

Authority: Scarborough Community Council Item 25.24,  
as adopted by City of Toronto Council on July 16, 17, 18 and 19, 2013

## **CITY OF TORONTO**

### **BY-LAW No. 1052-2013**

**To amend former City of Scarborough Cliffcrest Community Zoning By-law No. 9396,  
as amended, with respect to the lands municipally known as 3765 St Clair Avenue East.**

Whereas authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13,  
as amended, to pass this By-law; and

Whereas Council of the City of Toronto has provided adequate information to the public and has  
held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto enacts:

1. **CLAUSE V - INTERPRETATION (f) Definitions** is amended by adding the following definition:

**Townhouse** means a **building** that has three or more **dwelling units**, and no **dwelling unit** is entirely or partially above another.

2. **Schedule "A"** is amended by deleting the current zoning and replacing it with the following zoning as shown on the attached Schedule '1':

S - 30 - 103 - 129 - 139 - 140 - 208 - 364 - 372

M - 29 - 103 - 138 - 140 - 214 - 310 - 313 - 364 - 373

M - 103 - 138 - 140 - 141 - 215 - 216 - 311 - 312 - 313 - 364 - 374

3. **Schedule "B", PERFORMANCE STANDARD CHART**, is amended by adding the following Performance Standards:

#### **INTENSITY OF USE**

372. Maximum one **dwelling unit** per parcel having a minimum 7.5 m frontage on a public **street** and a minimum area of 196 m<sup>2</sup>.

373. Maximum number of **dwelling units**: 11.

374. Maximum number of **dwelling units**: 10.

#### **PARKING**

310. A minimum of 1 **parking space** for visitor use having a minimum length of 6.6 m.

- 311. A minimum of 2 **parking spaces** for visitor use having a minimum length of 6.0 m.
- 312. Maximum **driveway** width of 2.6 m.
- 313. Minimum **parking space** width of 3.2 m and length of 5.6 m within an attached garage.

#### **BUILDING SETBACK FROM LOT LINES**

- 214. Minimum building **setback** of 1.0 m from the west lot line and 1.1 m from the east lot line.
- 215. Minimum building **setback** of 7.5 m from the west and east lot lines.
- 216. Minimum building **setback** of 6.8 m from the south lot line.

#### **MISCELLANEOUS**

- 138. Maximum 3 **storeys**, excluding **basements**, to a maximum of 12.5 m in **height**.
  - 139. Maximum 3 **storeys**, excluding **basements**, to a maximum of 10.5 m in **height**.
  - 140. No person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:
    - (a) All new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway; and
    - (b) All water mains and sanitary sewers, and appropriate appurtenances, have been installed and are operational.
  - 141. Minimum building **setback** of 5.6 m from the private street line, other than end **townhouse** units.
- 4. SCHEDULE "C", EXCEPTIONS MAP**, is amended by deleting Exception 51 from the property as shown on the attached Schedule '2'.
- 5. SCHEDULE "C", EXCEPTIONS MAP and EXCEPTION LIST** are amended by adding Exceptions 59 and 60 to the property as shown on the attached Schedule '2'.
59. On those lands identified as Exception 59 on the accompanying Schedule "C" map, the following provision shall apply:
- (a) Additional Permitted Use:

#### **Townhouses**

60. On those lands identified as Exception 60 on the accompanying Schedule "C" map, the following provision shall apply:

- (a) For the purposes of determining lot **coverage** and frontage on a public **street**, the provisions of this By-law shall apply collectively to this property notwithstanding its division into two or more parcels.

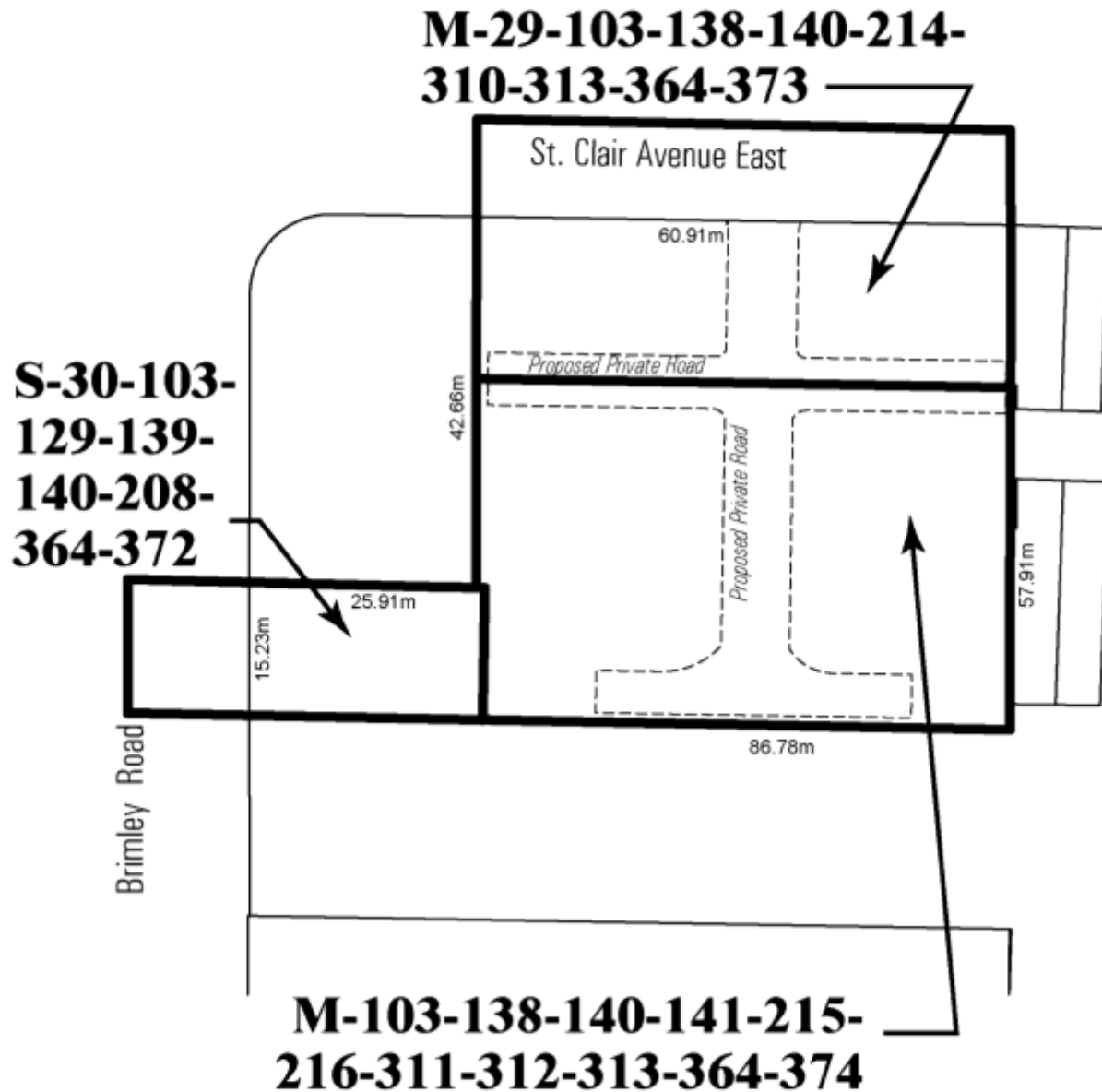
Enacted and passed on July 19, 2013.

Frances Nunziata,  
Speaker

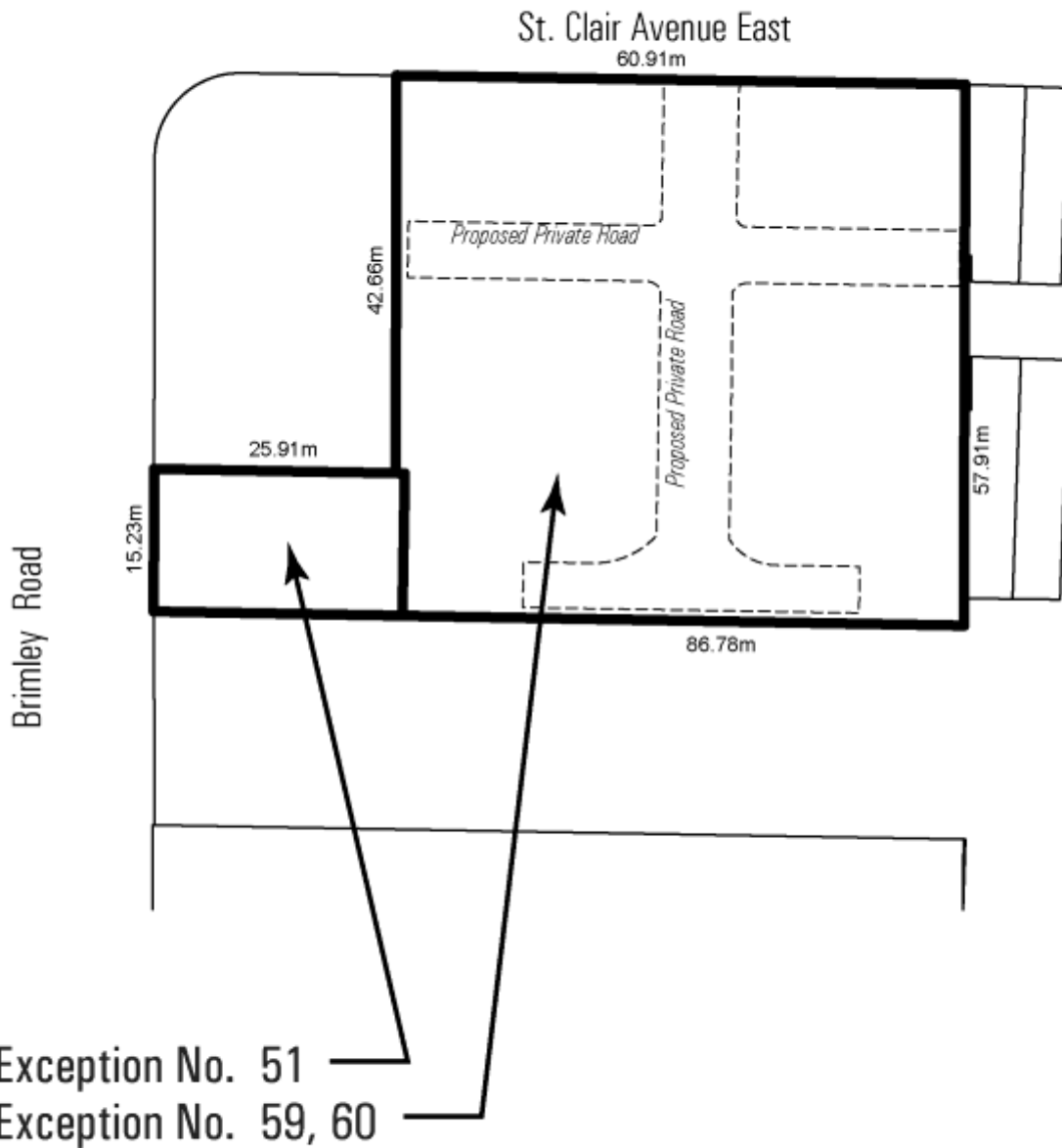
Ulli S. Watkiss,  
City Clerk

(Seal of the City)

## Schedule '1'



## Schedule '2'



**TORONTO** City Planning  
Division  
**Zoning By-Law Amendment**

3765 St. Clair Avenue East  
File # 12 240757 ESC 36 OZ

 Area Affected By This By-Law

Cliffcrest Community  
Not to Scale  
05/21/2013  
