

Authority: North York Community Council Item NY5.34, as adopted by City of Toronto Council on May 5, 6 and 7, 2015

CITY OF TORONTO

BY-LAW No. 741-2015

To amend former City of North York Zoning By-law No. 7625, as amended, with respect to the lands municipally known as 219 Finch Avenue West.

Whereas authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, to pass this By-law; and

Whereas Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto enacts:

1. Schedules "B" and "C" of By-law No. 7625 of the former City of North York are amended in accordance with Schedule 1 of this By-law.
2. Section 64.26 of By-law No. 7625 is amended by adding the following subsection:

"64.13 (14) R4(105)

DEFINITIONS

Net Site For the purposes of this exception, Net Site means the gross site area (as defined by the survey for Part of Lot 11, R.P 3912, City of Toronto, prepared by LSG Land Survey Group, dated July 21, 2010) minus any lands conveyed to the City of Toronto for road widening purposes.

PERMITTED USES

- a) In addition to the uses permitted in the R4 zone, business and professional offices shall be permitted within the existing One-Family Detached Dwelling, existing on the date of enactment of this By-law.

EXCEPTION REGULATIONS

- b) The maximum total gross floor area on the Net Site shall be 495.55 square metres.
- c) Eight parking spaces shall be provided at the rear of the lot as shown on Schedule R4(105).
- d) The front yard will be landscaped with sod. Parking is not permitted in the front yard.
- e) A 1.5 metre landscape strip including two deciduous trees and 1.8 metre high opaque fence shall be provided along the south property line of the lot.

- f) The minimum front and side yard setbacks on the lands as shown in Schedule R4(105) attached hereto shall be maintained."
- 3. Within the lands shown on Schedule R4(105) attached to this By-law, no person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:
 - a) all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway; and
 - b) all water mains and sanitary sewers, and appropriate appurtenances, have been installed and are operational.

Enacted and passed on July 9, 2015.

Frances Nunziata,
Speaker

Ulli S. Watkiss,
City Clerk

(Seal of the City)



