

Authority: Scarborough Community Council Item SC32.8, as adopted by City of Toronto Council on July 23, 24, 25, 26, 27 and 30, 2018

## CITY OF TORONTO

### BY-LAW 1141-2018

#### **To amend Zoning By-law 569-2013, as amended, with respect to the lands municipally known in the year 2018 as 511 Conlins Road.**

Whereas Council of the City of Toronto has the authority pursuant to Section 34 of the Planning Act, R.S.O. 1990, c. P.13, as amended, to pass this By-law; and

Whereas pursuant to Section 39 of the Planning Act, the Council of the City of Toronto may, in a by-law passed under Section 34 of the Planning Act, authorize the temporary use of land, buildings or structures for any purpose set out therein that is otherwise prohibited by the by-law; and

Whereas Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the Planning Act; and

The Council of the City of Toronto enacts:

1. The lands subject to this By-law are outlined by heavy black lines on Diagram 1 attached to this By-law.
2. The words highlighted in bold type in this By-law have the meaning provided in Zoning By-law 569-2013, Chapter 800 Definitions.
3. Zoning By-law 569-2013, as amended, is further amended by amending the zone label on the Zoning By-law Map in Section 990.10 respecting the lands outlined by heavy black lines to RD (x638) as shown on Diagram 2 attached to this By-law.
4. Zoning By-law 569-2013, as amended, is further amended by amending the Height Overlay Map in Section 995.20.1 for the lands subject to this By-law, from a height and storey label of HT 9, ST 2, to HT 10.5, ST 2, as shown on Diagram 3 attached to this By-law.
5. Zoning By-law 569-2013, as amended, is further amended by amending the Lot Coverage Overlay Map in Section 995.30.1 for the lands subject to this By-law, from a lot coverage label of 33 percent to 43 percent as shown on Diagram 4 attached to this By-law.
6. Zoning By-law 569-2013, as amended, is further amended by adding Article 900.3.10 Exception Number 638 so that it reads:

#### Exception RD 638

The lands, or a portion thereof as noted below, are subject to the following Site Specific Provisions, Prevailing By-laws and Prevailing Sections.

## Site Specific Provisions:

- (A) Regulation 10.5.40.70(1). "Front Yard Setback-Averaging", does not apply;
- (B) Despite clause 10.20.30.10, for each of the **lots** shown on Diagram 5 attached to By-law 1141-2018, the required minimum **lot** area is:
- (i) 361 square metres for lot 1;
  - (ii) 266 square metres for lots 2-13;
  - (iii) 350 square metres for lot 14;
  - (iv) 312 square metres for lot 15;
  - (v) 265 square metres for lot 16; and
  - (vi) 263 square metres for lots 17-19;
- (C) Despite clause 10.20.30.20, for each of the **lots** shown on Diagram 5 attached to By-law 1141-2018, the required minimum **lot frontage** is:
- (i) 13 metres for lot 1; and
  - (ii) 9 metres for lots 2-13 and 15-19;
- (D) Despite clause 10.20.40.40, for each of the **lots** shown on Diagram 5 attached to By-law 1141-2018, the permitted maximum floor space index is:
- (i) 0.58 for Lot 1;
  - (ii) 0.71 for lots 2-13 and 16;
  - (iii) 0.6 for lot 14;
  - (iv) 0.61 for lot 15; and
  - (v) 0.72 for lots 17-19;
- (E) Despite regulation 10.20.40.70 (2), for each of the **lots** shown on Diagram 5 attached to By-law 1141-2018, the required minimum **rear yard setback** is:
- (i) 8 metres for lots 1-3, 7, 8, and 12-14;
  - (ii) 7.6 metres for lots 4-6 and 9-11; and
  - (iii) 7.8 metres for lots 15-19;
- (F) Despite regulation 10.20.40.70 (3) and regulation 10.20.40.70 (6), for each of the **lots** shown on Diagram 5 attached to By-law 1141-2018, the required minimum **side yard setback** is:
- (i) 0.9 metres on one side only and 4.2 metres on the other side for lot 1; and
  - (ii) 0.9 metres on one side only and 3 metres on the other side for lot 14;
- (G) Despite regulation 10.20.40.70(1), for each of the **lots** shown on Diagram 5 attached to By-law 1141-2018, the required minimum **front yard setback** is:
- (i) 5.4 metres from the second **storey** for lots 1-3, 7, 8, 12-14 and 16-19; and
  - (ii) 5.9 metres from the second **storey** for lots 4-6 and 9-11;

- (H) Despite regulation 10.5.50.10(1)(D), for each of the **lots** shown on Diagram 5 attached to By-law 1141-2018, the required minimum **front yard** soft landscaping is:
- (i) 64 percent for lots 1 and 14;
  - (ii) 52 percent for lots 2, 3, 7, 8, 12, 13 and 16-19;
  - (iii) 53 percent for lots 4-6 and 9-11; and
  - (iv) 66 percent for lot 15.

Prevailing By-laws and Prevailing Sections (None Apply).

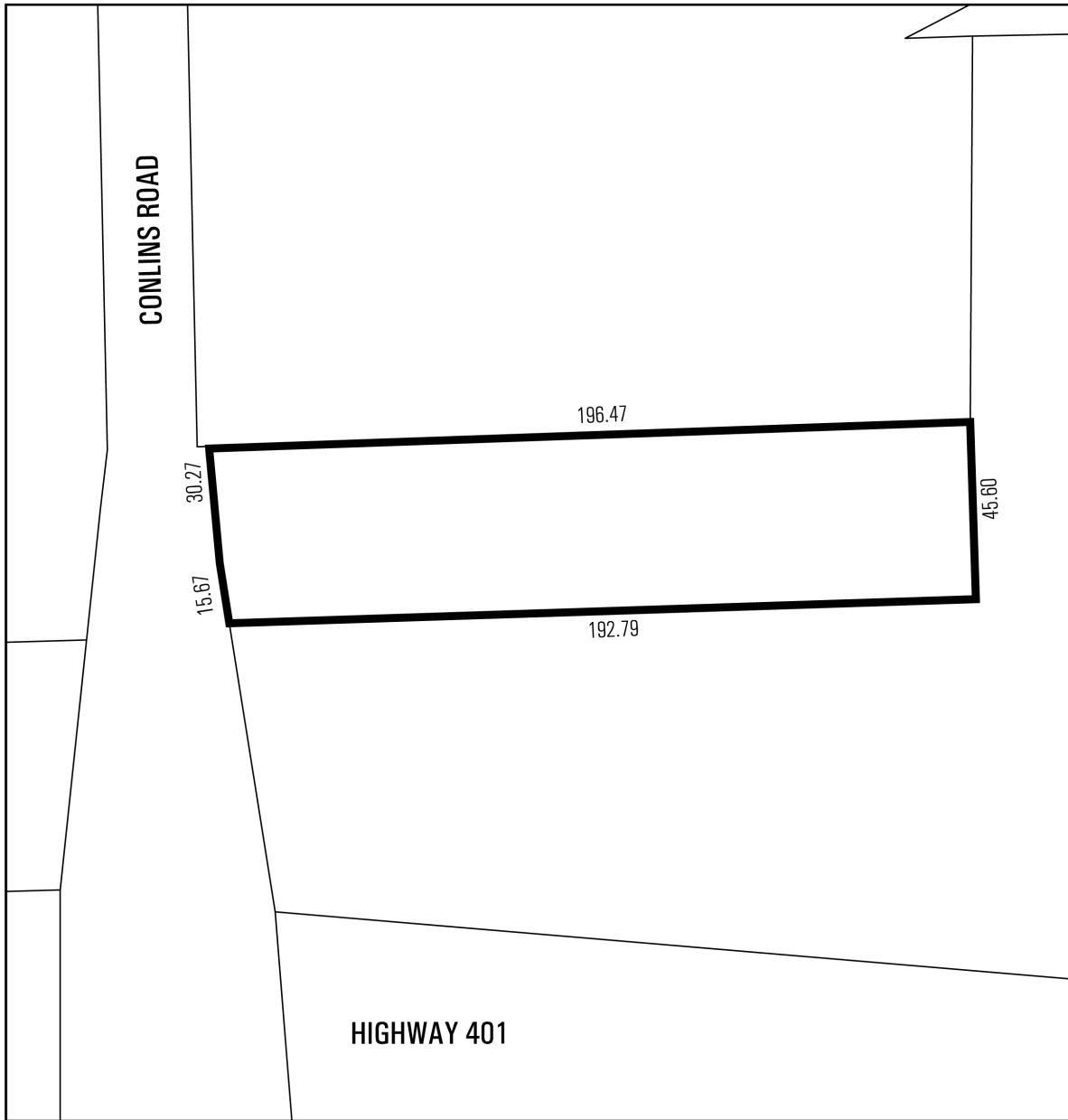
7. On the lands outlined in Diagram 1 attached to this by-law, a temporary sales office is permitted in one **detached house**, for the purpose of the marketing and sales of the **dwelling units** on these lands, for a period of three years from the date this bylaw comes into full force and effect.

Enacted and passed on July 27, 2018.

Glenn De Baeremaeker,  
Deputy Speaker

Ulli S. Watkiss,  
City Clerk

(Seal of the City)

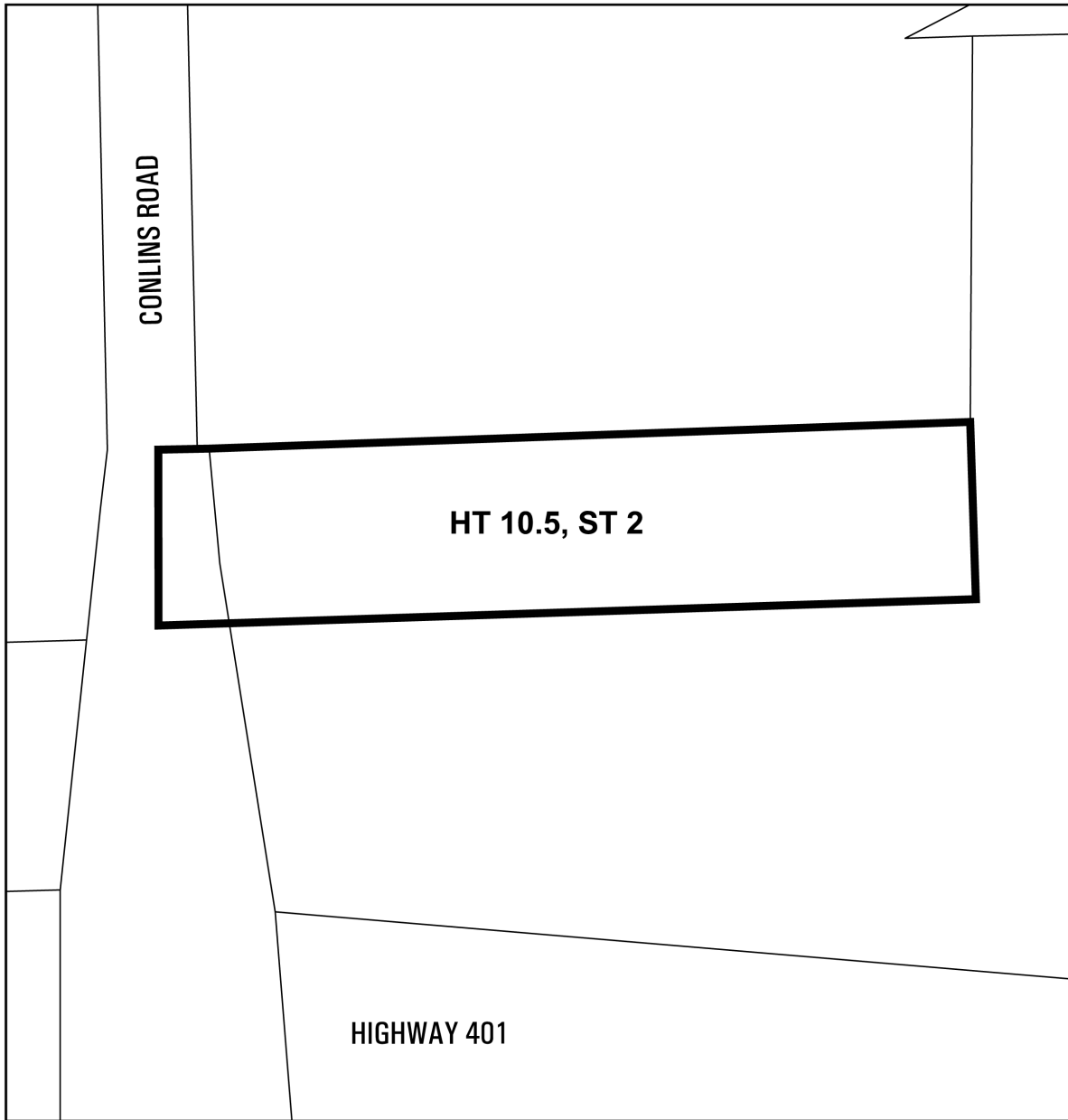


 **TORONTO**  
Diagram 1

**511 Conlins Road**

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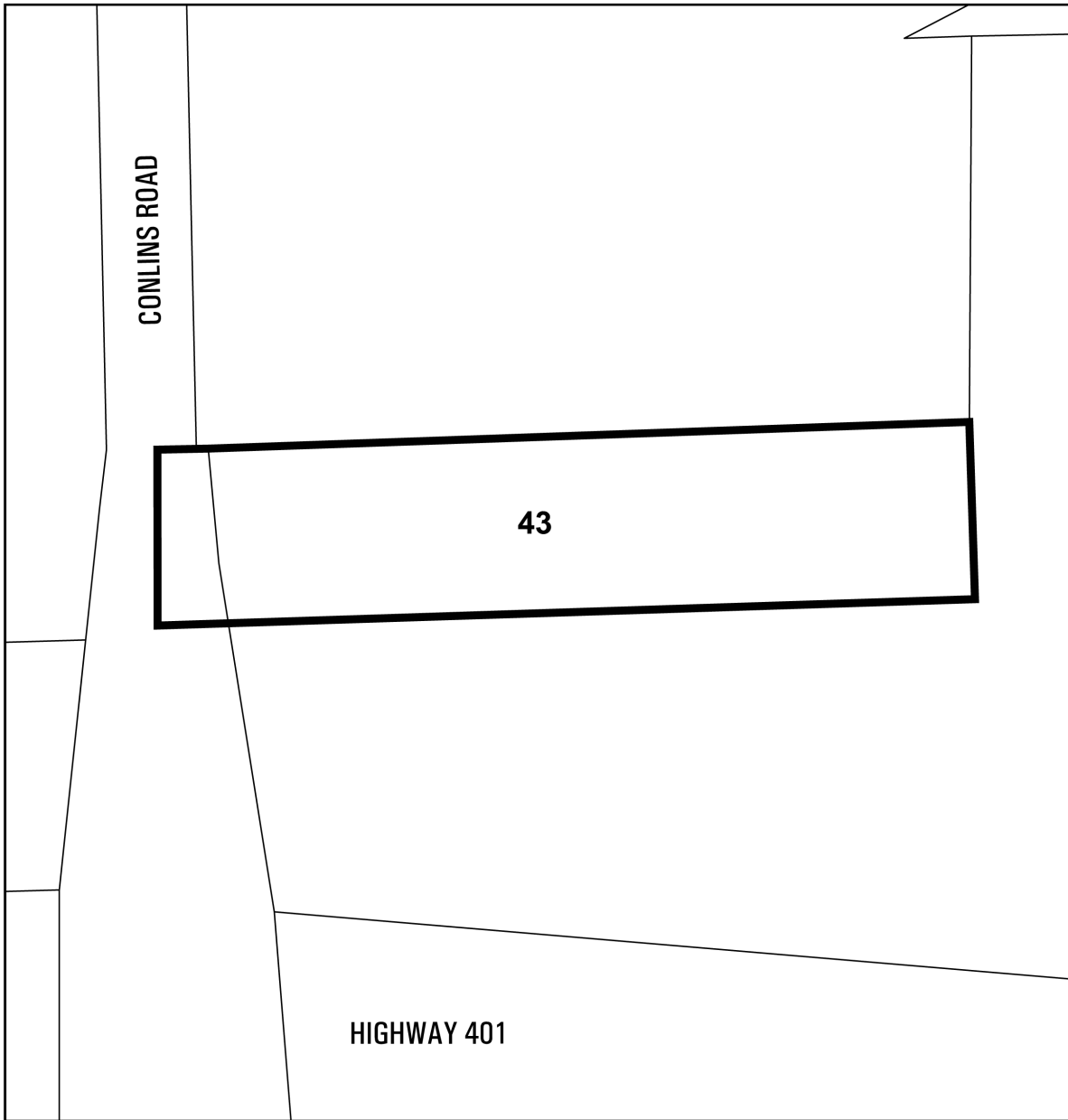




 **TORONTO**  
Diagram 3

511 Conlins Road

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 **TORONTO**  
Diagram 4

**511 Conlins Road**

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