

Authority: Scarborough Community Council Item 25.23,
as adopted by City of Toronto Council on July 16, 17, 18 and 19, 2013

CITY OF TORONTO

BY-LAW No. 1020-2013

To amend former City of Scarborough Oakridge Community Zoning By-law No. 9812, as amended, with respect to the lands municipally known as 240 Danforth Road.

Whereas authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

Whereas Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto enacts:

1. Schedule "A" of the Oakridge Community Zoning By-law No. 9812 is amended by deleting the existing zoning applying to the lands.
2. Schedule "A" of the Oakridge Community Zoning By-law No. 9812 is amended by substituting new zoning on the subject lands as shown on Schedule 'I' attached hereto and forming part of this By-law, together with the following letters and numerals:

TH - 132 - 136 - 150 - 177 - 178 - 179 - 180 - 181 - 182 - 183 - 184 - 185 - 186 - 187 -
188 - 189 - 190

3. **CLAUSE V - INTERPRETATION (f) Definitions** is amended by adding the following definition:

Townhouse Dwelling shall mean a **building** containing three or more **dwelling units**, in which **dwelling units** are separated from each other vertically, and each of which has a separate entrance directly from outside.

4. **CLAUSE VIII - ZONE PROVISIONS** is amended by adding the following zone provision:

Townhouse Residential (TH) Zone

(a) Permitted Use

- **Townhouse Dwellings**

(b) Ancillary Use Permitted

- **Private Home Day Care**

(c) Supplementary Regulations

- (i) The operation of a **rooming and/or boarding house** is strictly prohibited.

5. **PERFORMANCE STANDARDS CHART - Schedule "B"** is amended by adding the following Performance Standards as follows:

- 177. Maximum of 5 **dwelling units**.
- 178. Maximum building **height** of 9.5 metres.
- 179. Maximum of 2 **storeys**, excluding **basements**.
- 180. Minimum building setback of 2.2 metres from the **street** line of Danforth Road for the northerly 3 **townhouse dwellings**.
- 181. Minimum building setback of 1.2 metres from the **street** line of Danforth Road for the southerly 2 **townhouse dwellings**.
- 182. Minimum setback of 12.5 metres from the west property line to the west **main wall** of the detached **accessory building** for the northerly 3 **townhouse dwellings**.
- 183. Minimum setback of 7.5 metres from the west property line to the west **main wall** of the detached **accessory building** for the southerly 2 **townhouse dwellings**.
- 184. Minimum setback of 1.8 metres from the north property line to the north **main wall** of the **townhouse dwelling**.
- 185. Minimum setback of 0.45 metres from north property line to the north **main wall** of the detached **accessory building**.
- 186. Minimum building setback of 1.8 metres from the **street** line of Mack Avenue to the **townhouse dwelling**, with a building setback of 1.2 metres through the entire corner rounding.
- 187. Minimum building setback of 4.4 metres from the **street** line of Mack Avenue to the detached **accessory building**.
- 188. A minimum 0.7 metre strip of land abutting the north property line shall only be used for **landscaping**.
- 189. A minimum 0.8 metre strip of land abutting the west property line shall only be used for **landscaping**.

190. Minimum 1.2 **parking spaces** per **dwelling unit**, provided at a minimum rate of:

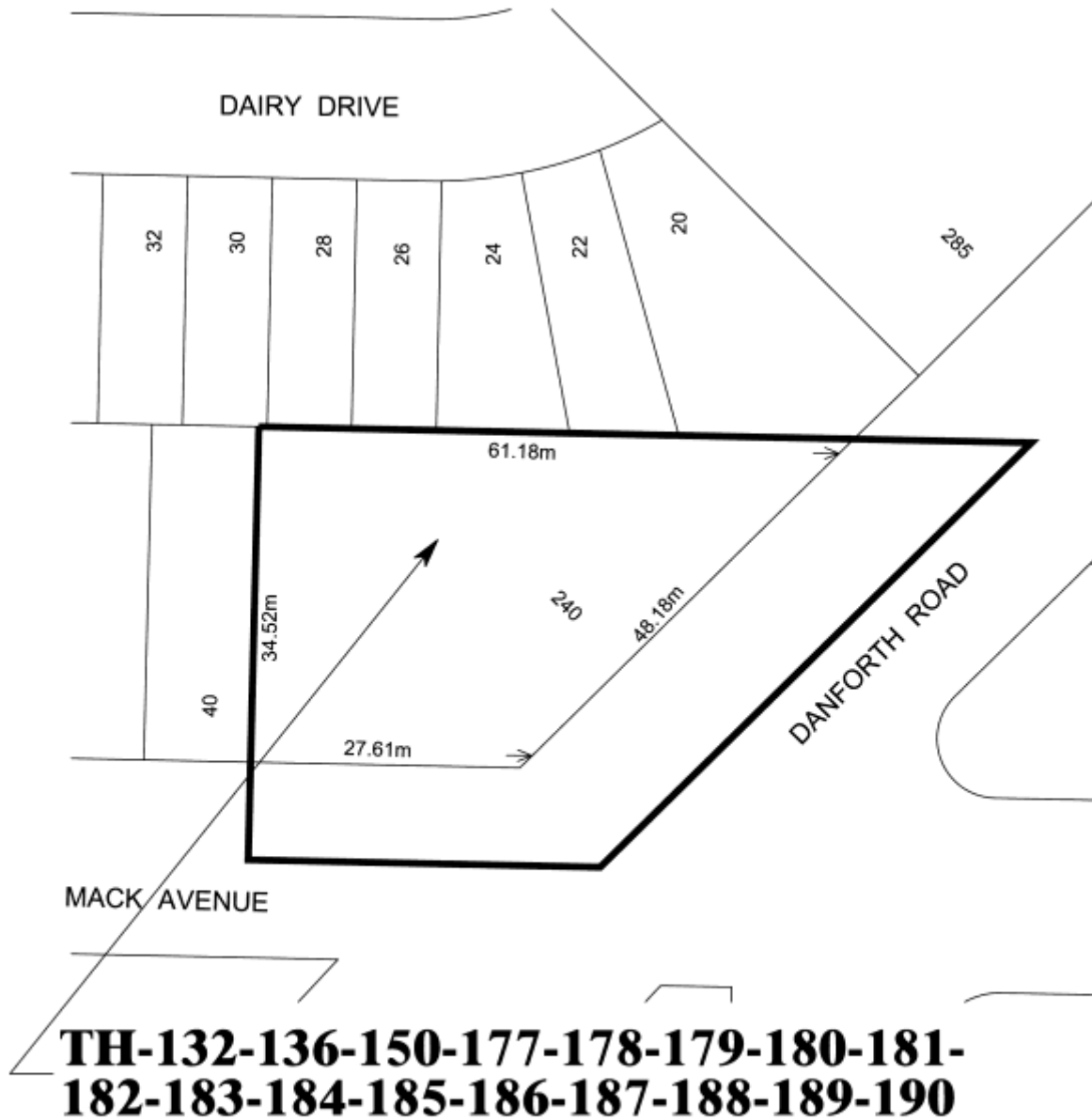
- (a) Resident - 1.0 **parking spaces** per unit, and
- (b) Visitor - 0.2 **parking spaces** per unit.

Enacted and passed on July 19, 2013.

Frances Nunziata,
Speaker

Ulli S. Watkiss,
City Clerk

(Seal of the City)

Schedule '1'

Toronto City Planning Division
Zoning By-Law Amendment

240 Danforth Road
 File # 06 116641 ESC 35 0Z

 Area Affected By This By-Law

Oakridge Community By-law
 Not to Scale
 5/29/13