

Authority: Etobicoke York Community Council Item 29.4,
as adopted by City of Toronto Council on December 16, 17 and 18, 2013

CITY OF TORONTO

BY-LAW No. 1680-2013

To amend former City of York Zoning By-law No. 1-83, as amended, with respect to the lands municipally known as 55 Ypres Road.

Whereas authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, to pass this By-law; and

Whereas Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto enacts:

1. That Section 6 of City of York Zoning By-law No. 1-83, as amended, be further amended by adding a new Subsection (87) as follows:

Lands - 55 Ypres Road

"(87) MAP 16

By changing the area shown on District Map 16 more particularly shown on Schedule "A" hereto, from an R2 - Residential District to a 'G' - Green Open Space Districts and Section 16(445)."

2. That Section 16 of former City of York Zoning By-law No. 1-83, as amended, be further amended by adding a new Subsection (445) as follows:

"(445) LANDS - 55 YPRES ROAD

- 1) Notwithstanding the provisions of Section 3, Subsection 3.3.1 (a) and Subsection 3.4.11(a) and (b) and Section 8 of Zoning By-law No. 1-83, the lands municipally known as 55 Ypres Road, which lands are more particularly shown on Schedule 'A' hereto, may be used for the purpose of erecting thereon a maximum of 43 dwelling houses each on a lot, accessory uses and a park on Block 44 as shown on the plan attached as Schedule 'B' hereto in accordance with the zoning standards attached as Schedule 'C' hereto and the following conditions:

- a) Nothing in this by-law shall apply to prevent the phased construction of the development, provided that the requirements of this subsection (445) are complied with upon the completion of the each phase;
- b) Despite any existing or future severance, partition, or division of the lot, the provisions of this subsection (445) shall apply to the whole of the lot as if no severance, partition or division occurred;

- c) A maximum of one accessory building shall be permitted for each lot and the minimum setback from any lot line shall be 1.2 metres, subject to the provisions of clause e) and the maximum gross floor shall be 10 square metres;
 - d) A minimum of one parking space shall be provided in an integral garage;
 - e) No building or structure, excluding retaining walls and catchbasin, shall be permitted within the southerly 3 metres of Lot 17 and the grade in this area shall be maintained in accordance with the approved grading plan;
 - f) Bay windows may project into a required front or rear yard a maximum of 0.6 metres provided that the window projection does not follow the main wall to grade and so long as the projection does not interfere with the use of the driveway for access to a parking area; and
 - g) All other provisions of Sections 3 and 8 of Zoning By-law No. 1-83 shall continue to apply except where they are in conflict with the provisions of this Subsection (445) in which case the provisions of this subsection (445) shall prevail."
3. Within the lands shown on Schedule 'A' attached to this By-law, no person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:
- 1) all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway; and
 - 2) all water mains and sanitary sewers, and appropriate appurtenances, have been installed and are operational.

Enacted and passed on December 17, 2013.

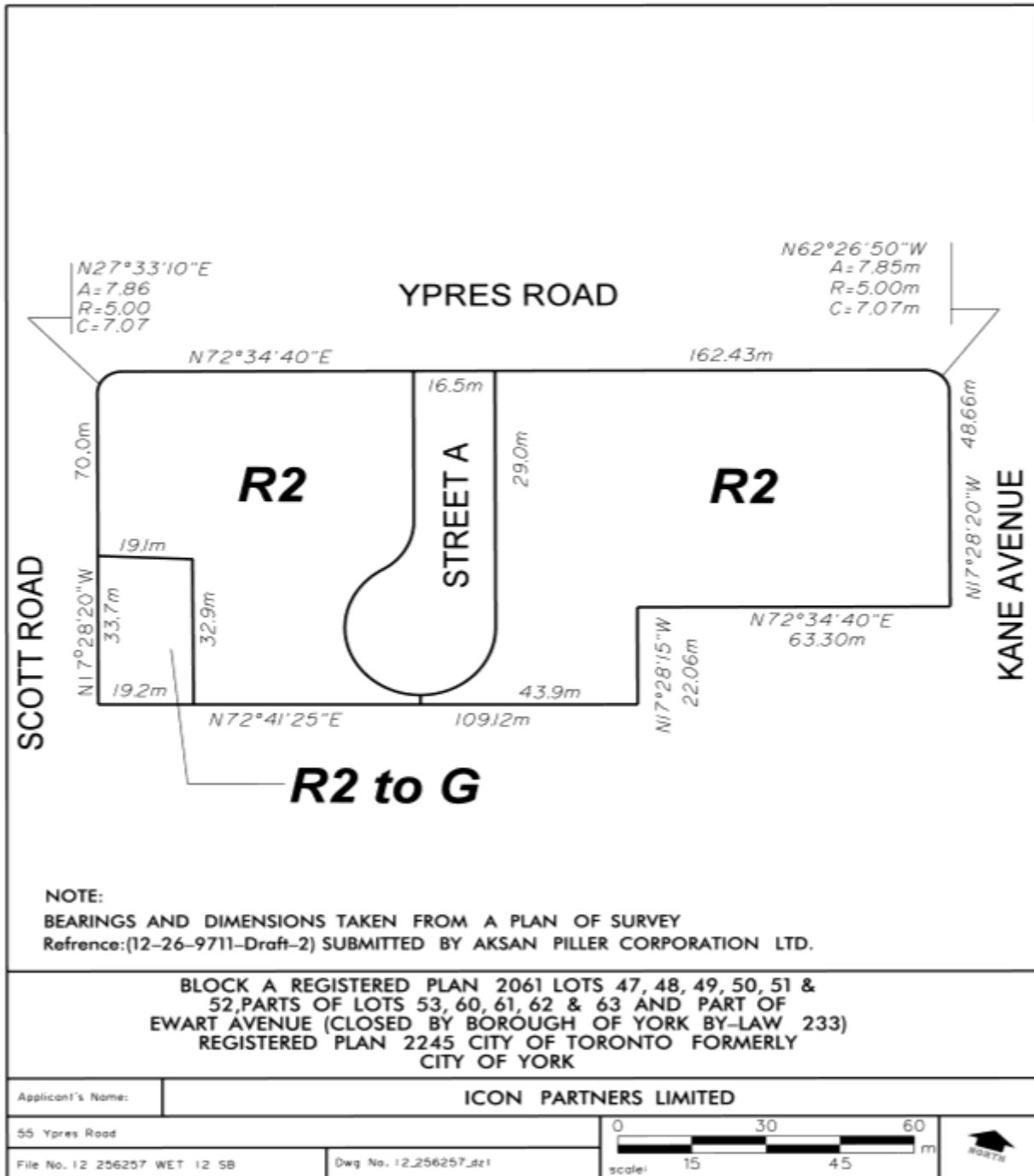
Frances Nunziata,
Speaker

Ulli S. Watkiss,
City Clerk

(Seal of the City)



**Schedule 'A' BY-LAW and to
Section 16(445) of Zoning BY-LAW 1-83**





Toronto Schedule 'B' BY-LAW and to Section 16(445) of Zoning BY-LAW 1-83

<p>YPRES ROAD</p>																																																																																											
<p>2 3 4 5 6 7 8 9 10 11</p>											<p>STREET A</p>	<p>25 26 27 28 29 30 31 32 33 34 35 36 37 38 39</p>																		<p>KANE AVENUE</p>																																																													
<p>SCOTT ROAD</p>	<p>1</p>					<p>12</p>					<p>BLOCK 44</p>	<p>13</p>					<p>14</p>					<p>15</p>					<p>16</p>					<p>17</p>					<p>18</p>					<p>19</p>					<p>20</p>					<p>21</p>					<p>22</p>					<p>23</p>					<p>24</p>					<p>40</p>					<p>41</p>					<p>42</p>					<p>43</p>				
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	<p>1</p>					<p>12</p>						<p>13</p>					<p>14</p>					<p>15</p>					<p>16</p>					<p>17</p>					<p>18</p>					<p>19</p>					<p>20</p>					<p>21</p>					<p>22</p>					<p>23</p>					<p>24</p>					<p>40</p>					<p>41</p>					<p>42</p>					<p>43</p>				
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**BLOCK A REGISTERED PLAN 2061 LOTS 47, 48, 49, 50, 51 &
52, PARTS OF LOTS 53, 60, 61, 62 & 63 AND PART OF
EWART AVENUE (CLOSED BY BOROUGH OF YORK BY-LAW 233)
REGISTERED PLAN 2245 CITY OF TORONTO FORMERLY
CITY OF YORK**

Applicant's Name:	ICON PARTNERS LIMITED
55 Ypres Road	<div style="display: flex; align-items: center;"> <div style="flex: 1;"> <p>0 30 60</p> <p>15 45</p> <p>scale: m</p> </div> <div style="flex: 0.5; text-align: center;"> <p>NORTH</p> </div> </div>
File No. 12 256257 WET 12 SB	Dwg No. 12.256257.dwg

SCHEDULE 'C'

DWELLING TYPE PERMITTED

Detached House - Lots 1, 2, 11, 16, 17, 18 and 25.

Semi-Detached House - Lots 3 to 10, 12 to 15, 19 to 24 and 26 to 43.

MINIMUM LOT FRONTAGE - DETACHED HOUSE

- (a) 7.7 metres - Lot 25;
- (b) 7.8 metres - Lots 2 and 11; and
- (c) 8.0 metres - all other Lots.

MINIMUM LOT FRONTAGE - SEMI-DETACHED HOUSE

- (a) 5.95 metres - all Lots.

MINIMUM SIDE YARD WIDTH - DETACHED HOUSE

- (a) 0.5 metres west side yard and 0.6 metres east side yard - Lot 2;
- (b) 1.2 metres - Lot 1;
- (c) 1.2 and 0.6 metres - Lot 18;
- (d) 0.5 metres east side yard and 0.6 metres west side yard - Lot 11;
- (e) 0.4 metres west side yard and 0.6 metres east side yard - Lot 25;
- (f) 0.6 metres north side yard and 3 metres south side yard - Lot 17; and
- (g) 0.6 metres - all other Lots.

MINIMUM SIDE YARD WIDTH - SEMI-DETACHED HOUSE

- (a) 1.0 metre east side yard and 0.6 metres west side yard - Lot 6;
- (b) 1.2 metres north side yard - Lot 24; and
- (c) 0.6 metres - all Lots.

MAXIMUM FLOOR SPACE INDEX - DETACHED HOUSE

- (a) 0.65 - Lot 18;
- (b) 0.9 - Lots 1 and 17;
- (c) 1.16 - Lot 2 and 11; and
- (d) 1.45 - Lots 16 and 25.

MAXIMUM FLOOR SPACE INDEX - SEMI-DETACHED HOUSE

- (a) 0.8 - Lots 21 to 24, 40, 41 and 43;
- (b) 0.85 - Lots 19, 20 and 42;
- (c) 1.2 - Lots 3 to 10, 12, 14 and 15;
- (d) 1.25 - Lots 13 and 32 to 39; and
- (e) 1.45 - Lots 26 to 31.

MINIMUM FRONT YARD LANDSCAPING PERCENTAGE - DETACHED HOUSE

- (a) 46% - Lot 16; and
- (b) 50% - all other Lots.

MINIMUM FRONT YARD LANDSCAPING PERCENTAGE - SEMI-DETACHED HOUSE

- (a) 35% - Lots 13 and 39; and
- (b) 40% - all other Lots.

MINIMUM FRONT YARD SOFT LANDSCAPING PERCENTAGE - DETACHED HOUSE

- (a) 75% - all Lots.

MINIMUM FRONT YARD SOFT LANDSCAPING PERCENTAGE - SEMI-DETACHED HOUSE

- (a) 75% - all Lots.

MINIMUM FRONT YARD DEPTH - DETACHED HOUSE

- (a) 6 metres - all Lots.

MINIMUM FRONT YARD DEPTH - SEMI-DETACHED HOUSE

- (a) 6 metres - all Lots.

MAXIMUM HEIGHT - DETACHED HOUSE

- (a) 11 metres - all Lots.

MAXIMUM HEIGHT - SEMI-DETACHED HOUSE

- (a) 11 metres - all Lots.