

Authority: Planning and Growth Management Committee Item 20.3,
as adopted by City of Toronto Council on February 20 and 21, 2013

CITY OF TORONTO

BY-LAW No. 1297-2013

To amend former City of North York Zoning By-law No. 7625, as amended, with respect to the lands municipally known as 1755 Steeles Avenue West.

Whereas authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

Whereas Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto enacts:

1. Schedules "B" and "C" of By-law No. 7625 of the former City of North York are amended in accordance with Schedule 1 of this By-law.
2. Section 64.31(68) of By-law No. 7625 is hereby repealed and replaced by the following:

"64.31(68) M2(68)

DEFINITIONS

- (a) For the purposes of this Exception, "development block" shall mean one of the lettered blocks on Schedules M2(68) and M2(68)(H);
- (b) For the purposes of this Exception, "established grade" shall mean 188.8 metres above sea level;
- (c) For the purposes of this Exception, "existing structures" shall mean a building lawfully existing on the date of enactment of this By-law; and
- (d) For the purposes of this Exception, "Site" shall mean the lands shown on Schedules M(68) and M(68)(H).

PERMITTED USES

- (e) Notwithstanding Section 31(2)(a), the only uses permitted on the Site within 70 metres of any lot in an R or RM zone shall be the uses permitted in an M1 zone.

FLOOR SPACE INDEX

- (f) The maximum floor space index is 1.0.

YARD SETBACKS

- (g) The required yard setbacks shall be as indicated on Schedule M2(68) and M2(68)(H) and all development on the Site shall be set back a minimum of 10 metres from the long term stable top of bank as determined by the Toronto Region Conservation Authority in September 2011.

LANDSCAPING

- (h) In addition to the landscaping requirements of Section 31(6)(b) and 31(6)(c), a minimum 5 metre landscape buffer shall be provided along the east property line adjacent to Hidden Trail.

BUILDING HEIGHT

- (i) The maximum building height for Development Blocks A, B, C and D on Schedule M2(68)(H) is the lesser of 23 metres or four storeys.

PARKING

- (j) The minimum parking rates for all uses on the Site shall be as follows:
- i. 850 parking spaces for a gross floor area of 90,000 square metres; and
 - ii. 1 space for each 190 square metres of gross floor area exceeding 90,000 square metres.

EXISTING STRUCTURES

- (k) The Existing Structure shown as Building #18 shall be maintained in its current form at its current location as shown on Schedule M2(68)(H); and
- (l) The Existing Structure shown in outline on the southeast corner of Schedule M2(68)(H) adjacent to Hidden Trail may be maintained in its current form, but the lands thereunder shall not be considered a Development Block if such structure is demolished.

HOLDING PROVISIONS

- (m) For lands identified on Schedule M2(68)(H) as subject to a Holding (H) symbol, uses permitted prior to the removal of the (H) symbol shall be those uses permitted in an M2 zone subject to the regulations of this Exception provided the permitted uses are located within a building existing on February 1, 2013, or in addition thereto not exceeding 10% of the gross floor area or in a new building of less than 1,000 square metres and all other provisions of this Exception are complied with; and

- (n) Prior to removing the Holding (H) symbol from Schedule M2(68)(H), a Functional Servicing Report in a form and content satisfactory to the Executive Director, Technical Services Division must be filed with the City outlining the private and public infrastructure required to service the proposed development.

LAND DIVISION

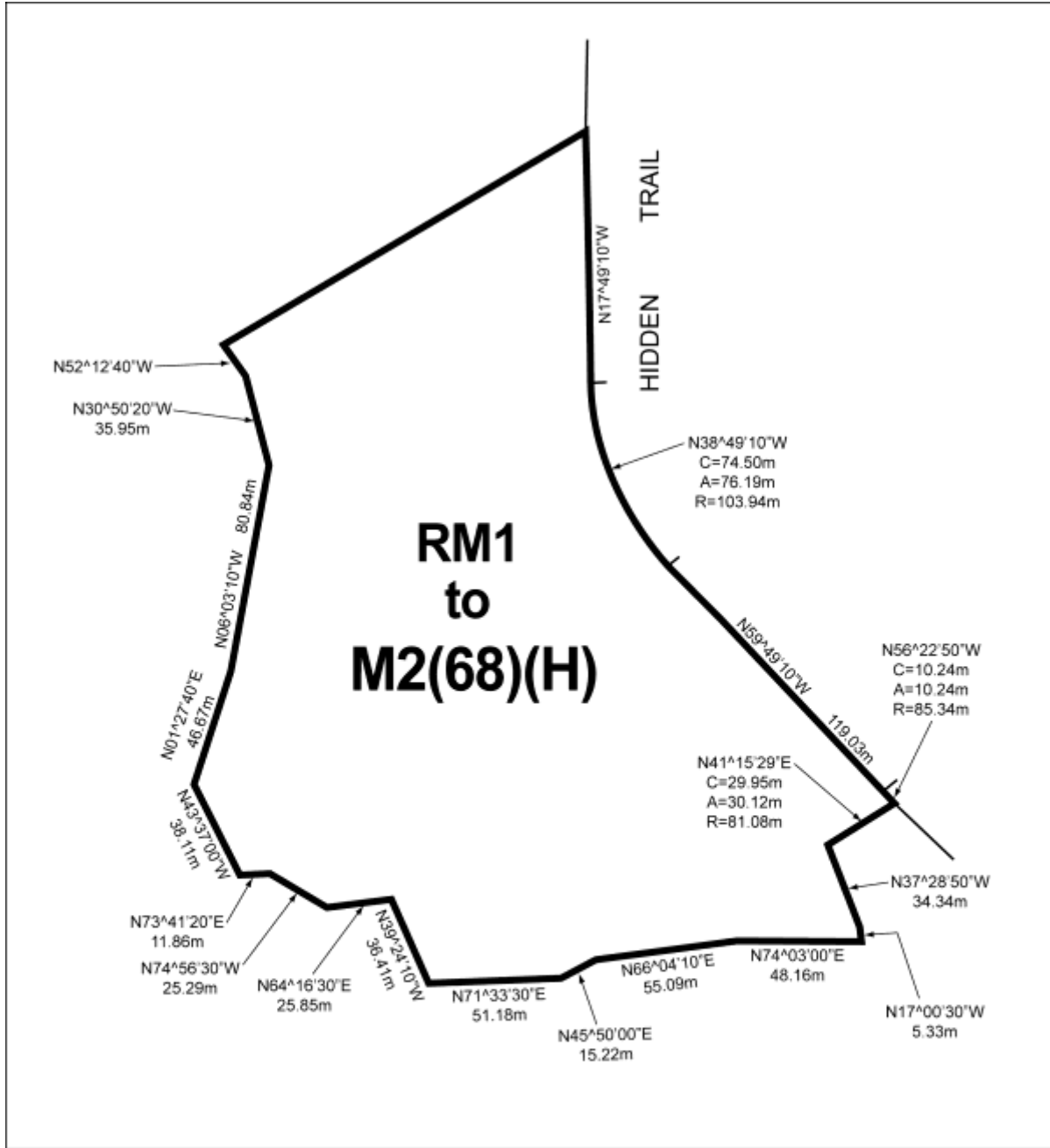
- (o) Notwithstanding any severance, partition or division of the lands shown on Schedule M2(68) and M2(68)(H), the regulations of this Exception shall continue to apply to the whole of the lands as if no severance, partition or division has occurred."
3. Within the lands shown on Schedule M2(68) and M2(68)(H) attached to this By-law, no person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:
- (a) All new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway; and
- (b) All water mains and sanitary sewers and appropriate appurtenances, have been installed and are operational.

Enacted and passed on October 11, 2013.

Frances Nunziata,
Speaker

Ulli S. Watkiss,
City Clerk

(Seal of the City)



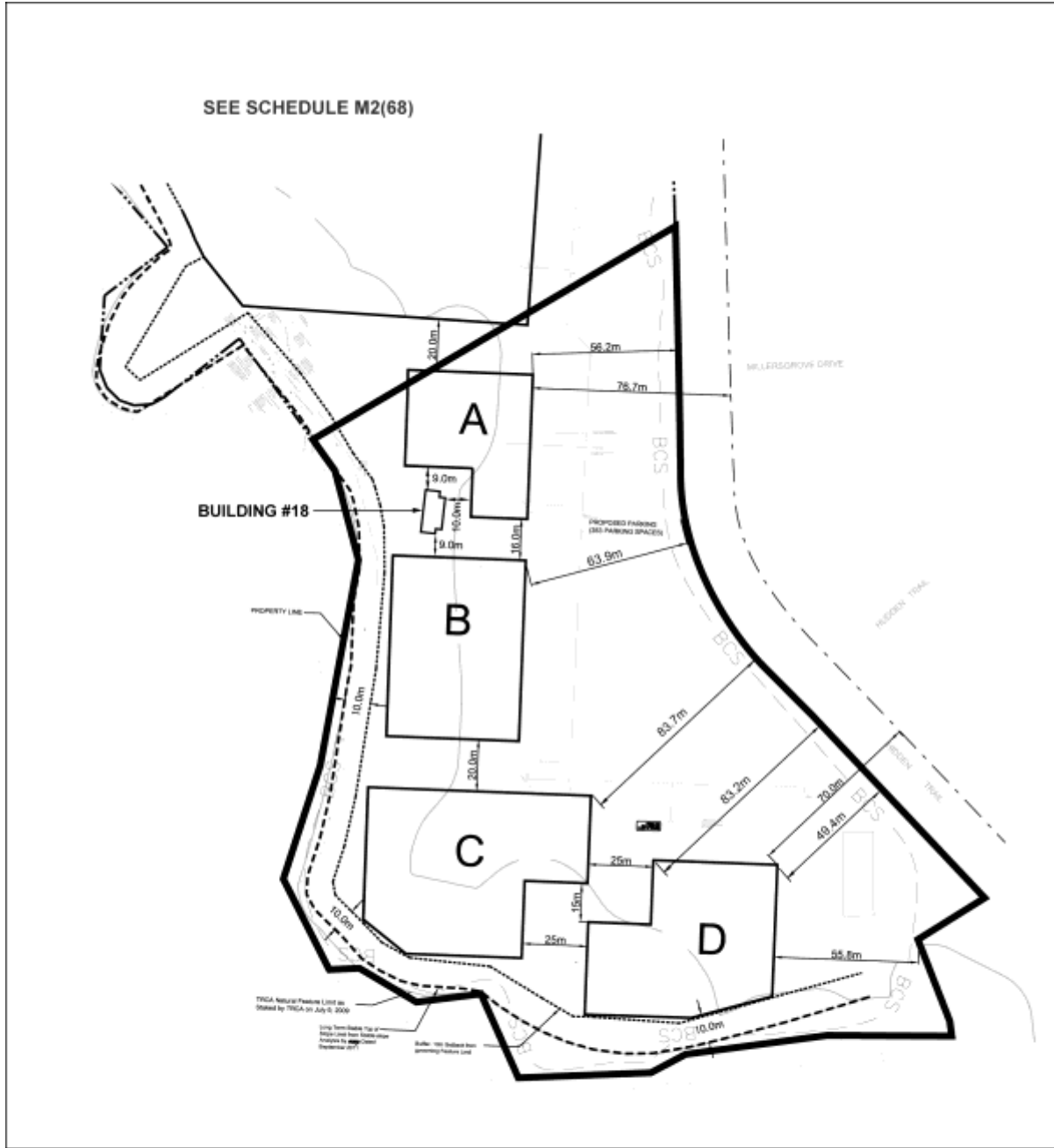
Schedule 1

Con. 2, WYS, Part of Lots 23,24 & 25, R.P. 2570, Blocks B & C, Lots 2, 4 & 6, R.P. M1859, Blocks AA, BB, P, T, U, V, W & X
Speight, Van Nostrand & Gibson Limited

File # 10 120879 NNY 10 0Z

Date: 12/18/2012
Approved by: C. Ventresca

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Not to Scale



Schedule M2(68)(H)

Con. 2, WYS, Part of Lots 23,24 & 25, R.P. 2570, Blocks B & C, Lots 2, 4 & 6, R.P. M1859, Blocks AA,BB, P,T,U,V,W & X Speight, Van Nostrand & Gibson Limited

File # 10 120879 NNY 10 OZ

Date: 09/30/2013
 Approved by: C. Ventresca

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 Not to Scale

