

Authority: Ontario Municipal Board Decision dated August 22, 2017 and Local Planning Appeal Tribunal Order issued September 10, 2018 in Board File PL160955

CITY OF TORONTO

BY-LAW 1335-2018(LPAT)

To amend former City of North York Zoning By-law 7625, as amended, with respect to the lands municipally known as 2619 Bayview Avenue and 6 Heathcote Avenue.

Whereas the former Ontario Municipal Board pursuant to its decision issued on August 22, 2017, and pursuant to the Local Planning Appeal Tribunal Order issued September 10, 2018 in Tribunal File PL160955 have determined to amend Zoning By-law 7625, with respect to the lands known municipally as 2619 Bayview Avenue and 6 Heathcote Avenue;

The Local Planning Appeal Tribunal Orders:

1. Schedules "B" and "C" of By-law 7625 of the former City of North York are amended in accordance with Schedule 1 and Schedule RM1(112) and R2(13) attached to this By-law.
2. Section 64.11 Exceptions to R2 Zone of By-law 7625 of the former City of North York is amended by adding the following subsection:

64.11 (13) R2(13)

DEFINITIONS

ESTABLISHED GRADE

- a) For the purpose of this exception, "established grade" for the purpose of establishing the permitted height shall mean the geodetic elevation 163.7 metres for a building fronting Heathcote Avenue.

EXCEPTION REGULATIONS

LOT AREA

- b) The minimum lot area shall be 813 square metres.

LOT FRONTAGE

- c) The minimum lot frontage shall be 18 metres.

YARD SETBACKS

- d) The minimum front yard setback, rear yard setback and side yard setbacks for any building or structure are the setbacks shown on Schedule RM1(112) and R2(13) of this By-law.

OTHER REGULATIONS

- e) Exterior stairways, porches, terraces and decks shall be permitted to project into the minimum front yard and the minimum rear yard setback not more than 4.2 metres.

DIVISION OF LANDS

- f) Notwithstanding any future severance, partition or division of the lands shown on Schedule 1, the provisions of this By-law shall apply to the whole of the lands as if no severance, partition or division occurred.

- 3. Section 64.16 Exceptions to RM1 Zone of By-law 7625 of the former City of North York is amended by adding the following subsection:

64.16 (112) RM1(112)**DEFINITIONS****ESTABLISHED GRADE**

- a) For the purpose of this exception, "established grade" for the purpose of establishing the permitted height shall mean the geodetic elevation 163.5 metres for a building fronting Bayview Avenue.

EXCEPTION REGULATIONS**MULTIPLE ATTACHED DWELLINGS**

- b) A maximum of 6 dwelling units are permitted.
- c) A dwelling unit shall have a minimum width of 6.16 metres.

BUILDING ENVELOPES

- d) No portion of any building or structure shall be located otherwise than wholly within the Building Envelope shown on Schedule RM1(112) with exception of balconies, belt courses, chimney breasts, eaves, gutters, pilasters, sills, canopies, stairways, wheelchair ramps, porches, patios, bay windows, privacy screens, railings, and support structures for decks and/or canopies to a maximum projection of 1.7 metres.

PARKING

- e) A minimum of 2 parking spaces per dwelling unit shall be provided.
- f) A minimum of 1 visitor parking spaces shall be provided.

- g) The minimum combined dimensions for two side-by-side parking spaces within the building shall be:
- length of 5.5 metres
 - width of 5.8 metres
- h) The minimum dimensions for the visitor parking spaces shall be:
- length of 6.7 metres
 - width of 2.6 metres
- i) Parking shall be accessed by means of a private driveway having a minimum width of 6.0 metres.

LOT AREA

- j) The minimum lot area shall be 1280 square metres.
- k) The minimum lot area per dwelling unit shall be 124 square metres.

LOT COVERAGE

- l) The maximum permitted lot coverage shall be 41 percent.

YARD SETBACKS

- m) The minimum front yard setback, rear yard setback and side yard setbacks for any building or structure are the setbacks shown on Schedule RM1(112) and R2(13) of this By-law.

PERMITTED PROJECTIONS

- n) Exterior stairs and porches shall be permitted to project into the minimum front yard setback and minimum side yard setback not more than 2.5 metres.

BUILDING HEIGHT

- o) The building height shall not exceed 3 storeys and 11.0 metres above established grade to the top of the roof.
- p) A mechanical penthouse, stair enclosure, air conditioner units/screenings, elevator enclosures, parapets and access to the terrace areas may exceed the maximum permitted building height by 2.0 metres.

LANDSCAPING

- q) A minimum of 70 percent of the front yard shall be maintained as soft landscaping.

OTHER REGULATIONS

- r) The provisions of Sections 6(8), 6(9), 6(24), 6A, 15, 16.2 and 16.3 of By-law 7625 shall not apply.

DIVISION OF LANDS

- s) Notwithstanding any future severance, partition or division of the lands shown on Schedule 1, the provisions of this By-law shall apply to the whole of the lands as if no severance, partition or division occurred.
4. Within the lands shown on Schedule 1 and Schedule RM1(112) and R2(13) attached to this By-law, no person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:
- (a) all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway; and
 - (b) all water mains and sanitary sewers, and appropriate appurtenances, have been installed and are operational.

Pursuant to Ontario Municipal Board Decision dated August 22, 2017 and Local Planning Appeal Tribunal Order issued on September 10, 2018 in Tribunal File PL160955.



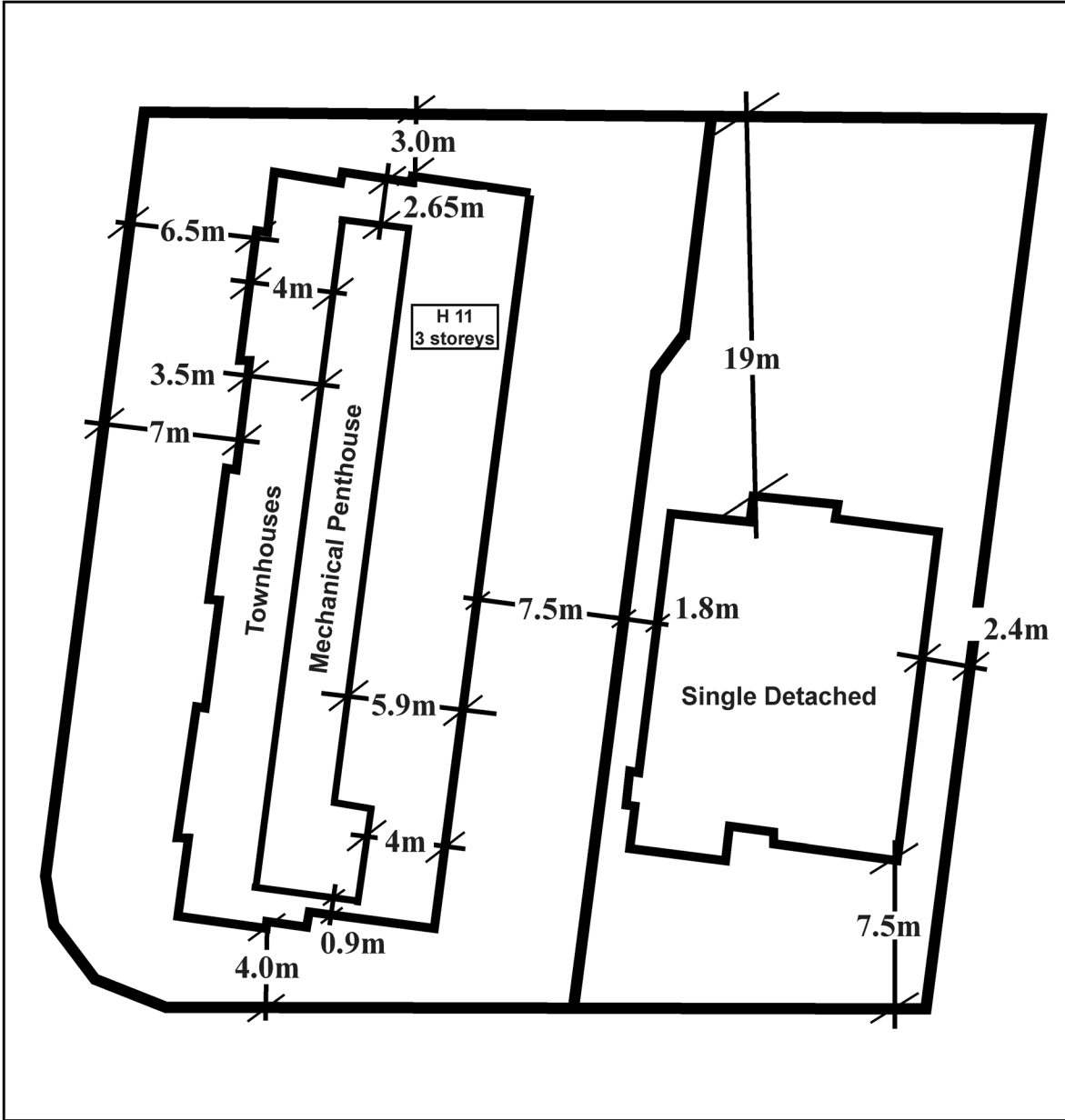
Schedule 1

Plan of Lots 271 & 272 Registered Plan 4457, City of Toronto
ertl surveyors

File # 16 155576 NNY 25 0Z

Date: 04/18/2018
Approved by: S.O.

↑
Not to Scale



Schedule RM1(112) & R2(13)

Applicant's Drawing

File # 16 155576 NNY 25 0Z

Date: 05/24/2018
Approved by: S.O.

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Not to Scale