

CITY OF TORONTO

BY-LAW No. 84-2014(OMB)

To amend former City of Scarborough Zoning By-law No. 10827, Highland Creek Community Zoning By-law, as amended, with respect to the lands municipally known as 4027 and 4031 Ellesmere Road.

Whereas the Ontario Municipal Board pursuant to its Order No. PL130638 dated November 29, 2013, upon hearing the appeal of Kostandinos Koutsaris, GTA Interiors 2009 Inc., Innov8ve Renovations Inc., under Section 34(11) of the *Planning Act*, R.S.O. c. P.13, as amended, deems it advisable to amend the former City of Scarborough Zoning By-law No. 10827, the Highland Creek Community Zoning By-law;

The Ontario Municipal Board orders:

1. **SCHEDULE "A"** of the Highland Creek Community Zoning By-law, as amended, is amended by deleting the current zoning on the lands outlined on the attached Schedule '1', and replacing it with the zoning as follows:

S - 1 - 24 - 26 - 31 - 37 - 44 - 50 - 65
S - 1 - 60 - 95A - 138 - 268 - 270
S - 1 - 60 - 95A - 158 - 268 - 270
S - 1 - 95A - 138 - 268 - 270 - 279 - 430
S - 1 - 60 - 95A - 138 - 268 - 270 - 279 - 429
S - 1 - 60 - 95A - 129A - 138 - 268 - 270 - 279
2. **SCHEDULE "B", PERFORMANCE STANDARD CHART**, is amended by adding Performance Standards 158, 429 and 430 as follows:

158. Minimum **front yard building setback**: 3.0 metres to the closest point of the front **main wall** from the **street** line, and a maximum of 4.5 metres to the closest point of the front **main wall** from the **street** line, and minimum **setback** to the garage: 6.0 m to the closest point of the **main wall** containing the garage entrance from the **street** line, and a maximum of 6.5 m to the closest point of the **main wall** containing the garage entrance from the **street** line.

429. Minimum **rear yard setback** of 6.25 metres.

430. Minimum **rear yard setback** of 2.6 metres, minimum east **side yard setback** of 6.0 metres, and a minimum west **side yard setback** of 0.6 metres.
3. **SCHEDULE "C" EXCEPTION MAP** is amended by adding Exception Number 47 to the lands outlined on Schedule '2'.
4. **SCHEDULE "C" EXCEPTION MAP** and **EXCEPTION LIST** is amended by adding Exceptions 58, 59 and 60 to the lands outlined on Schedule '2' as follows:

58. On the lands identified on the accompanying Schedule '2' the following provisions shall apply:

Notwithstanding the provisions **CLAUSE VI - PROVISIONS FOR ALL ZONES, Section 16.3 Regulations for Single-Family and Two-Family Dwellings**, the maximum total **floor area per dwelling unit** shall be 250 square metres.

59. On the lands identified on the accompanying Schedule '2' the following provisions shall apply:

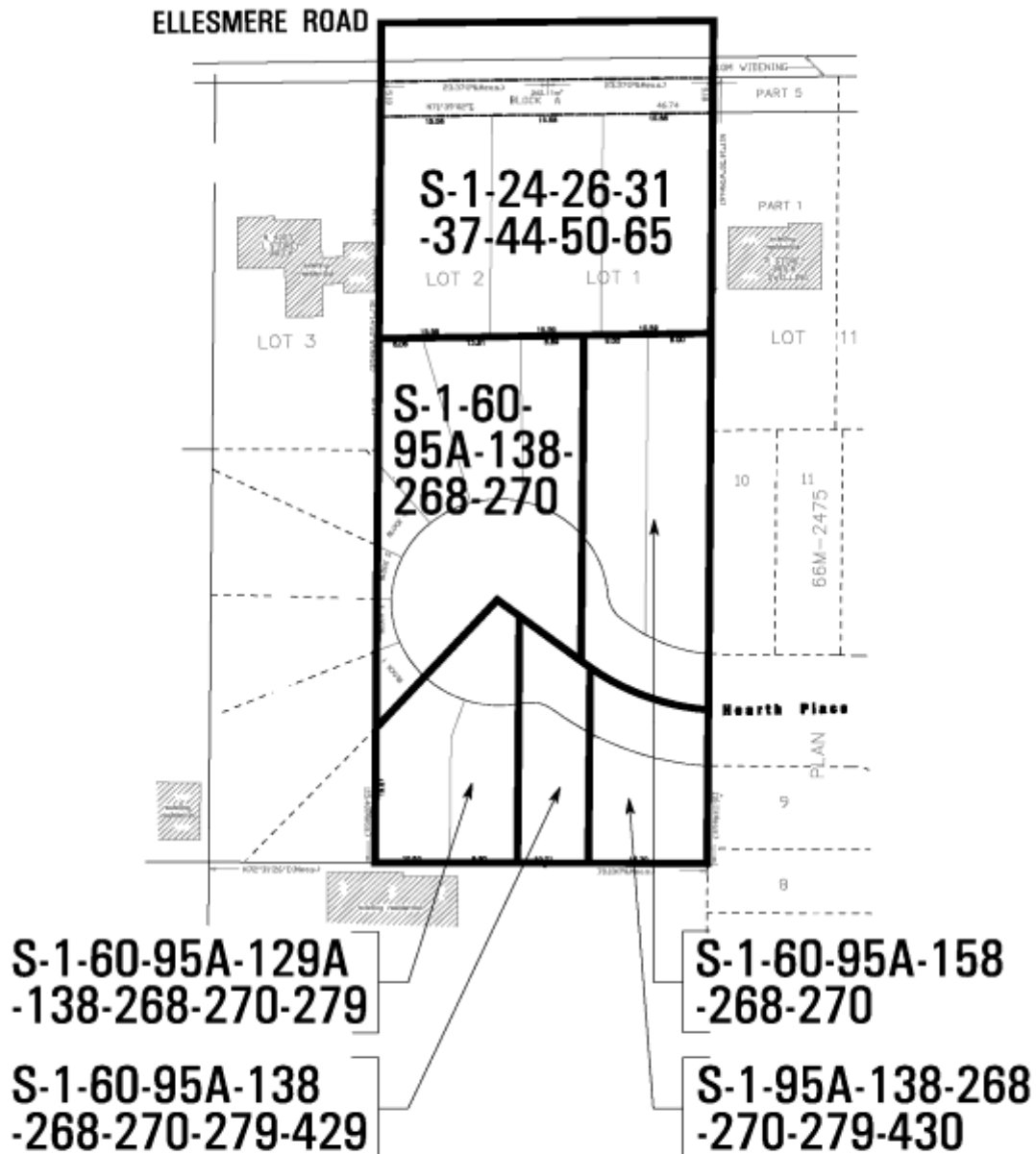
Notwithstanding the provisions **CLAUSE VI - PROVISIONS FOR ALL ZONES, Section 16.3 Regulations for Single-Family and Two-Family Dwellings**, the total **floor area per dwelling unit** shall be a maximum of 0.70 times the lot area.

60. On the lands identified on the accompanying Schedule '2' the following provisions shall apply:

Notwithstanding the provisions **CLAUSE VI - PROVISIONS FOR ALL ZONES, Section 16.3 Regulations for Single-Family and Two-Family Dwellings**, the maximum total **floor area per dwelling unit** shall be 209 square metres.

PURSUANT TO ORDER/DECISION OF THE ONTARIO MUNICIPAL BOARD ISSUED ON NOVEMBER 29, 2013 UNDER OMB FILE NO. PL130638.

Schedule '1'



Zoning By-Law Amendment

4027-4031 Ellesmere Road

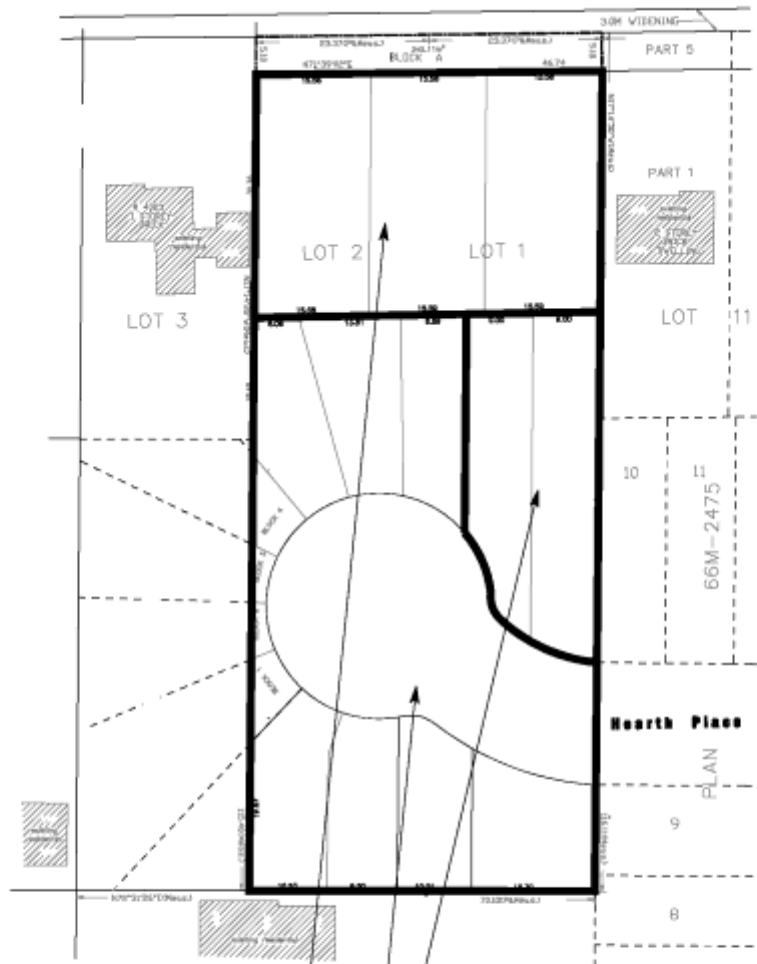
File # 12 146406 ESC 44 02



Area Affected By This By-Law

Highland Creek Community Bylaw
Not to Scale
1/15/14



Schedule '2'**ELLESMERE ROAD**

Exception No. 59
 Exception No. 47,60
 Exception No. 47,58

**Zoning By-Law Amendment****4027-4031 Ellesmere Road****File # 12 146406 ESC 44 02****Area Affected By This By-Law**

Highland Creek Community Bylaw

Not to Scale
1/15/14