

Authority: Local Planning Appeal Tribunal Decision
issued March 1, 2018 and Order issued
June 28, 2019 in Tribunal File PL170605

CITY OF TORONTO

BY-LAW 1299-2019(LPAT)

To amend the City of North York Zoning By-law 7625 with respect to lands municipally known as 111 Plunkett Road.

Whereas the Local Planning Appeal Tribunal, by its Final Order issued on June 28, 2019, in File PL170606, approved amendments to Zoning By-law 7625, as amended, with respect to the lands municipally known as 111 Plunkett Road; and

Whereas the Local Planning Appeal Tribunal has the authority pursuant to Section 34 of the Planning Act, R.S.O. 1990 c.P.13, as amended, to pass this by-law; and

Whereas pursuant to the Final Order of the Local Planning Appeal Tribunal, Zoning By-law 7625, as amended, is further amended so that it reads:

1. The lands subject to this by-law are those lands delineated by heavy black lines shown on Schedule "1" of this by-law.
2. Schedules "B" and "C" of Zoning By-Law 7625 of the former City of North York are amended in accordance with Schedule "1" of this by-law.
3. Section 64.17 of By-Law 7625 is amended by adding the following new subsection:

"64.17 (53) RM2 (53)

EXCEPTION REGULATIONS FOR SEMI-DETACHED DWELLINGS

- (a) The maximum number of dwelling units shall not exceed 36.
- (b) The minimum lot area shall be 205 square metres for each semi-detached dwelling unit and 419 square metres for each semi-detached dwelling.
- (c) The minimum lot frontage shall be 6.7 metres for each semi-detached dwelling unit and 13.4 metres for each semi-detached dwelling.
- (d) The minimum front yard setback shall be 6.0 metres.
- (e) The minimum rear yard setback shall be 7.5 metres.
- (f) The minimum side yard setback shall be 1.2 metres for each semi-detached dwelling.
- (g) The maximum building height shall be 10.0 metres.

- (h) The maximum lot coverage for each semi-detached dwelling unit shall be 45 percent
- (i) The minimum area of landscaping in the front yard shall be 40 percent.
- (j) The provisions of this exception shall apply collectively to the lands zoned RM2(53) notwithstanding their future severance, partition or division for any purpose."

4. Section 64.17 of By-Law 7625 is amended by adding the following new subsection:

"64.17 (54) RM2 (54)

EXCEPTION REGULATIONS FOR SEMI-DETACHED DWELLINGS

- (a) The maximum number of dwelling units shall not exceed 2.
- (b) The minimum lot area shall be 205 square metres for each semi-detached dwelling unit and 419 square metres for each semi-detached dwelling.
- (c) The minimum lot frontage shall be 6.7 metres for each semi-detached dwelling unit and 13.4 metres for each semi-detached dwelling.
- (d) The minimum front yard setback shall be 6.0 metres.
- (e) The minimum rear yard setback shall be 7.5 metres.
- (f) The minimum side yard setback shall be 1.2 metres for each semi-detached dwelling.
- (g) The maximum building height shall be 9.4 metres.
- (h) The maximum lot coverage for each semi-detached dwelling unit shall be 45 percent.
- (i) The minimum area of landscaping in the front yard shall be 40 percent.
- (j) The provisions of this exception shall apply collectively to the lands zoned RM2(54) notwithstanding their future severance, partition or division for any purpose."

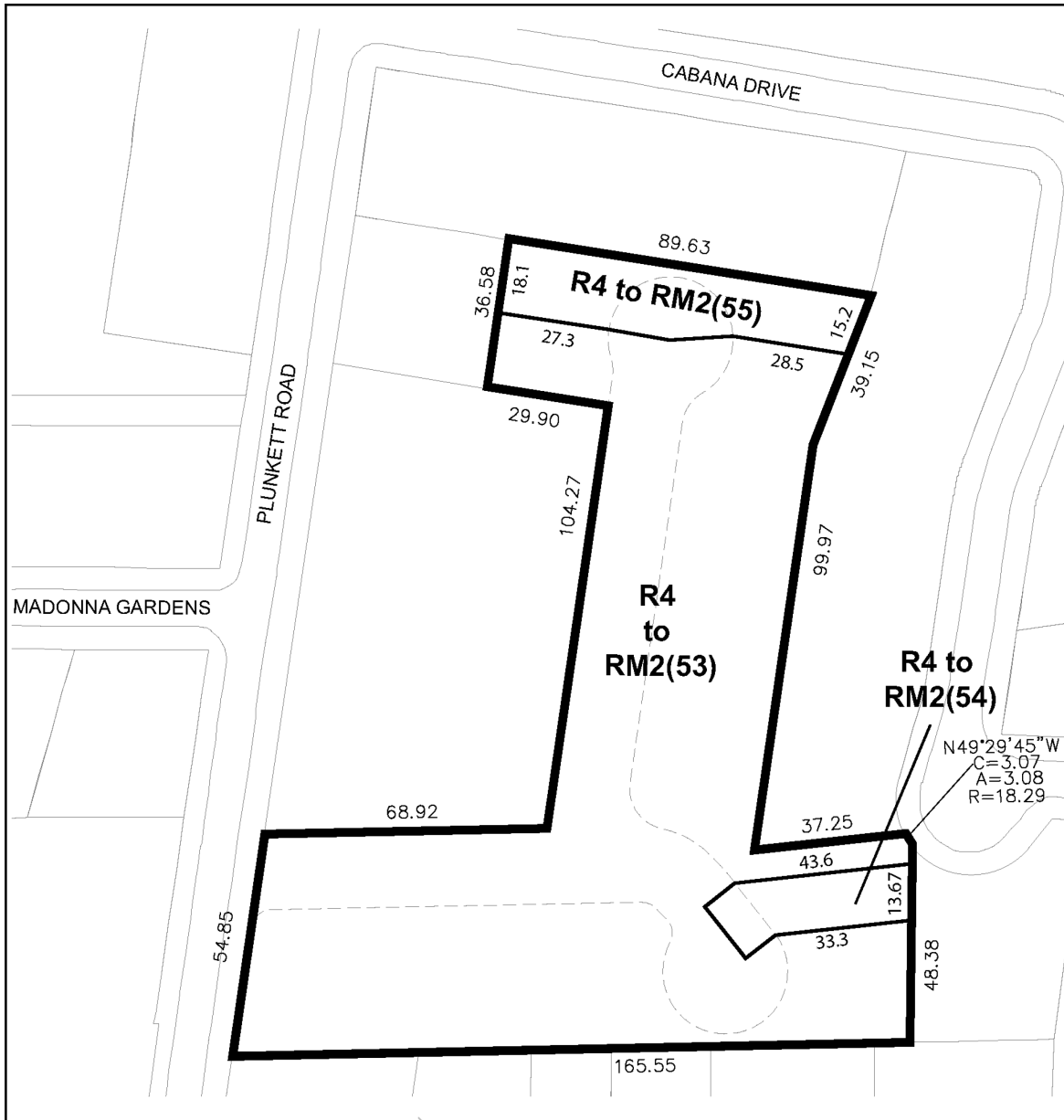
5. Section 64.17 of By-Law 7625 is amended by adding the following new subsection:

"64.17 (55) RM2 (55)

EXCEPTION REGULATIONS FOR SEMI-DETACHED DWELLINGS

- (a) The maximum number of dwelling units shall not exceed 4.

- (b) The minimum lot area shall be 205 square metres for each semi-detached dwelling unit and 419 square metres for each semi-detached dwelling.
 - (c) The minimum lot frontage shall be 6.7 metres for each semi-detached dwelling unit and 13.4 metres for each semi-detached dwelling.
 - (d) The minimum front yard setback shall be 6.0 metres.
 - (e) The minimum rear yard setback shall be 7.5 metres.
 - (f) The minimum side yard setback shall be 1.2 metres for each semi-detached dwelling.
 - (g) The maximum building height shall be 8.8 metres.
 - (h) The maximum lot coverage for each semi-detached dwelling unit shall be 45 percent.
 - (i) The minimum area of landscaping in the front yard shall be 40 percent.
 - (j) The provisions of this exception shall apply collectively to the lands zoned RM2(55) notwithstanding their future severance, partition or division for any purpose."
6. Sections 64.17(53) of By-law 7625 of the former City of North York are amended by adding Schedule RM2(53) to this by-law.
7. Sections 64.17(54) of By-law 7625 of the former City of North York are amended by adding Schedule RM2(54) to this by-law.
8. Sections 64.17(55) of By-law 7625 of the former City of North York are amended by adding Schedule RM2(55) to this by-law.
9. Within the lands municipally known in the year 2018 as 111 Plunkett Road, no person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:
- (a) all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway; and
 - (b) all water mains and sanitary sewers and appropriate appurtenances, have been installed and are operational.



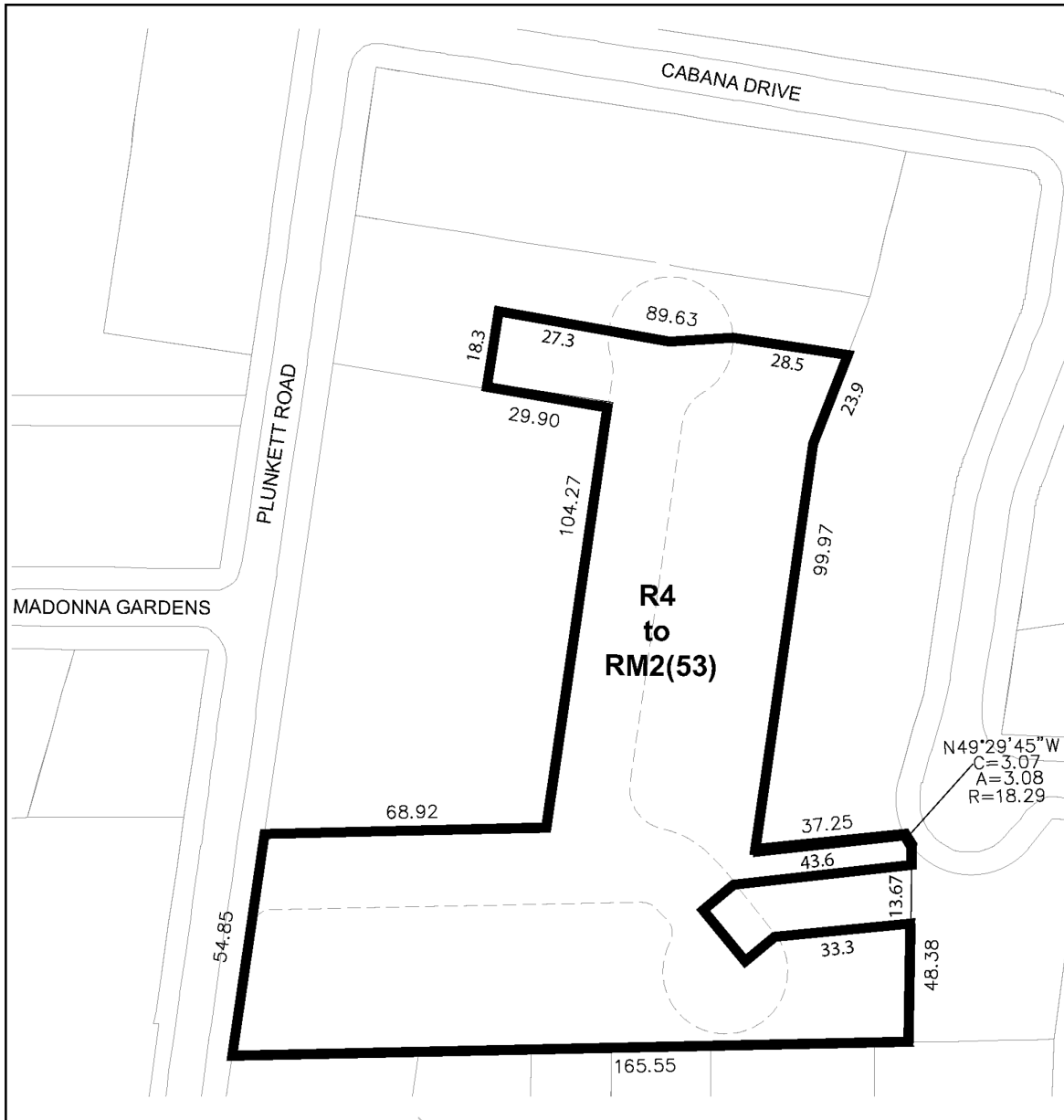
Schedule 1

111 Plunkett Road

File # 13 162096 WET 07 02



Former North York By-Law 7625
Not to Scale
05/23/2019



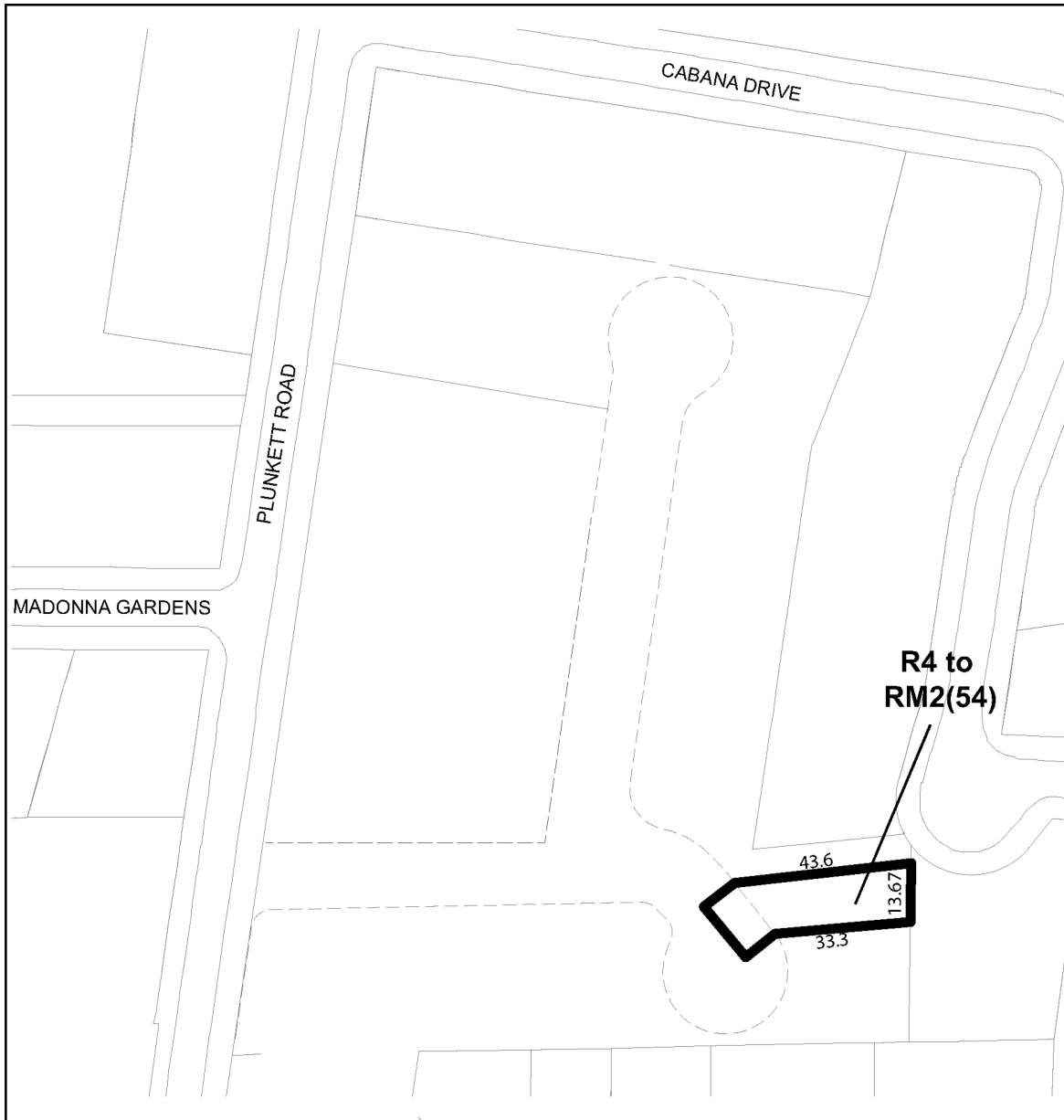
Schedule RM2(53)

111 Plunkett Road

File # 13 162096 WET 07 02



Former North York By-Law 7625
Not to Scale
05/23/2019



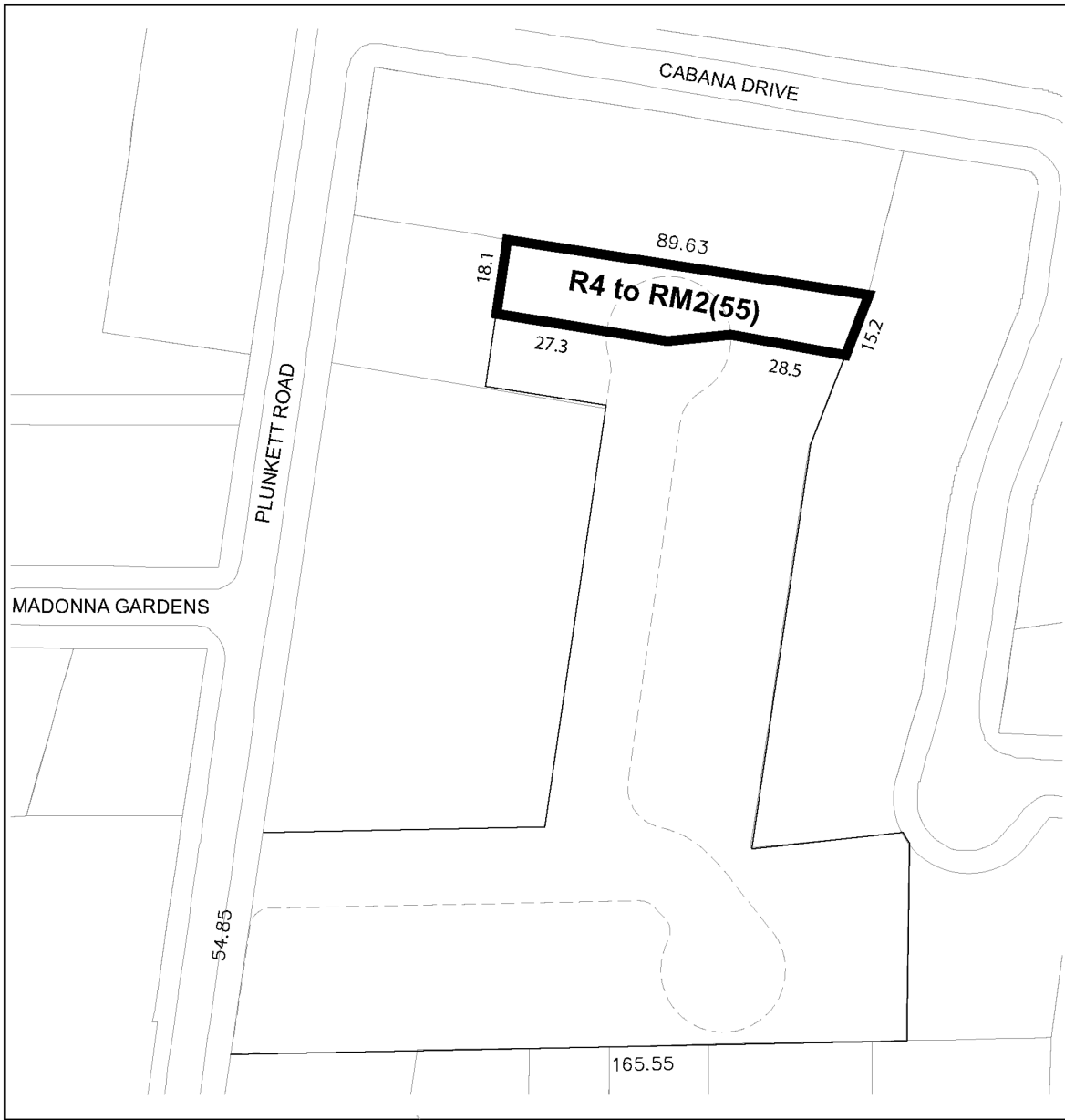
Schedule RM2(54)

111 Plunkett Road

File # 13 162096 WET 07 02



Former North York By-Law 7625
Not to Scale
05/23/2019



Schedule RM2(55)

111 Plunkett Road

File # 13 162096 WET 07 0Z



Former North York By-Law 7625
Not to Scale
05/23/2019