

Authority: North York Community Council Item NY4.24, adopted as amended, by City of Toronto Council on March 31, April 1 and 2, 2015

CITY OF TORONTO

BY-LAW No. 526-2015

To adopt Amendment No. 300 to the Official Plan of the City of Toronto in respect of lands located at the northeast corner of Yonge Street and Sheppard Avenue, municipally known as 4841 to 4881 Yonge Street, 2 and 50 Sheppard Avenue East and 2, 4 and 6 Forest Laneway.

Whereas authority is given to Council under the *Planning Act*, R.S.O. 1990, c. P.13, as amended, to pass this By-law; and

Whereas Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto enacts:

1. Amendment No. 300 to the Official Plan of the City of Toronto in respect of lands located at the northeast corner of Yonge Street and Sheppard Avenue, municipally known as 4841 to 4881 Yonge Street, 2 and 50 Sheppard Avenue East and 2, 4 and 6 Forest Laneway, consisting of the attached text and the map designated as Schedule '1', is hereby adopted.

Enacted and passed on May 7, 2015.

Frances Nunziata,
Speaker

Ulli S. Watkiss,
City Clerk

(Seal of the City)

AMENDMENT NO. 300

**TO THE OFFICIAL PLAN OF THE CITY OF TORONTO IN RESPECT OF LANDS
LOCATED AT THE SOUTHEAST CORNER OF YONGE STREET AND SHEPPARD
AVENUE, MUNICIPALLY KNOWN AS 4841 to 4881 YONGE STREET, 2 AND 50
SHEPPARD AVENUE EAST, 2, 4 AND 6 FOREST LANEWAY**

The Official Plan of the City of Toronto is amended as follows:

Clause 1

Chapter Six, Section 8 (North York Centre Secondary Plan) is amended by modifying Site Specific Policy 14 in Section 12, North York Centre South Site Specific Policies to read as follows:

**"14. LANDS LOCATED AT THE NORTHEAST CORNER OF YONGE STREET AND
SHEPPARD AVENUE EAST (14 on Map 8-12):**

- (a) On the lands shown as 14 on Map 8-12, despite the provisions of Section 3.3, the following areas may also be exempted from the calculation of gross floor area and density and will be considered as density incentives:
 - i. the gross floor area of all retail and commercial floor space including pedestrian walkways on Level One and Two and accessible from the street is exempted from the calculation of gross floor area to a maximum of 29,951 square metres; and
 - ii. the gross floor area of an athletic or recreational facility (fitness centre) is exempted from the calculation of gross floor area to a maximum of 3,317 square metres.
- (b) For the purposes of the implementing zoning by-law, Level One and Level Two will be defined terms based upon references derived from the Canadian Geodetic Datum.
- (c) The existing 29 storey building at the southeast corner of the existing lands predates the building height policies in the Official Plan. The lawful and conforming height of the existing building is therefore recognized.
- (d) Despite the provisions of Section 6.7(b) and (d), rooftop podium recreational area may be included in the calculation of the private outdoor recreational space requirement.
- (e) Despite the provisions of Section 5.3.3(c), retail uses are only required along the Sheppard Avenue frontage between the rental replacement units on Sheppard Avenue East and Yonge Street.

- (f) Pursuant to Section 5.4.2 of this Secondary Plan, a tall building with a maximum building height of 125 metres is permitted on the lands at the location identified on Map 8-8d."

Clause 2

Map 8-8d of the North York Centre Secondary Plan is amended in accordance with Schedule '1' below.

SCHEDULE '1'

