

Authority: Scarborough Community Council Item SC32.7, as adopted by City of Toronto Council on July 23, 24, 25, 26, 27 and 30, 2018

## CITY OF TORONTO

### BY-LAW 1106-2018

**To amend former City of Scarborough West Hill Community Zoning By-law 10327, as amended, with respect to the lands municipally known as 4569 Kingston Road.**

Whereas authority is given to Council by Section 34 of the Planning Act, R.S.O. 1990, c. P.13, as amended, to pass this By-law; and

Whereas Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the Planning Act;

The Council of the City of Toronto enacts:

1. **Schedule "A"** is amended by deleting the current zoning and replacing it with the following zoning as shown on the attached Schedule '1':

CR – 202 – 203 – 209 – 338 – 339 – 340 – 341 – 342 – 343 – 519 – 600 – 601 – 604 – 614 – 648 – 649 – 650 – 651 – 652 – 653 – 654 – 655

2. **CLAUSE V – INTERPRETION, Section (f), Definitions**, is amended by adding the following definitions:

**Amenity Space**

means indoor or outdoor space on a lot that is communal and available for use by the occupants of a building on the lot for **recreational use** or social activities.

**Bicycle Parking Space**

means an area designed and equipped for the purpose of parking and securing a bicycle.

**Floor Space Index (F.S.I.)**

shall mean the ratio of the total floor area to the site area. Total Floor Area means the aggregate of the areas of each floor above grade, measured between the exterior faces of the exterior walls of the building or structure at the level of each floor, including any part of the building or structure above grade used for the storage or parking of motor vehicles, locker storage and laundry facilities, but excluding any part of the building or structure used for retail commercial purposes open to the public and any areas used for recreational or mechanical purposes.

**Loading Space**

shall mean an area used for the loading or unloading of goods or commodities from a **vehicle**.

3. **SCHEDULE "B", PERFORMANCE STANDARD CHART**, is amended by adding the following Performance Standards:

**LANDSCAPING**

209. Minimum 0.5 metre strip of land along the north-east **side lot line** shall not be used for any purpose other than **landscaping**.

**PARKING**

338. Notwithstanding **CLAUSE VII – GENERAL PARKING REGULATIONS FOR ALL ZONES, Section 1. General Parking Requirements**, Subsection 1.1 Table of Required Parking Rates, retail uses, **personal service shops** and restaurants in residential/commercial mixed use buildings shall not require any **parking spaces** provided that overall total **gross floor area** of these uses is less than 200 square metres.

339. Notwithstanding **CLAUSE VII – GENERAL PARKING REGULATIONS FOR ALL ZONES, Section 1. General Parking Requirements**, Subsection 1.1 Table of Required Parking Rates, **parking spaces** for **dwelling units** in residential/commercial mixed use buildings shall be provided at the following rates:

- (a) Bachelor Units (less than 45 square metres GFA) minimum 0.7 spaces per **dwelling unit** and maximum 1.0 space per **dwelling unit**;
- (b) Bachelor Units (greater than 45 square metres GFA) minimum 1.0 spaces per **dwelling unit** and maximum 1.3 spaces per **dwelling unit**;
- (c) 1-Bedroom Units: minimum 0.8 spaces per **dwelling unit** and maximum 1.2 spaces per **dwelling unit**;
- (d) 2-Bedroom Units: minimum 0.9 space per **dwelling unit** and maximum 1.3 spaces per **dwelling unit**;
- (e) 3+ Bedroom Units: minimum 1.1 spaces per **dwelling unit** and maximum 1.6 spaces per **dwelling unit**;
- (f) Visitor Spaces: minimum 0.15 spaces per **dwelling unit**;

All **parking spaces** shall be provided below ground.

340. Notwithstanding **CLAUSE VII – GENERAL PARKING REGULATIONS FOR ALL ZONES, Section 1. General Parking Requirements**, Subsection 1.2.2 Sum of Requirements, if the calculation of the number of required **parking spaces** results in a number with a fraction, the number is rounded down to the nearest whole number, but there may not be less than one **parking space**.

341. One **loading space** shall be provided and shall have the following minimum dimensions:

- (a) length of 13 metres;
- (b) width of 4 metres; and
- (c) vertical clearance of 6.1 metres.

342. **Bicycle parking spaces** shall be provided as follows:

- (a) A minimum of 0.68 spaces for each **dwelling unit**; and
- (b) A minimum of 0.07 spaces for each **dwelling unit** for visitors.

Bicycle parking spaces may not be located in a **dwelling unit** or on any balcony associated therewith.

343. A **bicycle parking space** must have the following dimensions:

- (a) if located in a horizontal position:
  - (i) minimum length of 1.8 metres;
  - (ii) minimum width of 0.6 metres; and
  - (iii) minimum vertical clearance from the ground of 1.9 metres; and
- (b) if located in a vertical position:
  - (i) minimum length or vertical clearance of 1.9 metres;
  - (ii) minimum width of 0.6 metres; and
  - (iii) minimum horizontal clearance from the wall of 1.2 metres.

### **INTENSITY OF USE**

519. Maximum **Floor Space Index**: 4.15 times the area of the lot.

### **MISCELLANEOUS**

648. The maximum building **height** must not exceed the height in metres specified by the numbers following the symbol H as shown on Schedule '3' of By-law 1106-2018.

649. Notwithstanding performance standard 648, the following building elements may extend a maximum vertical distance of 3 metres above the permitted **heights** shown on Schedule '3' of By-law 1106-2018 eaves, building cornices, light fixtures, ornamental and architectural elements, parapets, trellises, screens, landscape and public art features, window washing equipment, lightning rods, and green roof elements.

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650. The minimum street yard, side yard and rear yard building **setbacks** are as specified on Schedule '3' of By-law 1106-2018.
651. Notwithstanding performance standard 650, and the definition of **Main Wall** in **CLAUSE V – INTERPRETATION**, Section (f) **Definitions**, the following building elements may extend into the required building **setback** shown on Schedule '3' of By-law 1106-2018 as follows:
- (a) canopies to a maximum of 1.5 metres in the **street yard**;
  - (b) eaves, building cornices, light fixtures, ornamental and architectural elements, pilasters, parapets, trellises, window sills, window box, bay window or projecting window, landscape and public art features, window washing equipment, lightning rods a maximum of 0.6 metres; and
  - (c) balconies and unenclosed porches a maximum of 2.0 metres.
652. All waste and recyclable material shall be stored in a wholly enclosed building.
653. Notwithstanding **CLAUSE VI – PROVISIONS FOR ALL ZONES, Section 13. Underground Structures in "NC", "CC", "CR", "HC" and "OU" Zones**, and **CLAUSE VII – GENERAL PARKING REGULATIONS FOR ALL ZONES, Section 1. General Parking Requirements**, Subsection 1.5 **Parking Structures**, 1.5.2 **Yards**, Underground structures and **basements** shall have the following minimum **setbacks**:
- (a) North-east **Side Yard**: 0.7 metres
  - (b) South-west **Side Yard**: 1.4 metres
  - (c) **Street Yard**: 0 metres
  - (d) **Rear Yard**: 2.6 metres
654. Notwithstanding **CLAUSE VI – PROVISIONS FOR ALL ZONES, Section 14. Lands Not Covered by Buildings**, driveways, curbs, ramps and retaining walls are also permitted.
655. Notwithstanding performance standard 600, the following elements may project into a required **45-degree angular plane** from the **rear lot line** which abuts an "S", "ST", or "M" zone to a maximum height measured above surface materials (membrane, insulation, ballast and pavers):
- (a) Privacy screens/dividers: 1.8 metres
  - (b) Railings, glass guards, parapets: 1.2 metres
4. **Schedule "C", EXCEPTION LIST and EXCEPTION MAP** are amended by adding Exception Number 105 to the lands outlined on Schedule '2' as follows:
105. On those lands identified as Exception 105 on the accompanying Schedule "C" map, the following provisions shall apply:

- (a) A minimum 4 square metres of **amenity space** shall be provided for each **dwelling unit**, of which a minimum 2 square metres for each **dwelling unit** shall be indoor **amenity space**.
- (b) Notwithstanding **CLAUSE VII – ZONE PROVISIONS, 14. Commercial/Residential Zone (CR)** (a) Permitted Uses, only the following uses are permitted:
- Residential Uses
  - **Personal Service Shops**
  - Restaurants
  - Retail Stores

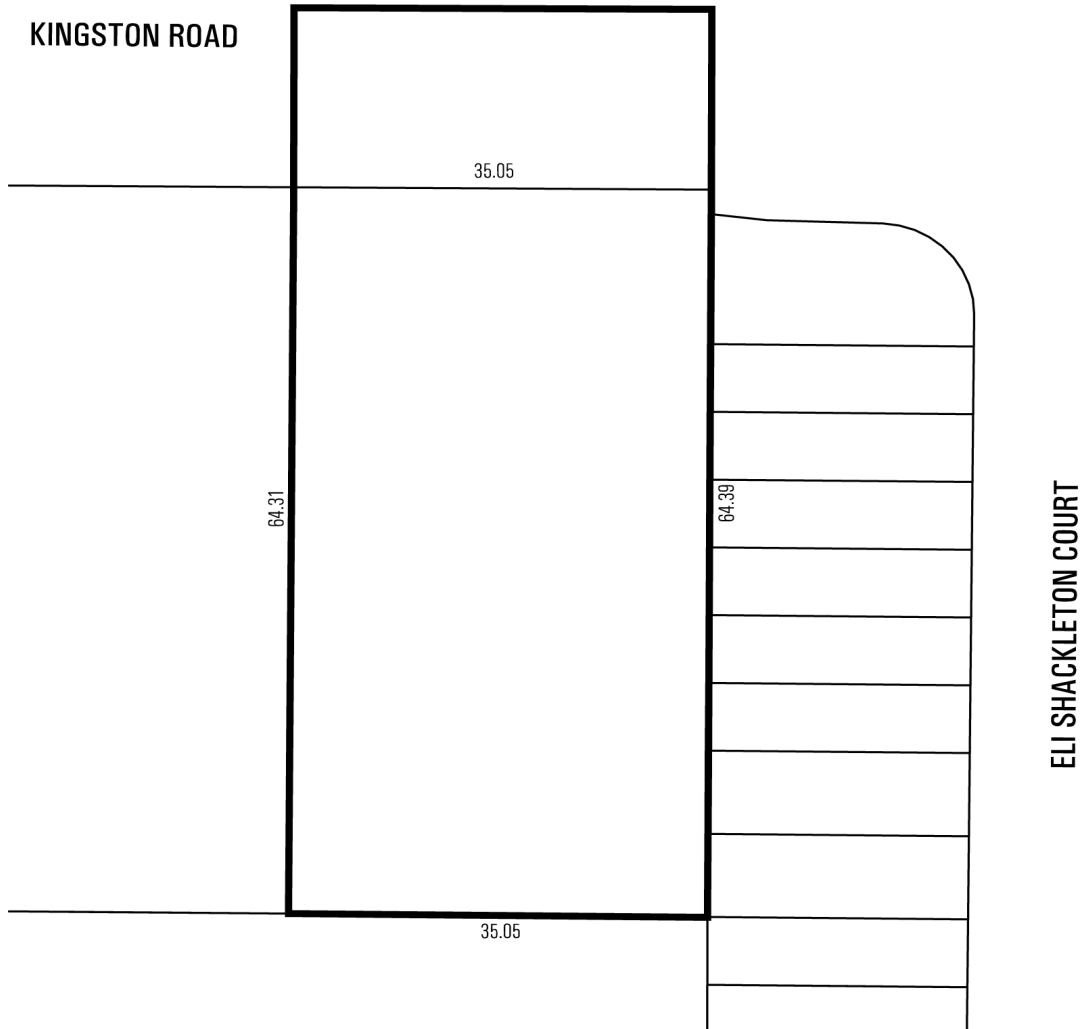
Enacted and passed on July 27, 2018.

Glenn De Baeremaeker,  
Deputy Speaker

Ulli S. Watkiss,  
City Clerk

(Seal of the City)

### Schedule '1'



**CR-202-203-209-338-339-340-341-342-343-519-600-601-604-614-648-649-650-651-652-653-654-655**

**Toronto**  
**Zoning By-Law Amendment**

4569 Kingston Road  
 File # 16 167524 ESC 44 0Z

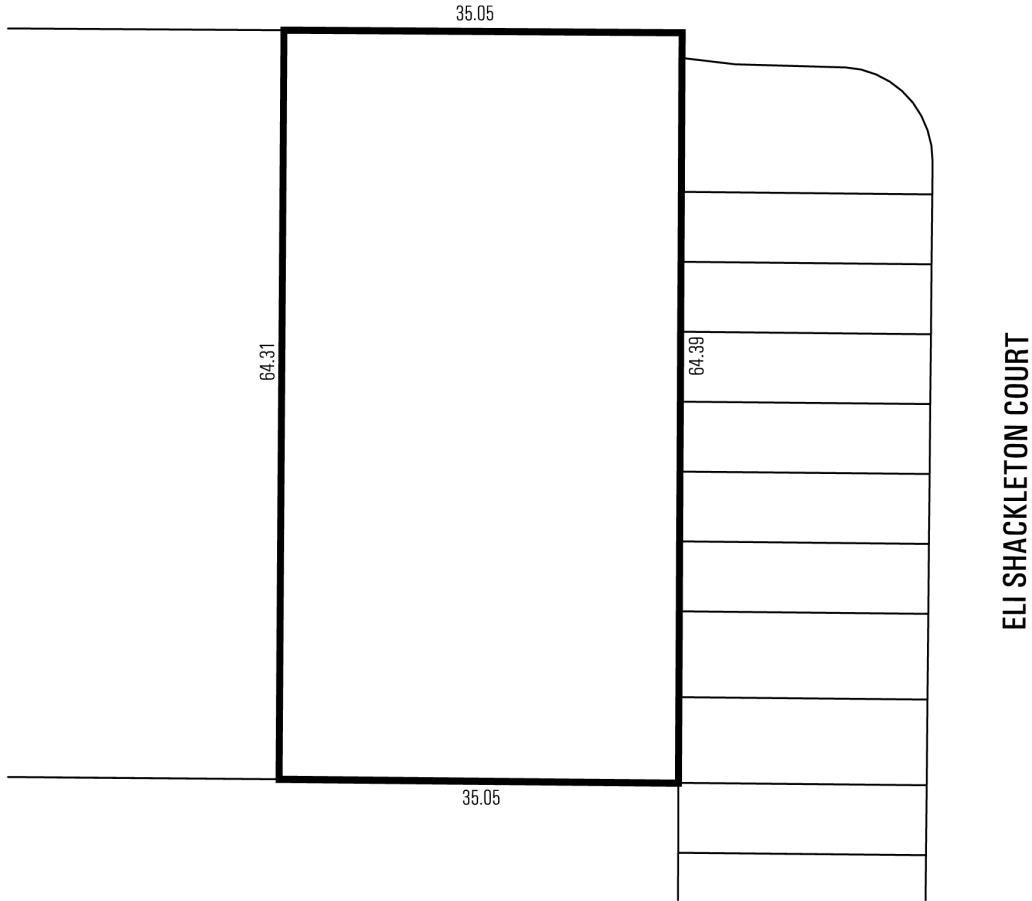
 Area Affected By This By-Law

West Hill Community Bylaw  
 Not to Scale  
 06/12/18



# Schedule '2'

KINGSTON ROAD



## Exception No. 105

**TORONTO**  
 Zoning By-Law Amendment

4569 Kingston Road  
 File # 16 167524 ESC 44 OZ

 Area Affected By This By-Law

West Hill Community Bylaw  
 Not to Scale  
 06/06/18



### Schedule '3'

