

Authority: Planning and Growth Management Committee Item 19.2, adopted as amended, by
City of Toronto Council on November 27, 28 and 29, 2012
Enacted by Council: November 29, 2012

CITY OF TORONTO

BY-LAW No. 1652-2012

To adopt Amendment No. 207 to the Official Plan of the City of Toronto respecting the lands within the O'Connor Drive Avenue Study Area between St. Clair Avenue East and Sandra Road, and Victoria Park Avenue.

WHEREAS authority is given to Council under the *Planning Act*, R.S.O. 1990, c. P.13, as amended, to pass this By-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. Amendment No. 207 to the Official Plan of the City of Toronto, consisting of the text and maps attached hereto as Schedule "A", is hereby adopted pursuant to the Planning Act, R.S.O. 1990, c. P.13, as amended.

ENACTED AND PASSED this 29th day of November, A.D. 2012.

FRANCES NUNZIATA,
Speaker

ULLI S. WATKISS,
City Clerk

(Corporate Seal)

Schedule "A"**Amendment No. 207 to the Official Plan respecting the O'Connor Drive Avenue Study Area between St. Clair Avenue East and Sandra Road and Victoria Park Avenue**

The Official Plan of the City of Toronto is amended as follows:

1. Chapter 7, Site and Area Specific Policies, is amended by adding the following Site and Area Specific Policy 400 for the lands identified on the accompanying Schedules 1 and 2 that form part of the policy as follows:

"400. O'Connor Drive Avenue Study Area, between St. Clair Avenue East and Sandra Road and Victoria Park Avenue

For the purpose of this policy, the O'Connor Drive Avenue Study Area includes properties that front onto O'Connor Drive between Victoria Park Avenue in the north and St. Clair Avenue East and Sandra Road in the south as identified on Schedule 1. It includes properties that are in close proximity to the intersections of O'Connor Drive and Victoria Park Avenue and O'Connor Drive and St. Clair Avenue East as identified on Schedule 2.

a) Objectives

Throughout the O'Connor Drive Avenue Study Area, in the locations identified on Schedules 1 and 2 attached, development will:

- i) contribute to the vision of the desired urban structure for the area;
- ii) support the range of permitted uses including residential, employment, retail and institutional while contributing to the vitality of the area;
- iii) enhance, improve or add to the public realm;
- iv) provide appropriate relationships between buildings, and between buildings and the public realm by addressing matters such as massing, set-backs, and step-backs;
- v) provide high quality architecture, site planning, and landscape design;
- vi) provide active at grade uses in support of a dynamic, interesting and safe street life; and
- vii) encourage environmental sustainability.

b) Urban Design Guidelines

In order to assist in meeting the objectives of the Official Plan, the O'Connor Drive Urban Design Guidelines, as adopted by Council from time to time, will be used to provide direction for reviewing development applications in this policy area. The guidelines will be read in conjunction with the urban design and built form policies of the Official Plan.

The O'Connor Drive Urban Design Guidelines were developed to achieve the above noted objectives. Two key intersections and two portions of O'Connor Drive are identified as having unique functions and characteristics and are shown on Schedule 2.

Future development in the two key intersections will also be sensitive to the adjacent land uses, will contribute towards the creation of a consistent street wall and provide room for an attractive pedestrian environment. Active uses at grade that include commercial and retail uses are encouraged.

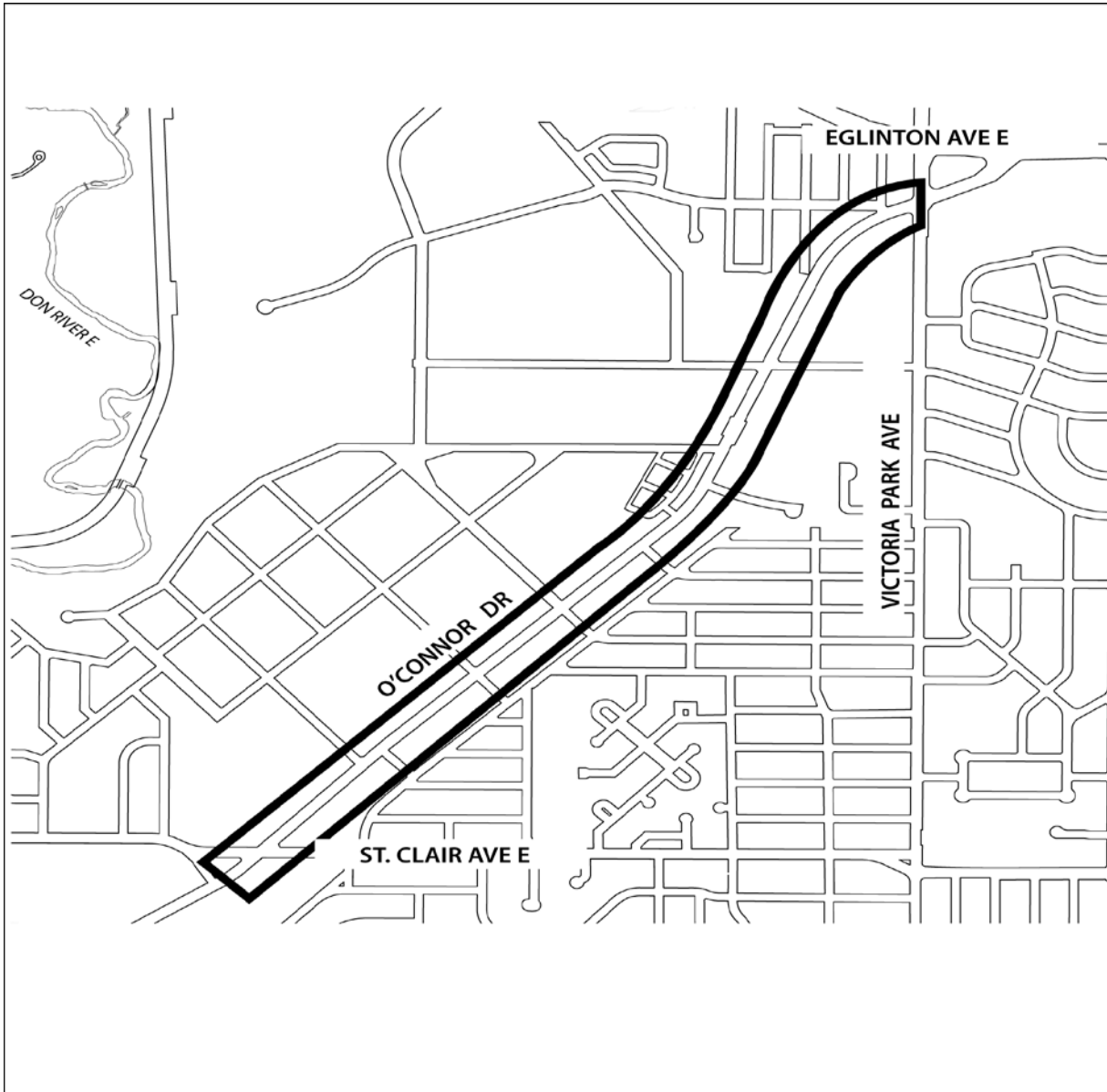
The northerly portion of O'Connor Drive, within this policy area, is identified as an emerging main street area. Applicants for development on lands designated *Mixed Use Area* are to provide an urban design plan which provides an appropriate transition in scale to adjacent uses, consolidates vehicular access to the site and provides for active uses at grade.

The southerly portion of O'Connor Drive, within this policy area, is identified as having a main street character and future development is to contribute to the revitalization of the area and be sensitive to its context.

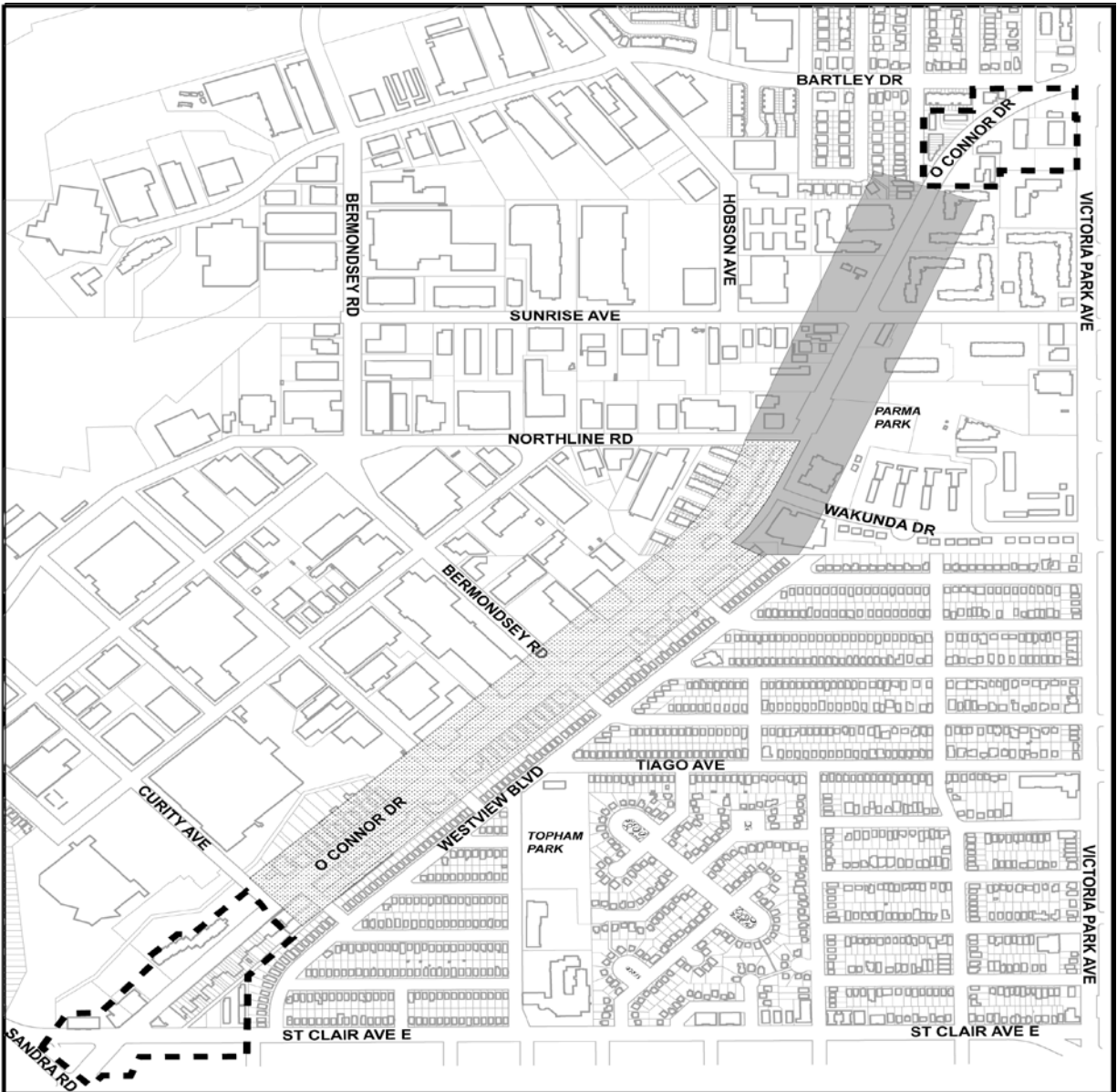
The O'Connor Drive Urban Design Guidelines will provide direction for improvements to the public realm that promote a healthy and vibrant pedestrian environment and include streetscape improvements and enhancing open spaces. Such improvements will occur incrementally and will be considered through new development on adjacent properties."

2. Map 31, Site and Area Specific Policies, is amended by adding the lands shown on Schedule 1 to the identified "Areas affected by the Site and Area Specific Policies" as Policy No. 400.

Schedule 1: Official Plan Area



Schedule 2: District Structure Plan



Official Plan Amendment # 207 - Schedule 2

O'Connor Drive



Key Intersections



Emerging Main Street Areas



Main Street Area



Not to Scale
10/03/12