

Authority: Local Planning Appeal Tribunal Decision issued on August 17, 2018 in Board File PL170176

**CITY OF TORONTO**

**BY-LAW 1337-2018(LPAT)**

**To adopt Amendment 431 to the Official Plan of the City of Toronto with respect to lands municipally known as 2, 4 and 6 Teagarden Court.**

Whereas the Local Planning Appeal Tribunal pursuant to its Decision issued on August 17, 2018 in Board File PL170176 upon hearing an appeal under Section 17(40) of the Planning Act, R.S.O. 1990, c. P.13, as amended, deems it advisable to amend the Official Plan for the City of Toronto;

The Official Plan for the City Toronto is amended by the Local Planning Appeal Tribunal:

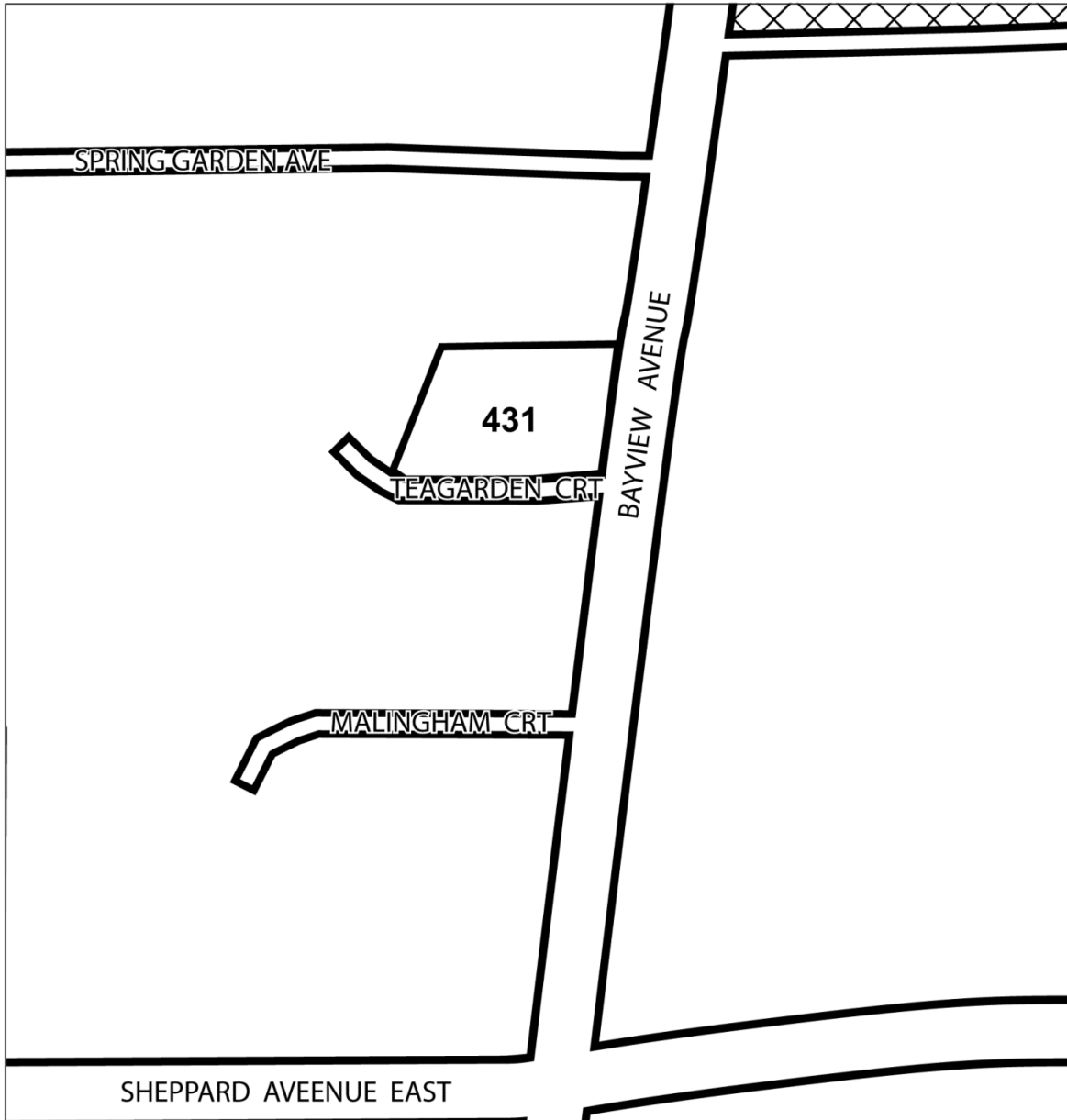
1. The text and maps attached are adopted as an amendment to the Official Plan for the City of Toronto.
2. This is Official Plan Amendment 431.

Local Planning Appeal Tribunal Decision issued on August 17, 2018 in Board File PL170176.

**AMENDMENT 431 TO THE OFFICIAL PLAN OF THE CITY OF TORONTO IN RESPECT OF LANDS MUNICIPALLY KNOWN AS 2, 4 AND 6 TEAGARDEN COURT**

The following text and map constitute Amendment 431 to the City of Toronto Official Plan:

1. The Official Plan of the City of Toronto is amended as follows:
  - (a) This amendment shall apply to those lands municipally known as 2, 4 and 6 Teagarden Court and identified on Schedule A to this By-law.
  - (b) Chapter 6, Section 9 (Sheppard East Subway Corridor Secondary Plan) is amended by adding the following subsection to Section 4.2.2.1 (Teagarden Court/Mallingham Court/Clairtrell Road Area):
    - 4.2.2.1.1 2, 4 and 6 Teagarden Court
      - (a) Notwithstanding the preceding, the lands municipally known as 2, 4 and 6 Teagarden Court as shown on Schedule A are assigned a *Mixed Use Areas* designation and a density of 3.99 times the lot area.
      - (b) In lieu of the provision of a use or facility listed in Figure 4.3.3 – *Incentives*, in exchange for the additional density of 2,076 square metres for the lands municipally known as 2, 4 and 6 Teagarden Court, Council may accept a monetary contribution to be allocated towards capital improvements that will benefit the community in the vicinity of the lands associated with area parks.
      - (c) For the lands municipally known in the year 2018 as 2, 4 and 6 Teagarden Court, the City may accept as a density incentive a monetary contribution to be used towards the cost of constructing and equipping parkland enhancements as identified in Section 4.3.3 of this Secondary Plan. The maximum permitted gross floor area that may be achieved through any combination of density incentive, transfer or monetary contribution will be secured in an agreement pursuant to Section 37 of the Planning Act and in no case will exceed a total maximum density of 3.99 times the lot area.



2,4 & 6 Teagarden Court

Official Plan Amendment #431 - Schedule A

File # 11 328717 NNY 23 02

 Subject Site

  
Not to Scale  
07/17/2018