED NOVEMBER 29, 2011 IN BOARD FILE NO. PL010101.

Schedule '1'

Lot 16



M-39-60I-167-173-174-226-
257-263-291-292-400-401-402

**Zoning By-law Amendment**

2 and 4 Dale Avenue

File # 05-127681 SA



Area Affected By This By-Law

Scarborough Village Community By-law
Not to Scale
07/11/11

