

Authority: North York Community Council Item NY32.4, as adopted by City of Toronto Council on July 23, 24, 25, 26, 27 and 30, 2018

CITY OF TORONTO

BY-LAW 1110-2018

To amend former City of North York Zoning By-law 7625, as amended, with respect to the lands municipally known as 451 Patricia Avenue.

Whereas authority is given to Council by Section 34 of the Planning Act, R.S.O. 1990, c. P.13, as amended, to pass this By-law; and

Whereas Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the Planning Act;

The Council of the City of Toronto enacts:

1. Schedules "B" and "C" of By-law 7625 of the former City of North York are amended in accordance with Schedule 1 of this By-law.
2. Section 64.14-B of By-law 7625 of the former City of North York is amended by adding the following subsection:

64.14-B(22) R7(22)

TEMPORARY USE

- (a) Sales Office

A Sales Office in combination with a Model Home shall be permitted on the lands shown on Schedule 1 to this by-law. The temporary Sales Office shall be limited to selling homes only on the lands shown on Schedule 1 to this by-law, shall only be located on Lot 1 or Lot 31 as shown on Schedule R7(22), and may include a Parking Area.

DEFINITIONS

- (b) For the purposes of this exception, measurement of required front yard setbacks, side yard setbacks and rear yard setbacks shall be from the lot line or contiguous lines dividing a lot from a street and shall not be affected by required corner roundings, as if no corner rounding had taken place.
- (c) For the purposes of this exception, "Established Grade" means the average elevation of the ground measured at the two points where the projection of the required minimum front yard setback line is 0.01 metres past each side lot line.
- (d) For the purposes of this exception, "Model Home" shall mean a finished Single Family Dwelling for temporary display to the public prior to occupancy for residential purposes.

PERMITTED USES

- (e) The only permitted uses shall be:
- Single Family Dwelling;
 - Model Home with Parking Area;
 - Any other use permitted in the R7 Zone; and
 - Any uses accessory thereto including private recreational amenity areas.

EXCEPTION REGULATIONS

- (f) A maximum of 31 single detached dwelling units will be permitted on the lands shown on Schedule 1.

LOT FRONTAGE

- (g) The minimum lot frontage shall be as listed below, for each lot as shown on Schedule R7(22):
- (i) 7.0 metres for Lots 13 to 16;
 - (ii) 8.3 metres for Lots 1 to 12 and 17 to 30; and
 - (iii) 10.0 metres for Lots 1 and 31.

LOT AREA

- (h) The minimum lot frontage shall be as listed below, for each lot as shown on Schedule R7(22):
- (i) 225 square metres for Lots 2 to 12 and 17 to 30;
 - (ii) 300 square metres for Lots 1 and 31; and
 - (iii) 340 square metres for Lots 13 to 16.

YARD SETBACKS

- (i) The minimum front yard setback shall be 3.0 metres and the minimum front yard setback shall be 5.6 metres to the main wall containing vehicular access to a garage.
- (j) The minimum side yard setback shall be 0.6 metres, except that:
- (i) the minimum side yard setback shall be 3.0 metres where the side lot line abuts Patricia Avenue for Lots 1 and 31, as shown on Schedule R7(22); and

- (ii) the minimum side yard setback shall be 2.0 metres where the side lot line abuts a street for Lot 21, as shown on Schedule R7(22).
- (k) The minimum rear yard setback shall be 7.0 metres for Lots 1 to 14 and Lots 21 to 31, as shown on Schedule R7(22).
- (l) The minimum rear yard setback shall be 7.5 metres for Lots 15 to 20, as shown on Schedule R7(22).

LOT COVERAGE

- (m) The maximum lot coverage shall be 50 percent.

LENGTH OF DWELLING

- (n) The maximum length of dwelling shall be 21.0 metres for Lots 1 to 12 and 16 to 31, as shown on Schedule R7(22).
- (o) The maximum length of dwelling shall be 25.0 metres for Lots 13 to 15, as shown on Schedule R7(22).

BUILDING HEIGHT

- (p) The maximum building height above established grade shall be 3 storeys and 10.5 metres for Lots 1 to 14 and 21 to 31, as shown on Schedule R7(22), and 3 storeys and 9.5 metres for Lots 15 to 20, as shown on Schedule R7(22)
- (q) The finished first floor height of a Single Family Dwelling shall be no higher than 2.0 metres above established grade.
- (r) Where the finished first floor elevation meets (q) above the floor level below the first floor shall not be counted as a storey for the purpose of the maximum number of storeys building height limit.

PARKING REQUIREMENTS

- (s) The minimum number of parking spaces per Single Family Dwelling unit shall be 1.
- (t) A driveway shall have a minimum width of 2.6 metres and a maximum width of 4.2 metres, except that:
 - (i) a driveway shall have a minimum width of 2.0 metres for Lots 14 and 15, as shown on Schedule R7(22).
- (u) A garage or carport may be used in calculating the parking spaces.

FRONT YARD LANDSCAPING

- (v) A minimum of 45 percent of the front yard not covered by a permitted driveway shall be maintained as landscaping.
- (w) A minimum of 65 percent of the front yard landscaping shall be maintained as soft landscaping.

PLATFORMS

- (x) A balcony, sundeck or porch located at or above the second storey, or gaining access from the second story of the dwelling, shall not exceed 8.0 square metres in area for Lots 1-14 and 21- 31 as shown on Schedule R7(22), and shall not exceed 4.0 square metres for Lots 15-20 on the rear side of the single family dwelling, as shown on Schedule R7(22), and no more than a total of four such separate balconies, sundecks or porches shall be permitted, two each at the front, rear and each side of the building.

EXCLUSIONS

- (y) Section 6(24) (Unexcavated Porches and Decks in R and RM Zones), Section 6(30) (Regulations for Single Detached Dwellings in All Zones), Section 6A(2) (Parking Requirements), Section 6A(5) (Access to Parking Spaces), and Section 14-B (One-Family Detached Dwelling Seventh Density Zone (R7)) shall not apply.
- (z) The following projections and their supporting structural members may extend into required yard setbacks, except as otherwise specified and in no case closer than 0.3 metres to a lot line:
 - (i) 0.5 metres for chimneys, pilasters and projecting columns;
 - (ii) 1.0 metres for roof overhang, cantilevered elements, canopies, eaves and porticoes;
 - (iii) 1.85 metres for balconies, decks and unenclosed porches into a front yard setback or rear yard setback;
 - (iv) 1.0 metres for first storey cantilevered bay, bow, box, or dormer windows, except 0.65 metres where the required yard setback is 1.5 metres or less;
 - (v) 0.5 metres for cantilevered bay, bow, box, or dormer windows above the first storey;
 - (vi) 3.5 metres for decks into a rear yard setback only; and
 - (vii) Notwithstanding (z) above, there shall be no limit or minimum setback for exterior steps.

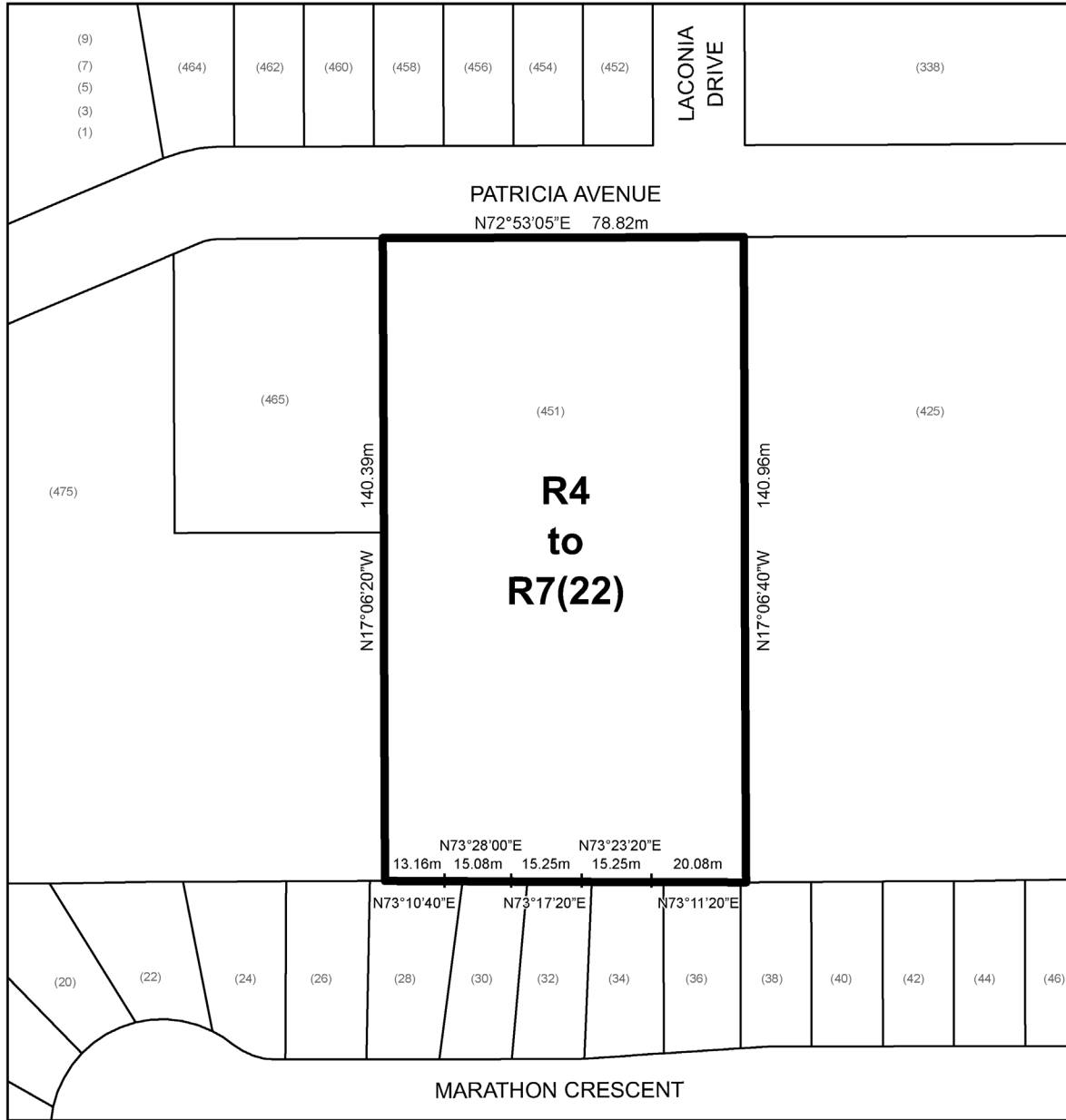
3. Despite any existing or future severances, partition or division of the lands shown on Schedule 1, the provisions of this By-law shall apply to the whole of the said lands as if no severance, partition or division occurred.
4. Nothing in this By-law shall prohibit the use of lands outside of the public right of way for a temporary turning circle.
5. Within the lands shown on Schedule 1 attached to this By-law, no person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:
 - (a) all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway; and
 - (b) all water mains and sanitary sewers, and appropriate appurtenances, have been installed and are operational.

Enacted and passed on July 27, 2018.

Glenn De Baeremaeker,
Deputy Speaker

Ulli S. Watkiss,
City Clerk

(Seal of the City)



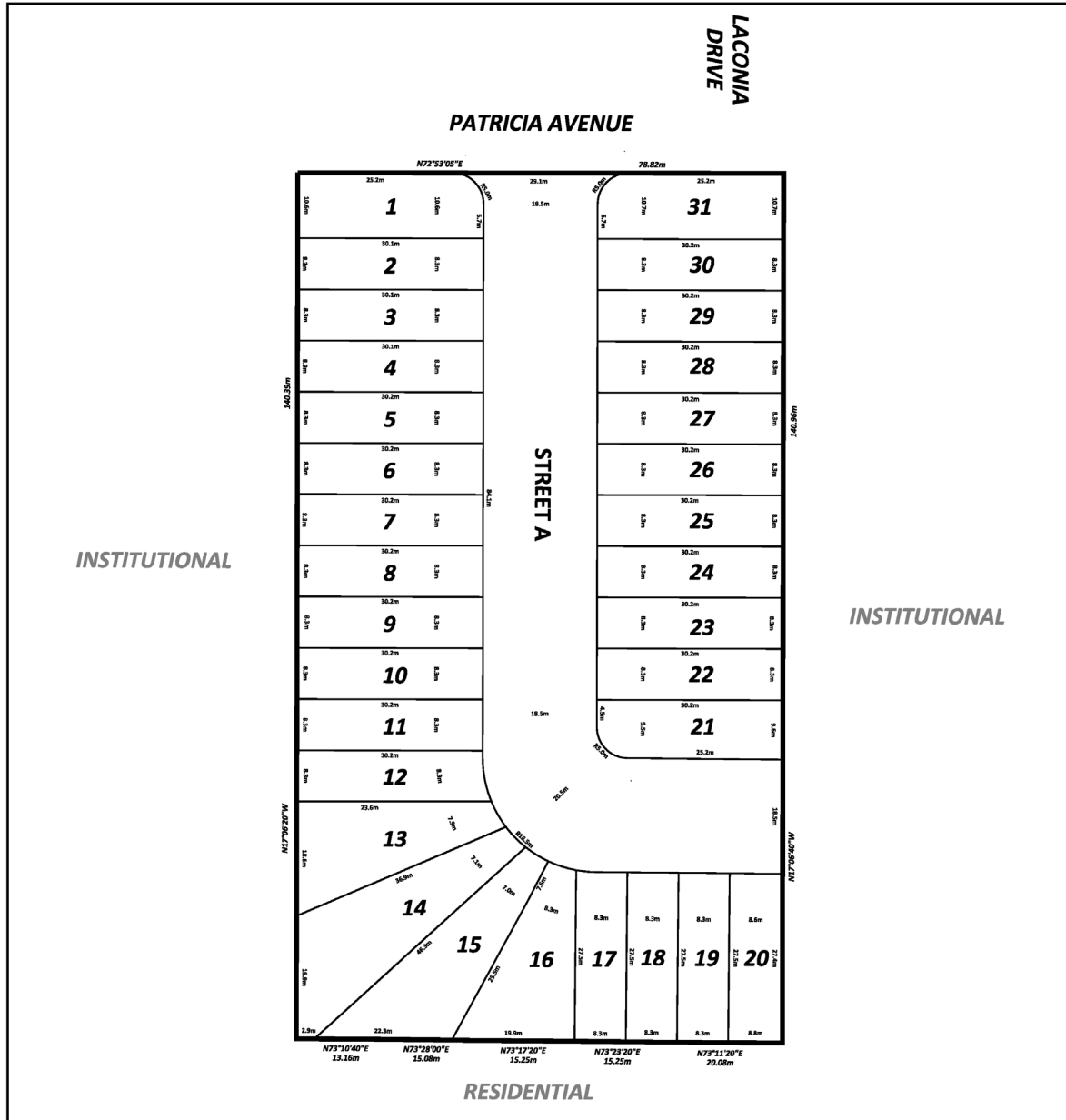
Schedule 1

File # 14 267088 NNY 10 OZ & 16 264833 NNY 10 SB

Registered Plan 1880, City of Toronto
Rady-Pentek & Edward Surveying Ltd.

Date: 06/01/2018
Approved by: D.S.

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Not to Scale



Schedule R7(22)

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