

Authority: Scarborough Community Council Item SC12.3,
as adopted by City of Toronto Council on January 29, 2020

CITY OF TORONTO

BY-LAW 214-2020

To amend By-law 497-2018, By-law 1326-2018(OMB), By-law 1055-2013, By-law 1326-2013, By-law 1276-2016, former City of Scarborough Birchcliff Community Zoning By-law 8786, By-law 307-2017, By-law 1625-2019(OMB), By-law 79-2018, By-law 1157-2018, By-law 743-2015, By-law 797-2015, By-law 1303-2015, By-law 727-2016, By-law 1199-2019, By-law 1200-2019, By-law 1142-2018, By-law 1549-2019(OMB), By-law 384-2019, By-law 92-2017, By-law 1083-2017, By-law 999-2014, By-law 1202-2018, former City of Scarborough West Hill Community Zoning By-law 10327, By-law 1138-2018, former City of Scarborough Wexford Community Zoning By-law 9511, By-law 1277-2018, former City of Scarborough Woburn Community By-law 9510, By-law 1000-2011(OMB), and to amend By-law 649-2018, By-law 1003-2011(OMB), By-law 1077-2018, By-law 810-2019, By-law 1092-2019(LPAT), By-law 1067-2017, By-law 140-2010, former City of Scarborough Employment Districts Zoning By-law 24982 (Tapscott Employment District), By-law 1180-2019, former City of Scarborough Cliffcrest Community Zoning By-law 9396 and By-law 1006-2014.

Whereas authority is given to Council by Section 34 of the Planning Act, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

Whereas Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the Planning Act;

The Council of the City of Toronto enacts:

1. By-law 497-2018, being a By-law to amend the former City of Scarborough Agincourt North Community Zoning By-law 12797, as amended, is amended as follows:
 - A. Schedule 1 is amended by adding Performance Standard 222 as shown on the attached Schedule '1'.
 - B. Section 2 is amended by renumbering the list in Performance Standard 208 so that it reads as follows:
 208. The following building elements and structures are permitted to extend above the heights shown on Schedule 3 of By-law 497-2018:
 - (a) Mechanical penthouse which shall not exceed a floor area of 200 square metres - a maximum of 6.0 metres;
 - (b) Parapets and weather vanes - a maximum of 1.5 metres;
 - (c) Parapets associated with an architectural feature on the south side of Building A on Schedule 2 of By-law 497-2018 - a maximum of 1.7 metres;

- (d) Antennae, flagpoles and satellite dishes - a maximum of 5.0 metres;
 - (e) Equipment used for the functional operation of the building, such as electrical, utility, mechanical and ventilation equipment; structures or parts of the building used for the functional operation of the building, such as enclosed stairwells, roof access, maintenance equipment storage, elevator shafts, chimneys, vents, and water supply facilities; and structures that enclose, screen or cover the elements listed above - a maximum of 5.0 metres; and
 - (f) Unenclosed structures providing safety or wind protection to rooftop amenity space - a maximum of 3.0 metres.
- C. Schedule 4 is amended by removing Exception 36 as shown on the attached Schedule '2'.
2. By-law 1326-2018(OMB), being a By-law to amend the Bendale Community Zoning By-law 9350, as amended, is amended as follows:
- A. Section 1 is amended by adding Performance Standards 250 and 251 for certain zones so that it reads as follows:
 - 1. **SCHEDULE "A"** of the Bendale Community Zoning By-law 9350, as amended, is further amended by deleting the current zoning and replacing it with the following zoning as shown on the attached Schedule '1':

S - 20D – 34 – 56B – 128 – 133 – 135 – 250 - 251
S – 20E – 34 - 56C – 129 – 133 – 134 - 135 – 250 - 251
T – 20F – 34 - 56C – 129 – 133 – 134 - 135 – 250 - 251
T – 20F – 34 - 56C – 130 – 133 – 134 - 135 – 250 - 251
T – 20F – 34 - 56C – 128 – 133 - 135 – 250 – 251
M – 20G – 35 – 56A – 128 – 131 – 135 – 250
M – 20H – 40 – 132 – 134 – 135 – 136 – 250
M – 20I – 40 – 132 – 134 – 135 – 136 – 250
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 - B. Schedule '1' is amended by adding Performance Standards 250 and 251 to certain zones as shown on the attached Schedule '3'.
 - C. Section '2' is amended by adding the following Performance Standards:

MISCELLANEOUS

250. **CLAUSE VI – PROVISIONS FOR ALL ZONES, Sub-Clause 5. Landscaping Requirements, 6. Coverage, 7. Day Nurseries, and 16. Regulations for Single-Family, Duplex and Two-Family Dwelling** shall not apply.

251. **CLAUSE VII – GENERAL PARKING REGULATIONS FOR ALL ZONES**, Sub-Clause 1.3 **Parking Space** and **Driveway** Dimensions, 2.1.4 Garages, Carports and Accessory Buildings, and 2.2 Regulations for **Single-Family Dwellings**, Semi-Detached and **Two-Family Dwellings**, Duplexes and Street Townhouse Dwellings shall not apply.

D. Section 3 and 4 are deleted.

3. By-law 1055-2013, being a By-law to amend the former City of Scarborough Birchcliff Community Zoning By-law 8786, as amended, is amended as follows:

A. Schedule '1' is amended as shown on the attached Schedule '4'.

4. By-law 1326-2013, being a By-law to amend the former City of Scarborough Birchcliff Community Zoning By-law 8786, as amended, is amended as follows:

A Section 1 is amended by deleting Performance Standard 274 from the zoning string and replacing it with Performance Standard 303 so that the amended zoning reads as follows:

1. **Schedule "A"** of the Birchcliff Community Zoning By-law 8786, as amended, is further amended by deleting the current zoning and replacing it with the following zoning as shown on the attached Schedule '1':

S – 4 – 163- 210 – 211 – 248 – 249 – 270 – 271 – 272 – 273 – 303

B. Section 2 is amended by deleting Performance Standard 274.

C. Schedule '1' is amended by deleting Performance Standard 274 and replacing it with Performance Standard 303, as shown on attached Schedule '5'.

5. By-law 1276-2016, being a By-law to amend the former City of Scarborough Birchcliff Community Zoning By-law 8786, as amended, is amended as follows:

A. Section 1 is amended by deleting Performance Standard 152 and 153 from the zoning string and replacing them with Performance Standard 157 and 158, respectively, so that it reads as follows:

SCHEDULE "A" of the Birchcliff Community Zoning By-law 8786, as amended, is further amended for the lands outlined in the attached Schedule '1' by deleting the existing Agricultural Holding (AG) and Park (P) zoning and replacing them with the Apartment Residential (A), Park (P) and Railway Corridor (RWY) Zones and the Performance Standards as shown on Schedule '1', so that the amended zoning shall read as follows:

A – 19I – 108 – 136 – 157 – 205 – 208 – 231 – 274 – 295 – 299 – 301 – 356 – 357 – 358 – 359

A – 19J – 40L – 158 – 208 – 230 – 231 – 274 – 360 – 364 – 366 – 368 – 369

A – 19K – 82 – 136 – 154 – 208 – 231 – 274 – 361 – 365 – 367 – 368

A – 19L – 83 – 136 – 155 – 208 – 231 – 274 – 362 – 363 – 367 – 368

A – 19M – 40M – 59 – 156 – 186 – 230 – 231 – 274 – 362 – 365

A – 104

P

RWY

- B. Schedule '1' is amended by deleting Performance Standards 152 and 153 and replacing them with Performance Standard 157 and 158 as shown on the attached Schedule '6'.
- C. Section 2 is amended by deleting Performance Standards 152 and 153, and adding Performance Standard 157 and 158 as follows:
157. Minimum 7.5 metres.
158. Minimum 7.5 metres from a side lot line and minimum 15.5 metres from a rear lot line.
6. Former City of Scarborough Birchcliff Community By-law 8786, as amended, is amended as follows:

- A. **SCHEDULE "C" EXCEPTIONS LIST** is amended by adding Exception 34 as follows:

EXCEPTIONS

34. On those lands identified as Exception Number 34 on the accompanying Schedule "C" map, the following provisions shall apply:

PERMITTED USES

Subject to the provisions of any other applicable By-law, regulation or ordinance, lands may be used and buildings erected for industrial purposes, without restriction, except as to building lines and heights and except that no part of the building, any part of which is intended to be used as a factory or public garage shall be used as a dwelling, apartment or lodging house and no land, buildings or structures or parts thereof used to manufacture, process or warehouse any of the chemicals identified on MIACC List 2 (Hazardous Substances) (see Appendix A – Employment Districts Zoning By-law Number 24982) published by the Major Industrial Accidents Council of Canada, as amended from time to time, in quantities at or exceeding the threshold limits set out on MIACC List 2 (Hazardous Substances), but not exceeding the threshold limits set out on MIACC List 1 (Priority Hazardous Substances), published by the Major Industrial Accidents Council of Canada, as amended from time to time; or any other use which is or may cause a nuisance and which may become a nuisance or may be noxious by the emission of dust, gas, noise, odour, smoke, or which may

constitute a hazard by fire, explosion or the escape of injurious or destructive gases.

COVERAGE

No building or group of buildings shall occupy more than 75 percent of the area of the lot except in the case of a corner lot where buildings may occupy 90 percent of the area of the lot, except that the first storey, to a height not exceeding 6.1 metres may occupy the whole of the lot. Where a number of buildings are erected on one lot, there shall be a clear space of at least 3 metres left between such buildings unless these buildings are of fire resisting material.

SETBACKS

No part of any building in any industrial area shall be closer than 10 metres to the centre of any street on which it fronts or abuts, and on streets on which a building line is established no part of any building shall be closer to the centre line of the street than such building line.

PARKING RATE

Table of Required Parking Rates

<u>Use</u>	<u>Minimum Rate of Parking Supply Required</u>
Warehouse Uses	1.07 parking spaces per 100 square metres of gross floor area

DEFINITION

For the purpose of this exception, the following definition shall apply:

Warehouse shall mean premises used for the storage of goods and to which the general public does not have access.

7. By-law 307-2017, being a By-law to amend the former City of Scarborough Guildwood Community Zoning By-law 9676, as amended, is amended as follows:
 - A. Section 2 is amended by adding Performance Standard 132 to the zoning string, so that it reads as follows:
 2. **SCHEDULE "A"** is amended by deleting the current zoning for the lands outlined in Schedule '1' and replacing it with the following so that the amended zoning shall read as follows:

M-40C-56-80E-80F-126-127-128-129-130-131-132-201-202-215-216

- B. Schedule '1' is amended by adding Performance Standard 132 as shown on attached Schedule '7'.
- C. Section 3 is amended by adding Performance Standard 132 as follows:
132. Within the lands shown on Schedule '1' attached to this By-law no person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:
- i. all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway; and
 - ii. all water mains and sanitary sewers, and appropriate appurtenances, have been installed and are operational.
- D. Section 6 is deleted.
- 8.** By-law 1625-2019(OMB), being a By-law to amend the former City of Scarborough Highland Creek Community Zoning By-law 10827, as amended, is amended as follows:
- A. Section 4 is amended by correcting the zoning strings so that it reads as follows:
- CR-214-215-216-217-265-270-275-503-511-513-516-518-519-541-555-556-557-571- 573-574-575-577
- CR-214-215-216-217-265-270-275-503-506-516-517-518-519-520-522-541-552-556- 570-573-574-575-577
- CR-214-215-216-217-265-270-275-503-506-516-517-518-519-520-522-541-552-556- 571-573-574-575-577
- CR-214-215-216-217-265-270-275-502-511-515-516-518-519-521-540-551-556-557-571-572-573-574-577
- CR-214-215-216-217-265-270-275-503-505-510-516-518-519-540-550-556-571-573- 574-575-577
- CR-214-215-216-217-265-270-275-503-507-510-516-518-519-540-555-556-571-573- 574-575-577
- CR(H)-214-215-216-217-265-270-275-501-504-505-509-516-518-519-541-550-556- 571-573-574-576-577
- CR-214-215-216-217-265-270-275-501-504-505-511-518-519-521-540-550-556-557- 571-572-574-577

CR-214-215-216-217-265-270-275-503-505-515-516-518-519-540-550-556-571-573- 574-575-577

CR-214-215-216-217-265-270-275-500-504-505-510-518-519-540-550-556-557-571- 572-574-576-577

CR-214-215-216-217-265-270-275-500-511-518-519-540-550-556-557-571-572-574- 575-576-577

CR(H)-214-215-216-217-265-270-275-501-504-505-516-518-519-541-550-556-571- 573-574-576-577

CR-214-215-216-217-265-270-275-502-505-510-511-518-519-540-550-556-557-571-572- 574-575-577

CR-214-215-216-217-265-270-275-503-512-515-516-517-518-519-522-542-553-554-556-570-571-573-574-575-576-577

CR-214-215-216-217-265-270-275-503-508-510-516-518-519-540-551-556-571-574-575-577

CR(H)-214-215-216-217-265-270-275-503-504-514-516-518-519-541-553-554-556- 571-573-574-576-575-577

CR(H)-214-215-216-265-270-275-217-503-506-510-516-518-519-540-550-556-571- 574-575-577

CR(H)-214-215-216-217-265-270-275-503-506-516-518-519-540-551-556-571-573- 574-575-577

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- B. Schedule '1' is amended as shown on Schedule '8'.
- C. Section 10 is amended by deleting the existing section and replacing it so that it reads as follows:

10. **Schedule "C", EXCEPTION MAP and EXCEPTION LIST** is amended by creating Exception Number 55 to the lands outlined on Schedule '2', so that it reads as follows:

55. On those lands identified as Exception 55 on the accompanying Schedule "C" map, the following provisions shall apply:

- (a) Additional permitted uses:

Place of Worship

D. Section 11 is amended so that it reads as follows:

11. **Schedule "C", EXCEPTION MAP and EXCEPTION LIST** is amended by adding Exception Number 56, to the lands outlined on Schedule '2', so that it reads as follows:

56. On those lands identified as Exception 56 on the accompanying Schedule "C" map, the following provisions shall apply:

(a) No residential uses shall be permitted on the **first floor** of a building within 20 metres of the Old Kingston Road **street line**.

9. By-law 79-2018, being a By-law to amend the former City of Scarborough L'Amoreaux Community Zoning By-law 12466, as amended, is amended as follows:

A. Section 1 is amended so that it reads as follows:

SCHEDULE 'A' of the L'Amoreaux Community Zoning By-law 12466, as amended, is amended by deleting the current zoning for the lands at 1251 Bridletowne Circle and substituting new zoning on the subject lands as shown on Schedule '1' attached and forming part of this By-law, together with the following letters and numerals:

IE-39C-59K-60F-294-295-296-321-322-323
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B. Section 2 is amended by deleting Performance Standard 63 and adding Performance Standards 296, 322, and 323 as follows:

296. Maximum 230 surface parking spaces. No parking spaces shall be located in the street yard.

322. Maximum building coverage is 33 percent of the area of the lot.

323. Minimum 1.94 parking spaces per 100 square metres of gross floor area.

C. Section 3 is amended by adding a reference to the Schedule "C" Exceptions Map as follows:

3. **SCHEDULE "C" – EXCEPTIONS LIST and MAP**, of the L'Amoreaux Community Zoning By-law 12466, as amended, is further amended by adding the following Exception Number 73 as shown on Schedule '2':

- 10.** By-law 1157-2018, being a By-law to amend former City of Scarborough L'Amoreaux Community Zoning By-law 12466, as amended, is amended as follows:
- A. Section 3 is amended by adding a reference to the Schedule "C" Exception Map as follows:
3. **SCHEDULE "C" – EXCEPTIONS LIST and MAP**, is amended by adding the following Exception 96 to the lands shown outlined on the attached Schedule '3':
- 11.** By-law 743-2015, being a By-law to amend the former City of Scarborough Malvern Community Zoning By-law 14402, as amended, is amended as follows:
- A. Section 1 is amended by adding a reference to the Schedule "C" Exceptions Map as follows:
1. **SCHEDULE "C" EXCEPTIONS LIST and MAP**, of the Malvern Community By-law 14402 is amended by adding Exception 46 as follows, on the lands shown on the attached Schedule '1'.
46. On those lands identified as Exception 46 on the accompanying Schedule "C" map, the following provisions shall apply:
- The following additional uses are permitted:
- Retail Store(s) and accessory Financial Institution(s)
- (a) Retail store(s) and Accessory Financial Institution(s) shall be permitted subject to the following provisions:
- (i) Maximum coverage for all buildings and structures shall not exceed 30 percent of the area of the lot.
- (ii) Gross floor area of the retail store uses shall not exceed 3,250 square metres.
- (iii) Minimum 3 metre setback from the McLevin Avenue street lot line.
- (iv) Minimum 25 metre setback from the side lot line.
- (v) Minimum 12.5 metre setback from the Pinery Trail street lot line.
- (vi) Minimum 40 metre rear yard setback.
- (vii) Minimum 3 metre strip of land abutting the McLevin Avenue street lot line, side lot line, and

Pinery Trail street lot line shall be used for landscaping only, except for access driveways on McLevin Avenue and noise attenuation barriers along the Pinery Trail frontage and the side lot line.

- (viii) Minimum 0 metre setback for parking spaces and driveways from the rear lot line.
 - (ix) Maximum 8.0 metre building height, excluding rooftop mechanical penthouses.
 - (x) Bicycle parking shall be provided at a rate of 3 spaces plus 0.3 spaces per 100 square metres of gross floor area.
 - (xi) For the purposes of this exception, the Pinery Trail frontage shall be considered the front lot line.
 - (xii) Within the lands shown on Schedule '1' attached to this By-law, no person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:
 - (1) all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway; and
 - (2) all water mains and sanitary sewers, and appropriate appurtenances, have been installed and are operational.
12. By-law 797-2015, being a By-law to amend the former City of Scarborough Malvern Community Zoning By-law 14402, as amended, is amended as follows:
- A. Section 1 is amended so that it reads as follows:
 - 1. **SCHEDULE "A"** is amended for the lands known as 1370 Neilson Road by deleting the current zoning and replacing it with the following provisions shown on the attached Schedule '1' hereto and forming part of this By-law.
13. By-law 1303-2015, being a By-law to amend former City of Scarborough Morningside Heights Zoning By-law, as amended, is amended as follows:
- A. Schedule '1' is amended by adding Performance Standard 64 to the zoning string for the Semi-Detached Residential (SD) zoned lots as shown on Schedule '9'.

14. By-law 727-2016, being a By-law to amend former City of Scarborough Morningside Heights Zoning By-law, as amended, is amended as follows:
- A. Schedule '1' is amended by adding Performance Standard 64 to the zoning string for the Semi-Detached Residential (SD) zoned lots as shown on Schedule '10'.
15. By-law 1199-2019, being a By-law to amend former City of Scarborough Morningside Heights Community Zoning By-law, as amended, is amended as follows:
- A. Section 1 is amended by deleting references to Performance Standards 82, 83 and 84 from the zoning string, adding references to Performance Standards 67 and 68 to the zoning string, and deleting a reference to a circled number 8 so that Section 1 now reads as follows:
1. **SCHEDULE "A"** of the Morningside Heights Community Zoning By-law, is amended by adding the following Schedule '1' so that the amended zoning shall read as follows:
- CC-43-44-45-46-53-66-67-68-80-81-100-101-102
- B. Schedule '1' is amended as shown on the attached Schedule '11'.
- C. Section 2 is amended by adding Performance Standards 67 and 68 immediately after the words as follows:
67. **CLAUSE V – GENERAL PROVISIONS**, Sub-Clause 10, Landscaping and Sub-Clause 24, Lands Not Covered by Buildings Requirements shall not apply.
68. **CLAUSE VI – GENERAL PARKING REGULATIONS FOR ALL ZONES**, Sub – Clause 1. General Parking Requirement shall not apply.
- D. Sections 3 and 4 are deleted.
- E. Section 5 is amended by renumbering it as Section 3, and deleting the circle around Exception 8 and replacing it with the words "Exception No. 8."
16. By-law 1200-2019, being a By-law to amend Zoning By-law 569-2013, as amended, is amended as follows:
- A. Diagram 3 is amended by correcting the setback requirements as shown on the attached Schedule '12'.

17. By-law 1142-2018, being a By-law to amend the former City of Scarborough Rouge Community Zoning By-law 15907, as amended, is amended as follows:
- A. Section 3 is amended by adding a reference to the Schedule "C" Exceptions Map as follows:
 - 3. **SCHEDULE "C" – EXCEPTIONS LIST and MAP** is amended by adding the following **EXCEPTION 50**, on the lands as shown on the attached Schedule '2'.
18. By-law 1549-2019(OMB), being a By-law to amend former City of Scarborough Employment Districts Zoning By-law 24982 (Rouge Employment District), as amended, and former City of Scarborough Rouge Community Zoning By-law 15907, as amended, is amended as follows:
- A. Section 2 is amended by adding Performance Standard 482 to the zoning string as follows:
 - 2. **SCHEDULE 'A'** of the Rouge Community By-law 15907, as amended, is hereby further amended by adding the lands shown outlined on the attached Schedule '1', to this By-law, and by adding thereto the following zoning as shown on the attached Schedule '2' to this By-law:

MF-76-139-233-234-235-482-485-486-522-523
MF-75-139-233-234-235-482-485-522-523
 - B. Schedule '2' is amended by adding Performance Standard 482 as shown on the attached Schedule '13'.
 - C. Section 4 is amended by adding a reference to the Exceptions Map as follows:
 - 4. **SCHEDULE "C", EXCEPTIONS LIST and MAP**, of the Rouge Community Zoning By-law 15907, as amended, is further amended by adding the following **EXCEPTIONS 47, 48 and 49** to the lands as shown outlined on the attached Schedule '3'.
 - D. Section 5 is deleted.
19. By-law 384-2019, being a By-law to amend former City of Scarborough Employment Districts Zoning By-law 24982 (Rouge Employment District) and Zoning By-law 15907, the Rouge Community Zoning By-law, as amended, is amended as follows:
- A. Section 1 is deleted and replaced with the following:
 - 1. **SCHEDULE "A"** of the Employment Districts Zoning By-law 24982 (Rouge Employment District), as amended, is further amended by removing the lands and deleting the existing zoning from the lands as shown on Schedule '1', attached to this by-law.

B. Section 2 is amended by deleting Performance Standard 334 and replacing it with Performance Standard 342 as follows:

2. **SCHEDULE "A"** of the Rouge Community Zoning By-law 15907, as amended, is further amended by adding the lands shown outlined on the attached Schedule '1', to this By-law, and by adding hereto the following zoning as shown on the attached Schedule '3' to this bylaw:

PW-139-207-220-342-482-486-487-488-524

C. Section 3 is amended by re-numbering Performance Standard 334 as Performance Standard 342.

D. Section 4 is deleted and replaced with the following to add a reference to the Schedule "C" Exception Map and to renumber Exception 3 as Exception 13:

4. **SCHEDULE "C", EXCEPTIONS LIST and MAP** of the Rouge Community Zoning By-law 15907, as amended, is further amended by adding the lands outlined in the attached Schedule '4' to this By-law and by applying the following Exception 13 to said lands, attached hereto.

13. On those lands identified as Exception 13 on the accompanying Schedule "C" map, the following provisions shall apply:

- (a) Permitted Use

Place of Worship;

- (b) Accessible Parking

Of the parking required by Performance Standard 524, a minimum of 2 shall be accessible parking stalls provided and reserved for the physically disabled. The accessible parking stall shall be 3.9 metres wide and 5.6 metres in perpendicular length, with a minimum 6.0 metre wide access aisle; and

- (c) Loading

One loading space with minimum dimensions of 6.0 metres in length, 4.0 metres in width and 6.1 metres in vertical clearance.

E. Section 5 is deleted and replaced with the following:

5. **SCHEDULE "A"** of the Employment Districts Zoning By-law 24982 (Rouge Employment District), as amended, is further amended by deleting

existing Exception Number 512 from the lands as shown on Schedule '2', attached hereto.

- F. Schedule '3' is amended by deleting Performance Standard 334 and replacing it with Performance Standard 342 as shown on Schedule '14'.
 - G. Schedule '4' is amended by deleting Exception 3 and replacing it with Exception 13 as shown on Schedule '15'.
20. By-law 92-2017, being a By-law to amend former City of Scarborough Village Community By-law 10010, as amended, is amended as follows:
- A. Section 1 is amended by adding provision P to the zoning string so that the zoning string now reads as follows:

A(H) and CC(H)-40G-167-185-186-187-188-189-190-191-223-224-225-273-274-275-380

A(H) and CC(H)-40G-167-184-186-187-188-189-190-191-223-224-225-270-271-272-380

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 - B. Schedule '1' is amended by correcting the zoning area boundaries, as shown on attached Schedule '16'.
21. By-law 1083-2017, being a By-law to amend former City of Scarborough Village Community Zoning By-law 10010, as amended, is amended as follows:
- A. Section 2 is deleted.
 - B. Section 3, 4, and 5 are renumbered to be Section 2, 3 and 4 respectively.
 - C. In the new Section 2, the following Performance Standard 154 is added to **SCHEDULE "B", PERFORMANCE STANDARD CHART** of the Scarborough Village Community Zoning By-law 10010, as amended:

MISCELLANEOUS

154. **CLAUSE V – INTERPRETATION (f) Definitions** is amended by addition the following definition:

(a) **Amenity Space**

shall mean indoor and outdoor space on a **lot** that is communal and available for use by the occupants of a **building** on the **lot** for recreational or social activities; and

(b) **Bicycle Parking Space**

shall mean an area used for parking or storing a bicycle.

- D. Schedule '1' of By-law 1083-2017 is amended by adding Performance Standard 154 and 231 as shown on the attached Schedule '17'.
22. By-law 999-2014, being a By-law to amend former City of Scarborough Sullivan Community Zoning By-law 10717, as amended, is amended as follows:
- A. Section 3 is amended by adding a reference to the Schedule "C" Exceptions Map as follows:
3. **SCHEDULE "C" – EXCEPTIONS LIST and MAP** is amended by adding Exceptions 39 and 40 as follows, on the lands as shown on Schedule '2'.
23. By-law 1202-2018, being a By-law to amend former City of Scarborough West Hill Community Zoning By-law 10327, as amended, is amended as follows:
- A. Section 1 is amended by deleting Performance Standard 642 from the zoning string and replacing it with Performance Standard 614 so that it reads as follows:
1. **SCHEDULE "A"** is amended by deleting the existing zoning and replacing it so that the amended zoning shown on the attached Schedule '1' reads as follows:
- S – 199P – 207 – 208 – 333 – 334 – 335 – 336 – 455 – 614 – 640 – 641 – 643 – 644 – 645 – 646 – 647 – 656 – 657
- B. Section 3 is amended by adding a reference to the Schedule "C" Exceptions Map as follows:
3. **SCHEDULE "C" – EXCEPTIONS LIST and MAP** is amended by deleting the existing Exception Number 38 on the lands as shown on the attached Schedule '2'.
- C. Schedule '1' is amended by deleting Performance Standard 642 and replacing it with Performance Standard 614, as shown on the attached Schedule '18'.
24. The West Hill Community Zoning By-law 10327, as amended, is amended by deleting Performance Standard 642 from **PERFORMANCE STANDARD CHART – SCHEDULE "B"**.

25. By-law 1138-2018, being a By-law to amend the former City of Scarborough Wexford Community Zoning By-law 9511, as amended, is amended as follows:
- A. Section 1 is amended by deleting Performance Standard 351 from the zoning string and replacing it with Performance Standard 145 so that it reads as follows:
 - 1. **SCHEDULE "A"** of the Wexford Community Zoning By-law 9511, as amended, is amended by deleting the current zoning and replacing it with the following zoning as shown on Schedule '1':

CR – 110 – 122 – 136 – 145 – 217 – 218 – 219 – 281 – 300 – 301 – 350 –
352 – 353 – 354 – 355 – 356 – 357 – 358 – 359 – 360 – 400 – 401
P
 - B. Schedule '1' is amended by deleting Performance Standard 351 and replacing it with Performance Standard 145 as shown on Schedule '19'.
26. The Wexford Community Zoning By-law 9511, as amended, is amended by deleting Performance Standard 351 from **PERFORMANCE STANDARD CHART – SCHEDULE "B"**.
27. By-law 1277-2018, being a By-law to amend former City of Scarborough Woburn Community By-law 9510, as amended, is amended as follows:
- A. Section 3 is amended by replacing the reference to Schedule 'C' with a reference to Schedule '2' such that the preamble before Exception 77 reads as follows:
 - 3. **SCHEDULE 'C', EXCEPTIONS LIST and EXCEPTIONS MAP**, are further amended by adding Exception 77 to the lands outlined on Schedule '2', so that it reads as follows:
 - B. Section 4 is amended by replacing the reference to Schedule 'C' with a reference to Schedule '2' such that it reads as follows:
 - 4. **SCHEDULE 'C', EXCEPTIONS MAP** is further amended by deleting Exception 20 from the lands outlined on Schedule '2'.
 - C. Schedule '1' is amended to reflect the correct zoning string as shown on the attached Schedule '20'.
 - D. Schedule '2' is added as shown on the attached Schedule '21'.
28. The Woburn Community Zoning By-law 9510, as amended, is amended as follows:
- A. **SCHEDULE "C", EXCEPTION LIST and MAP**, is amended by deleting Exception 57 from the lands as shown on the attached Schedule '22'.

29. By-law 649-2018, being a By-law to amend the former City of Scarborough Employment Districts Zoning By-law 24982 (Coronation Drive Employment District), as amended, is amended as follows:

A. Section 1 is deleted and replaced with the following:

1. **SCHEDULE 'A'** of the City of Scarborough Employment Districts Zoning By-law 24982 (Coronation Drive Employment District) is amended by deleting the current zone provisions for the lands municipally known as 30 Minuk Acres and replacing them with the following zone provisions as shown on Schedule '1' attached and forming part of this by-law:

MG - 1694 – 1695 – 1696 – 1760 – 2236 – 2621 – 2802 – 2803

488

B. Section 2 is deleted and replaced with the following:

2. **SCHEDULE 'B' Performance Standards Chart** of the Employment Districts Zoning By-law 24982 (Coronation Drive Employment District) is amended by adding the following Performance Standards:

1694. One **loading space** shall be provided and shall have the following minimum dimensions:

- (a) length of 11.0 metres;
- (b) width of 3.5 metres; and
- (c) vertical clearance of 4.0 metres;

1695. A minimum of 10 **parking spaces** shall be provided for a **waste transfer station**;

1696. The minimum parallel **parking space** length shall be 6.7 metres and the maximum parallel **parking space** length shall be 7.4 metres;

1760. Notwithstanding the definition of Height in **CLAUSE IV – DEFINITION**, the height of any building shown on Schedule '2' of By-law 649-2018 as measured from the average elevation of the ground along the **front lot line** to the highest point of the **building** shall not exceed the height in metres specified by the numbers following the symbol HT and the number of storeys above grade specified by the numbers ST on Schedule '2' of By-law 649-2018;

2236. In addition to the definitions contained in **CLAUSE IV – DEFINITIONS**, the following additional Definitions shall apply:

Waste Transfer Station

means **premises** used for receiving waste or **recyclable material** and transferring the material to **vehicles** for transport to another location;

Premises

means the whole or part of lands, **buildings** or **structures**, or any combination of these;

Recyclable Material

means material that is separated into specific categories for purposes of reuse, recycling or composting;

Building

means a wholly or partially enclosed **structure** with a roof supported by walls, columns, piers or other structural systems. A **vehicle** is not a **building**;

Structure

means anything that is erected, built or constructed of one or more parts joined together. A **vehicle** is not a **structure**; and

Loading Space

means an area used for the loading or unloading of goods or commodities from a vehicle;

2621. **Gross floor area** of all buildings minus the **gross floor area** of all **basements** shall not exceed 0.70 times the area of the **lot**;
2802. Minimum **setback** for all **structures** and **buildings** shall comply with those shown on Schedule '2' of the By-law 649-2018;
2803. A canopy, portico or other similar **structure** including structural supports may project into a required **front yard setback** a maximum of 2.0 metres.

- C. Section 3 is added to By-law 649-2018 so that it reads as follows:
3. **SCHEDULE "C", EXCEPTIONS LIST**, is amended by adding the following Exception 488.
488. On those lands identified as Exception 488 on the Schedule 'A' map the following provisions apply:
- Additional Permitted Uses:
- Waste Transfer Station** means **premises** only used to receive and transfer **recyclable material**.
- D. Schedule '1' of By-law 649-2018 is amended by adding Performance Standard 2236 as shown on the attached Schedule '23'.
30. By-law 1003-2011(OMB), being a By-law to amend former City of Scarborough Employment Districts Zoning By-law 24982 (Marshalling Yard Employment District), as amended, is amended as follows:
- A. Schedule '1' is amended by adding Performance Standard 1646 as shown on the attached Schedule '24'.
31. By-law 1077-2018, being a By-law to amend former City of Scarborough Employment Districts Zoning By-law 24982 (Milliken Employment District), as amended, is amended as follows:
- A. Schedule '1' is amended by adding Performance Standard 1093 as shown on the attached Schedule '25'.
32. By-law 810-2019, being a By-law to amend former City of Scarborough Employment Districts Zoning By-law 24982 (Progress Employment District West), as amended, is amended as follows:
- A. Section 2 is amended by renumbering Exception 2101 as Exception 852.
- B. Schedule '1' of By-law 810-2019 is amended by replacing Exception 2101 with Exception 852 as shown on the attached Schedule '26'.
33. By-law 1092-2019(LPAT), being a By-law to amend the former City of Scarborough Employment Districts Zoning By-law 24982 (South Agincourt Employment District), as amended, is amended as follows:
- A. Section 4 is amended so that the preamble before Exception 154 reads as follows:
4. **SCHEDULE 'C' EXCEPTIONS LIST**, of the Employment Districts Zoning By-law 24982 (South Agincourt Employment District), as amended, is further amended by adding the following Exception:

34. By-law 1067-2017, being a By-law to amend former City of Scarborough Employment Districts Zoning By-law 24982 (South Agincourt Employment District), as amended, is amended as follows:

A. The zoning string in Section 1 is amended by deleting Exception 23 and adding Exception 230 so that it reads as follows:

(Block 10) CR-1640-2029-2047-2375-2384 (230)

35. By-law 140-2010, being a By-law to amend former City of Scarborough Employment District Zoning By-law 24982 (Tapscott Employment District), as amended, is amended as follows:

A. Section 2 is amended by adding Performance Standard 2377 so that it reads as follows:

2. **SCHEDULE "B"– PERFORMANCE STANDARD CHART** of the Employment District Zoning By-law 24982 (Tapscott Employment District), as amended, is amended by adding Performance Standard 2377 so that it reads as follows:

2377. On those lands identified as Exception 2377 on Schedule 'C' and matters to be provided pursuant to Section 37 of the Planning Act, the following provisions shall apply: The density of development permitted by this By-law is subject to the Owner of the land, at its expense, and in accordance with and subject to entering into one or more agreements with the City of Toronto, pursuant to Section 37 of the Planning Act, R.S.O. 1990, c.P. 13, as amended, and that such agreement(s) be registered against the title of the lot, to secure capital facilities and/or cash contributions toward specific capital facilities as follows:

1. The provision of a \$400,000 cash payment to the City of Toronto, prior to the issuance of above-grade building permits for works associated with the expansion of the Milliken Park Community Recreation Centre;
2. The Owner(s) shall provide a Letter of Credit in the amount of \$100,000, prior to the issuance of above grade structural building permits to secure the provision of public art. The public art will be subject to approval by the City; and
3. The Owner(s) shall construct or provide securities equal to 100 percent of the cost of the implementation, of transportation improvements identified in the Traffic Impact Study as may be revised to the satisfaction of the Executive Director, Technical Services.

36. **SCHEDULE "C" – EXCEPTIONS LIST**, of the Employment District Zoning By-law 24982 (Tapscott Employment District), as amended, is further amended by deleting Exception 2377.
37. By-law 1180-2019, being a By-law to amend former City of Scarborough Employment District Zoning By-law 24982 (Tapscott Employment District), as amended, is amended as follows:

- A. Section 1 is amended by adding Performance Standard 1640, 2108, and 2904 so that it reads as follows:
1. **SCHEDULE "A"** of the Tapscott Employment District Zoning By-law, as amended, is amended by substituting new performance standards on the lands, as shown outlined on Schedule '1' attached hereto and forming part of this By-law:

M-913-991-1054-1640-273-2108-2714-2900-2901-2904

(508) (851)

MG-913-991-1054-1640-273-1640-2108-2714-2900-2901-2904

(508) (851)

AG-913-1159-1640-2108-2904

- B. Section 2 is amended by adding the following Performance Standards 2108 and 2904 as follows:

OTHER DEFINITIONS

2108. The provisions of this By-law shall apply to all of the lands collectively regardless of future severance, partition or division.

PARKING

2904. **CLAUSE V – GENERAL PROVISIONS Sub-Clause 8 Loading Space** requirements will not apply.

- C. Section 3, 5 and 6 are deleted.
- D. Section 4 is deleted, renumbered as Section 3, and replaced with the following:
3. **SCHEDULE 'C' - EXCEPTIONS LIST**, of the Employment District Zoning By-law (Tapscott), as amended, is further amended by adding Exception 851 to the lands outlined on Schedule '1', so that it reads as follows:

851. Additional Permitted Uses:

stormwater management facility/pond; and

guard house.

- E. Schedule '1' is amended by adding Performance Standard 1640, 2108, and 2904 to each zone as shown on the attached Schedule '27'.
- 38.** The Cliffcrest Community Zoning By-law 9396, as amended, is amended by deleting Performance Standard 142.
- 39.** By-law 1006-2014, being a By-law to amend the Cliffcrest Community Zoning By-law 9396, as amended, and the former City of Scarborough Employment Districts Zoning By-law 24982 (Milliken Employment District), as amended, is amended as follows:
- A. Section 3 which amends the Cliffcrest Community By-law 9396, as amended, is further amended as follows:
- i. Section 3.1 is amended by deleting Performance Standard 142 and replacing it with Performance Standard 140 as follows:
- 3.1 **SCHEDULE "A"** is amended by adding Performance Standard 140 so that the amended zoning shown on the attached Schedule '6' reads as follows:
- A - 17 - 23 - 32 - 46 - 71 - 81 - 82 - 83 - 84 – 140
- ii. Section 3.2 is deleted.
- iii. Schedule '6' of By-law 1006-2014 is amended by deleting Performance Standard 142 and replacing it with Performance Standard 140 as shown on the attached Schedule '28'.
- B. Schedule '23' is amended by adding Performance Standard 498 as shown on the attached Schedule '29'.

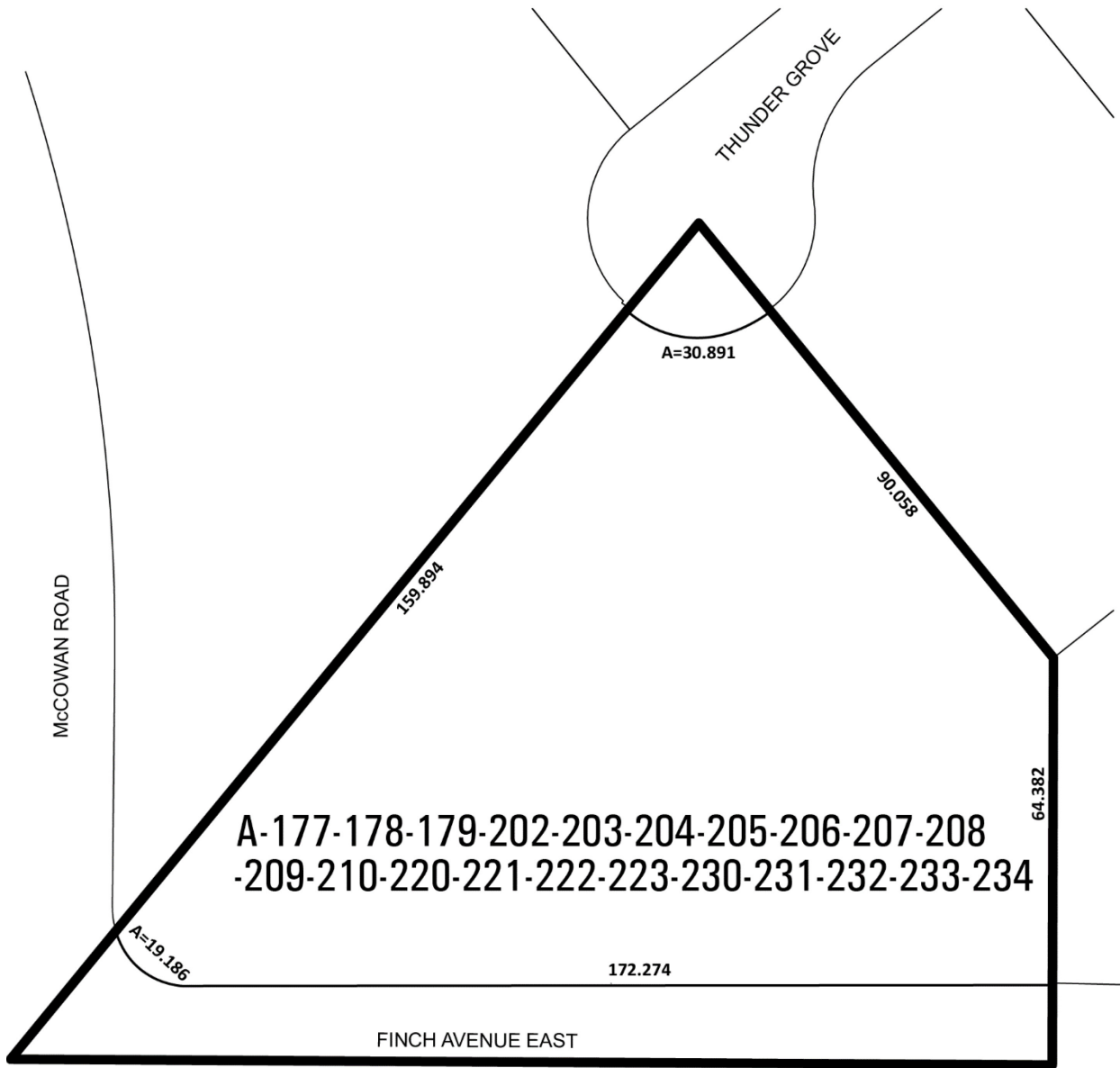
Enacted and passed on February 26, 2020.

Frances Nunziata,
Speaker

Ulli S. Watkiss,
City Clerk

(Seal of the City)

Schedule '1'



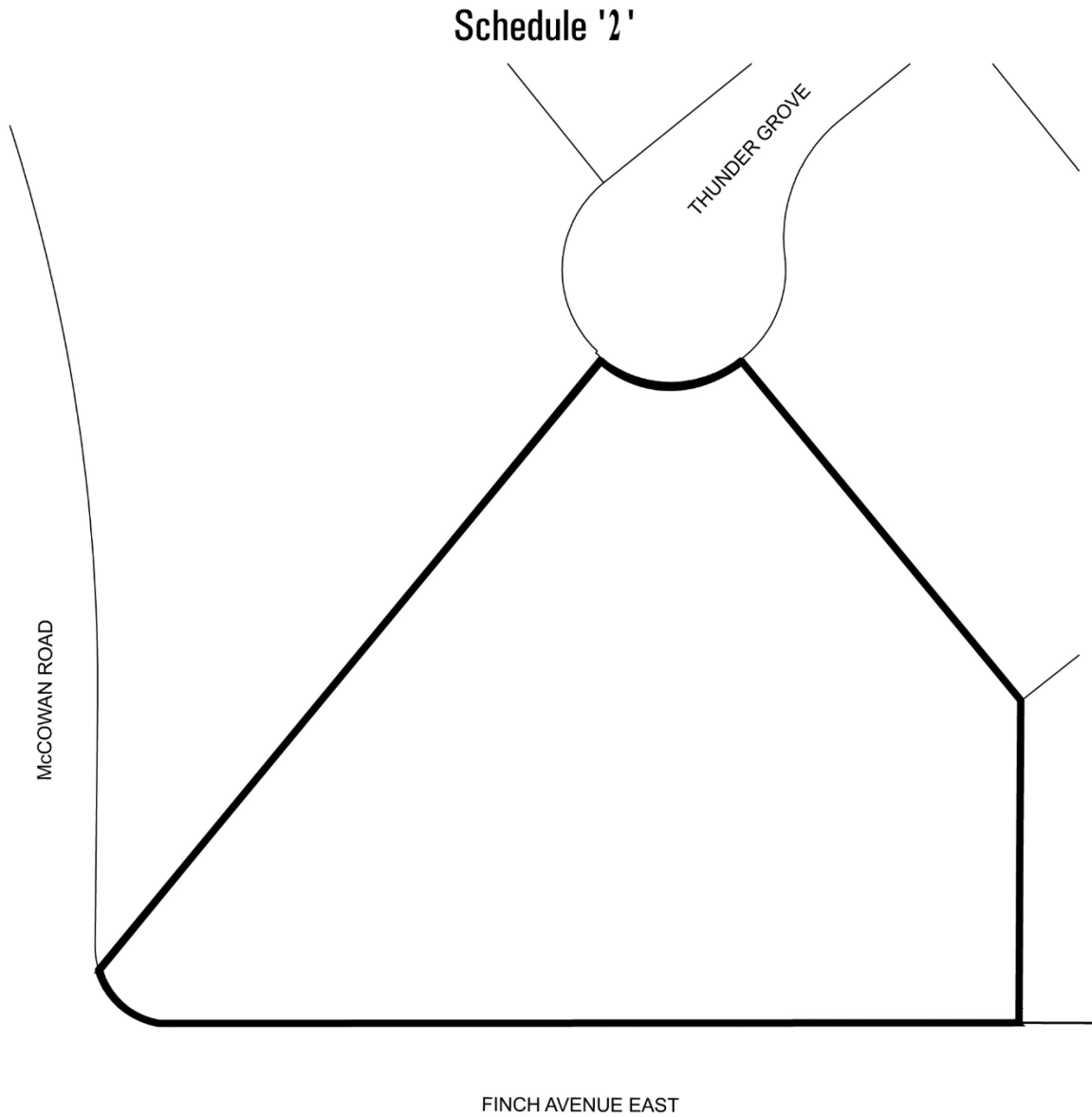
 **TORONTO**
Zoning By-Law Amendment

25 Thunder Grove

File # 16 179683 ESC 41 0Z

 Area Affected By This By-Law

Agincourt North Community By-Law
Not to Scale
12/05/19

Exception No. 35

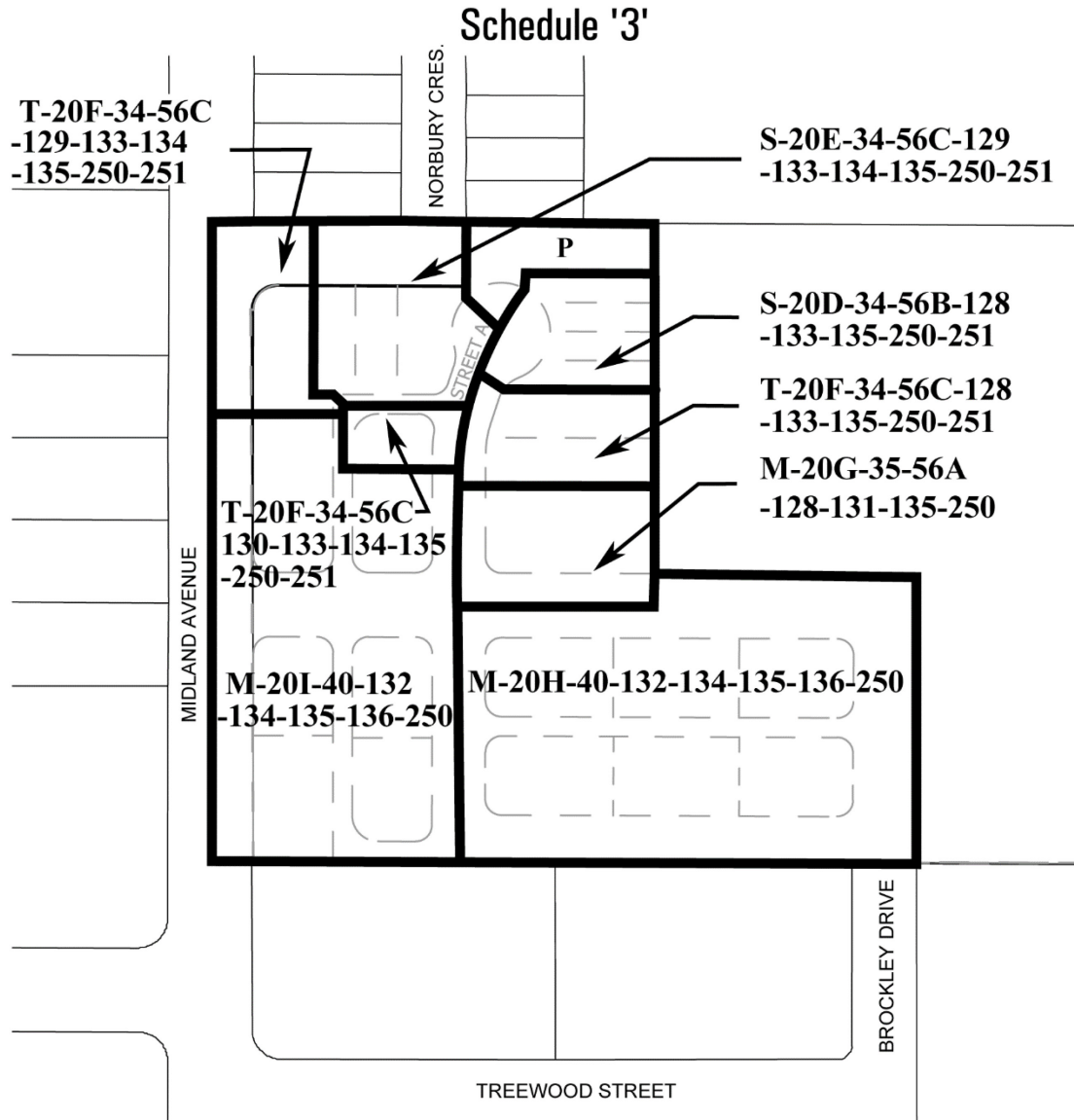
 **TORONTO**
Zoning By-Law Amendment

25 Thunder Grove
File # 16 179683 ESC 41 0Z

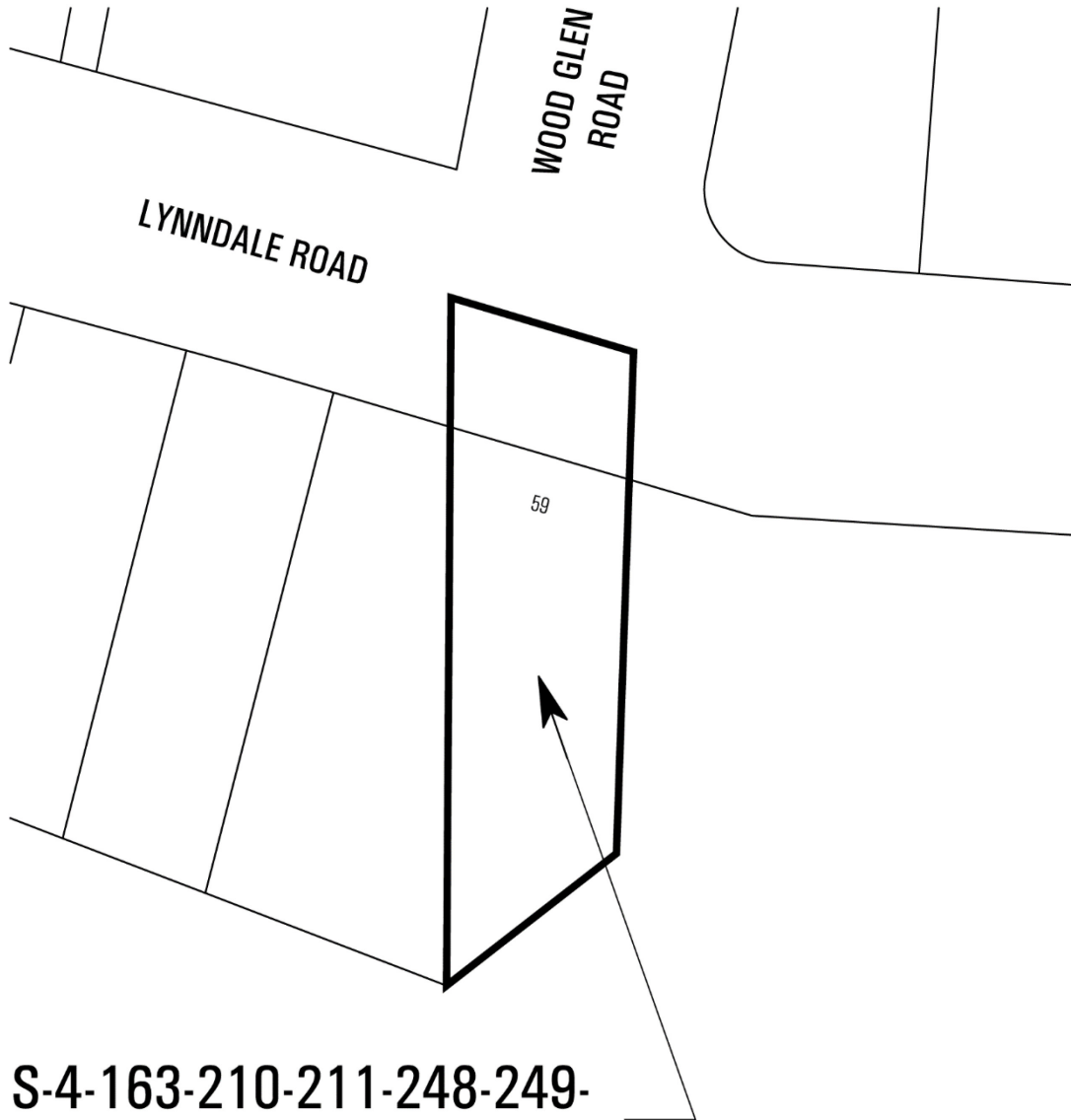
 Area Affected By This By-Law

Agincourt North Community By-Law
Not to Scale
12/05/19





Schedule '5'



S-4-163-210-211-248-249-
270-271-272-273-303

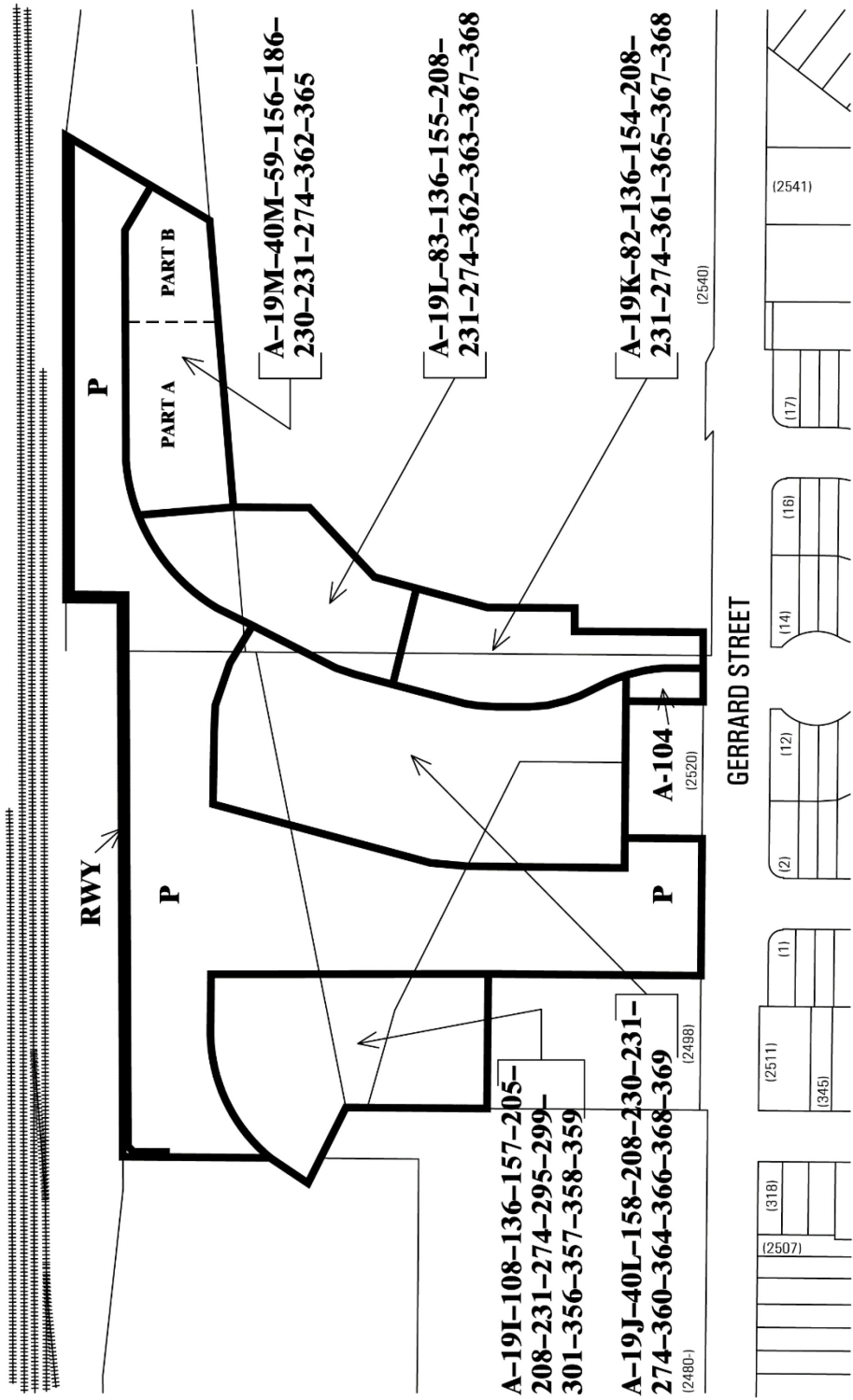
 **Toronto**
Zoning By-Law Amendment

59 Lynndale Road
File # 19 214144 EPS 00 TM

 Area Affected By This By-Law

Birchcliff Community Bylaw
Not to Scale
11/28/19


Schedule '6'



City Planning
 Division

Zoning By-Law Amendment

411 Victoria Park Avenue

File #'s 12 297365 ESC 36 0Z; 13 233037 ESC 36 SB



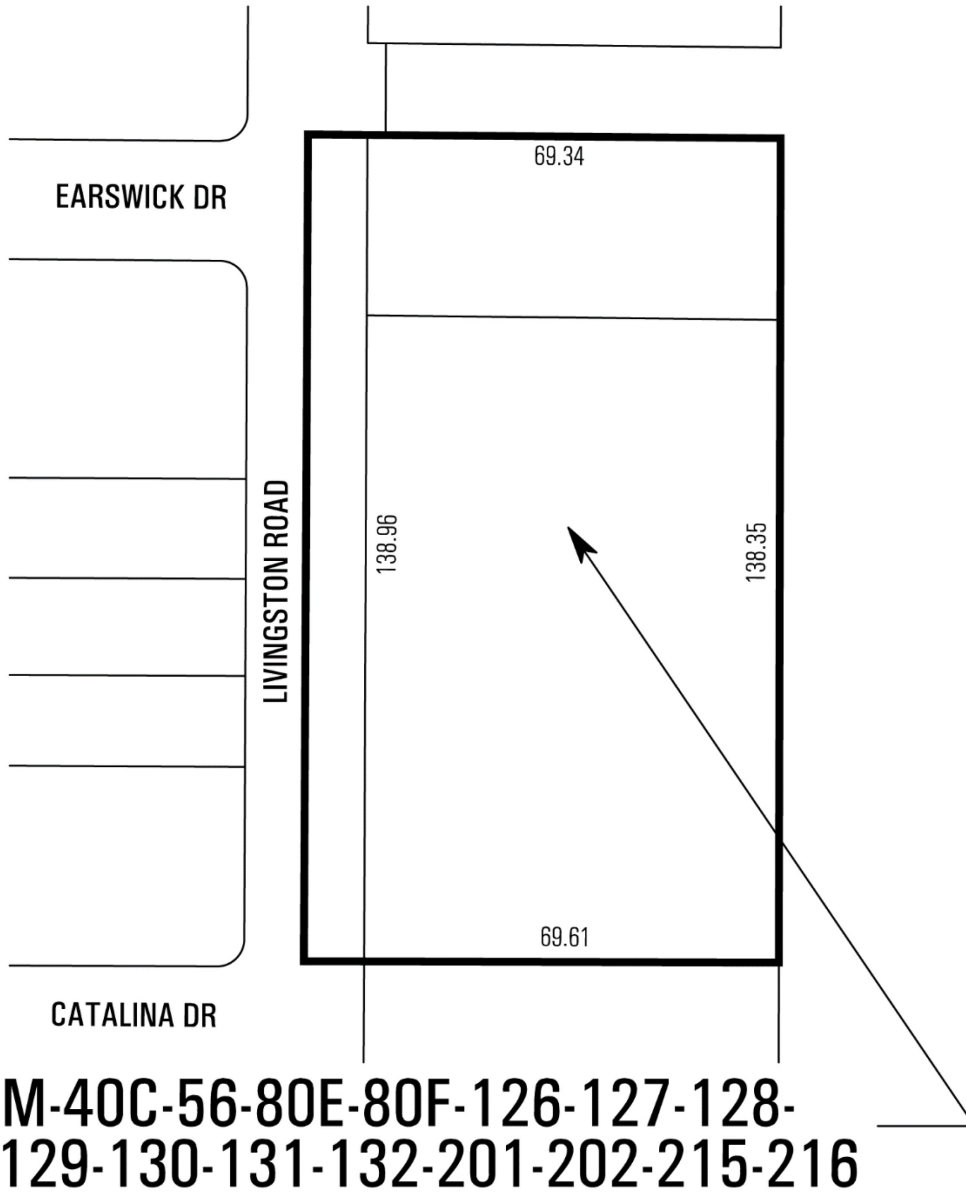
Area Affected By This By-Law

Birchcliff Community By-law
 Not to Scale



12/10/19

Schedule '7'



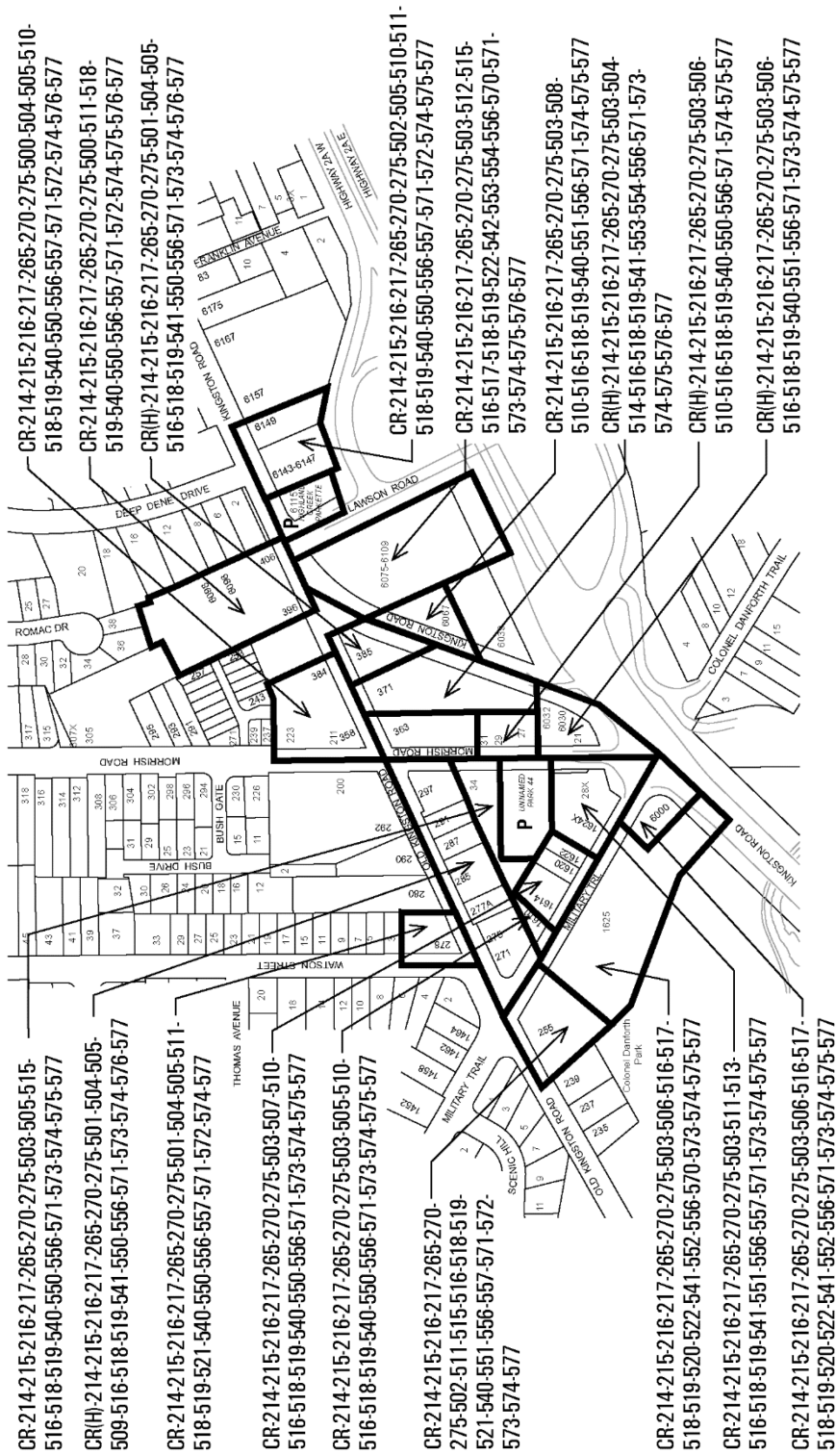
Toronto City Planning
Division
Zoning By-Law Amendment

65 & 67 Livingston Road
File # 15 167669 ESC 43 OZ

 Area Affected By This By-Law

Guildwood Community Bylaw
Not to Scale
12/10/19


Schedule '8'



Toronto City Planning Division
Zoning By-Law Amendment

Highland Creek Village Study
 File # 10 303518 EPS 44 TM

Area Affected By This By-Law

Highland Creek Community By-law
 Not to Scale
 12/05/19

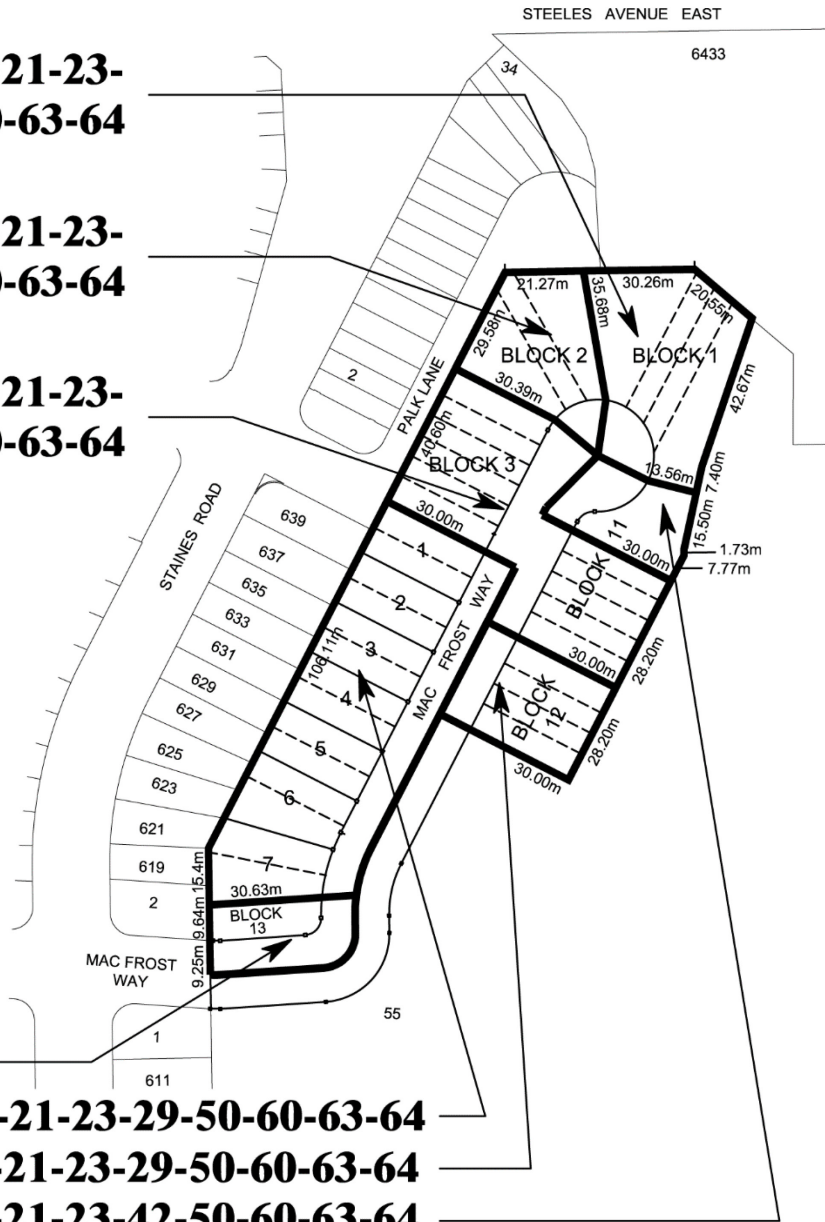
Schedule '10'

**ST-4-20-21-23-
 29-50-60-63-64**

**ST-3-20-21-23-
 29-50-60-63-64**

**ST-6-20-21-23-
 29-50-60-63-64**

**PU
 SD-2-20-21-23-29-50-60-63-64
 ST-4-20-21-23-29-50-60-63-64
 ST-6-20-21-23-42-50-60-63-64**



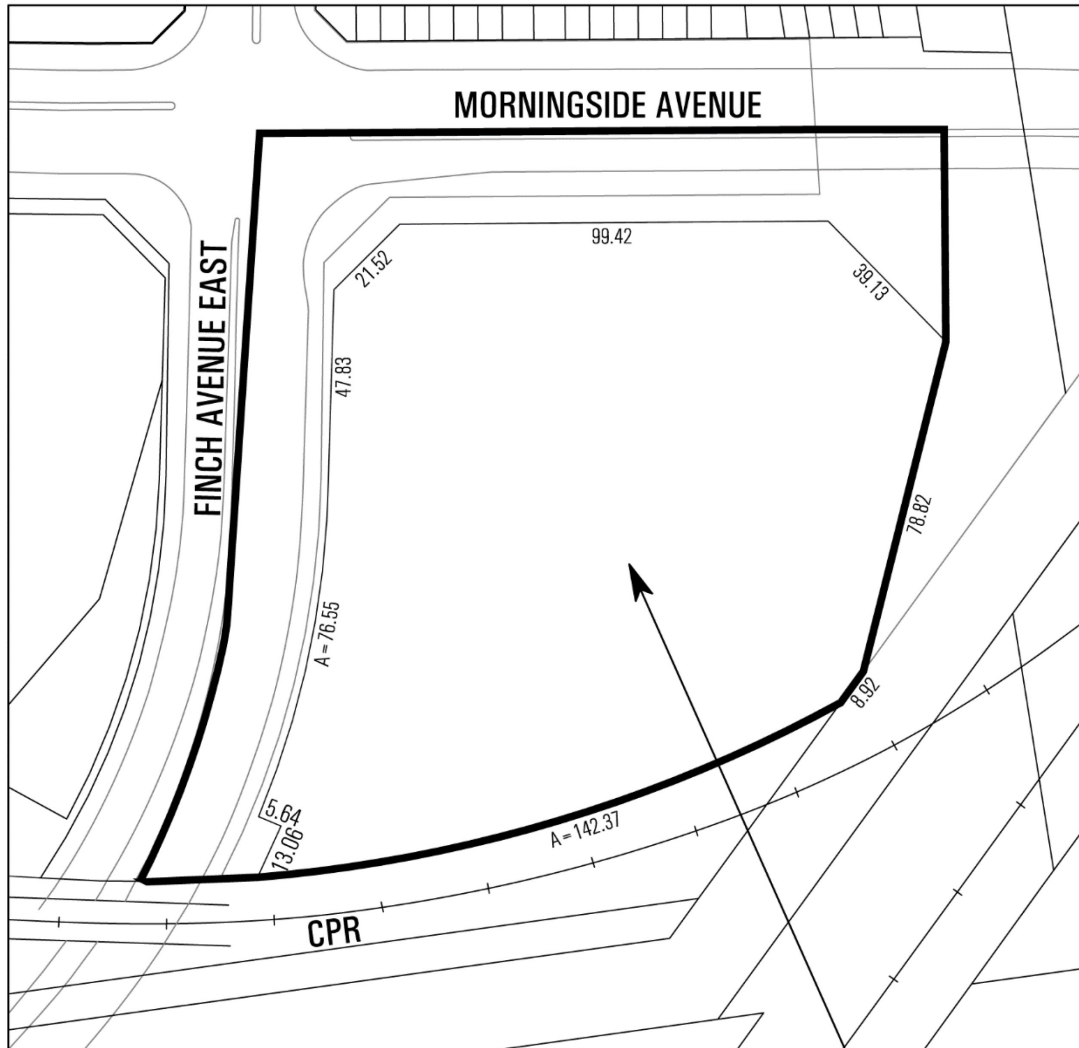
TORONTO City Planning
 Division
Zoning By-Law Amendment

55 Mac Frost Way
 File # 16 142834 ESC 42 OZ

 Area Affected By This By-Law

Morningside Heights Community By-Law
 Not to Scale
 28/11/19

Schedule '11'



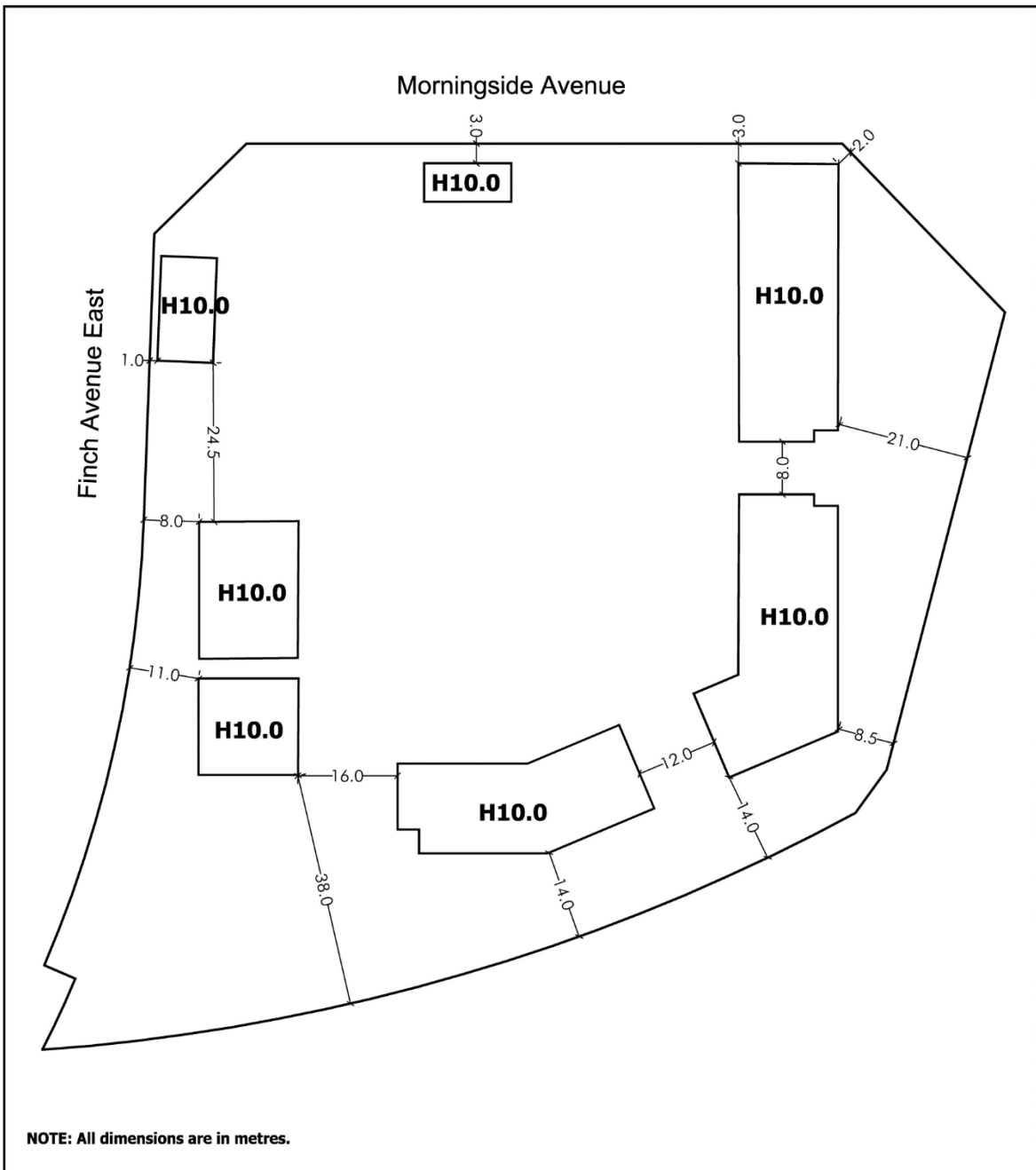
**CC-43-44-45-46-53-66-
67-68-80-81-100-101-102**

Toronto
Zoning By-Law Amendment

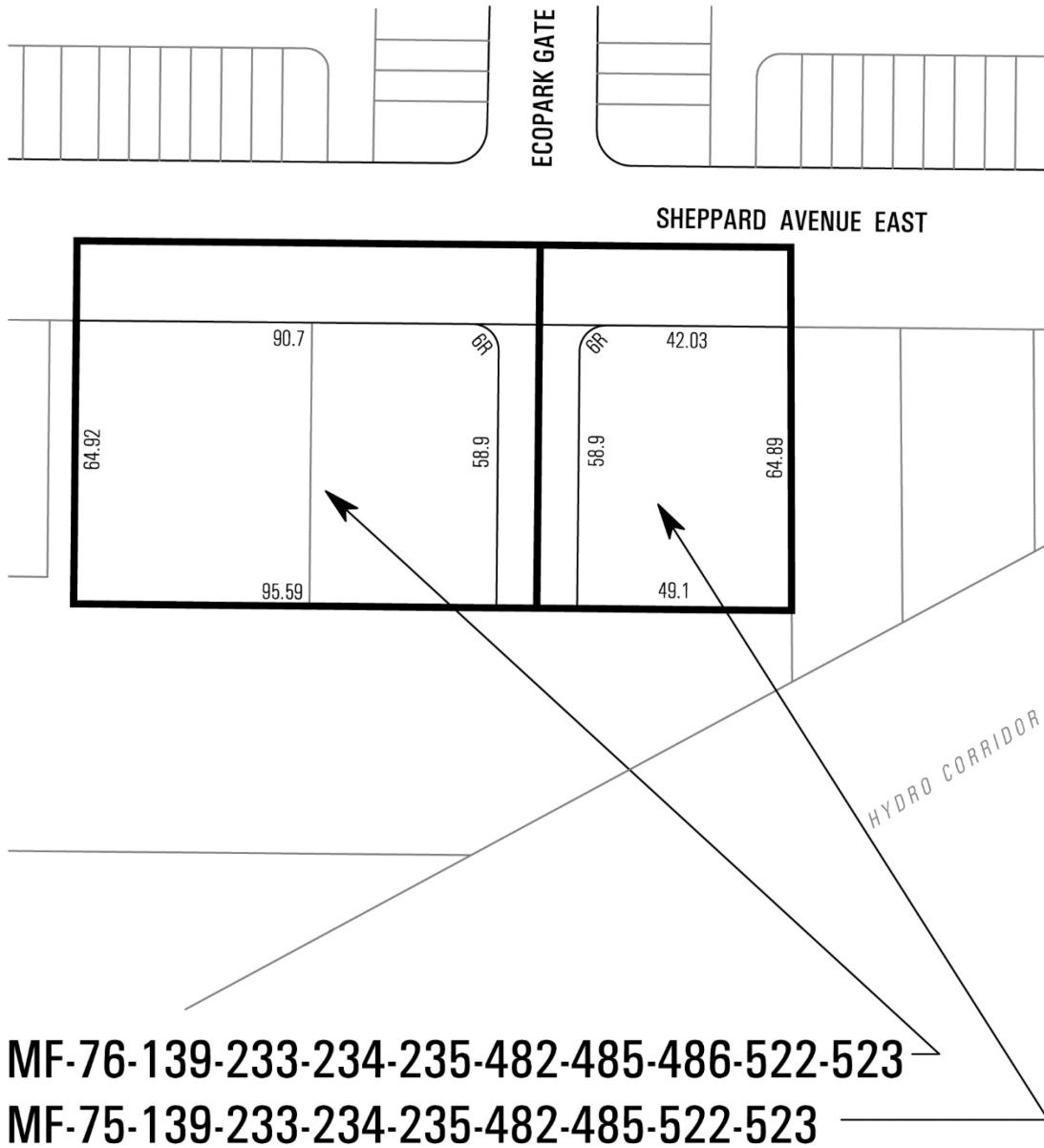
2130 Morningside Avenue
File # 17 278788 ESC 42 0Z

 Area Affected By This By-Law

Morningside Heights Community Bylaw
Not to Scale
12/02/19

Schedule '13'



Zoning By-Law Amendment

8817-8825 & 8833 Sheppard Avenue East

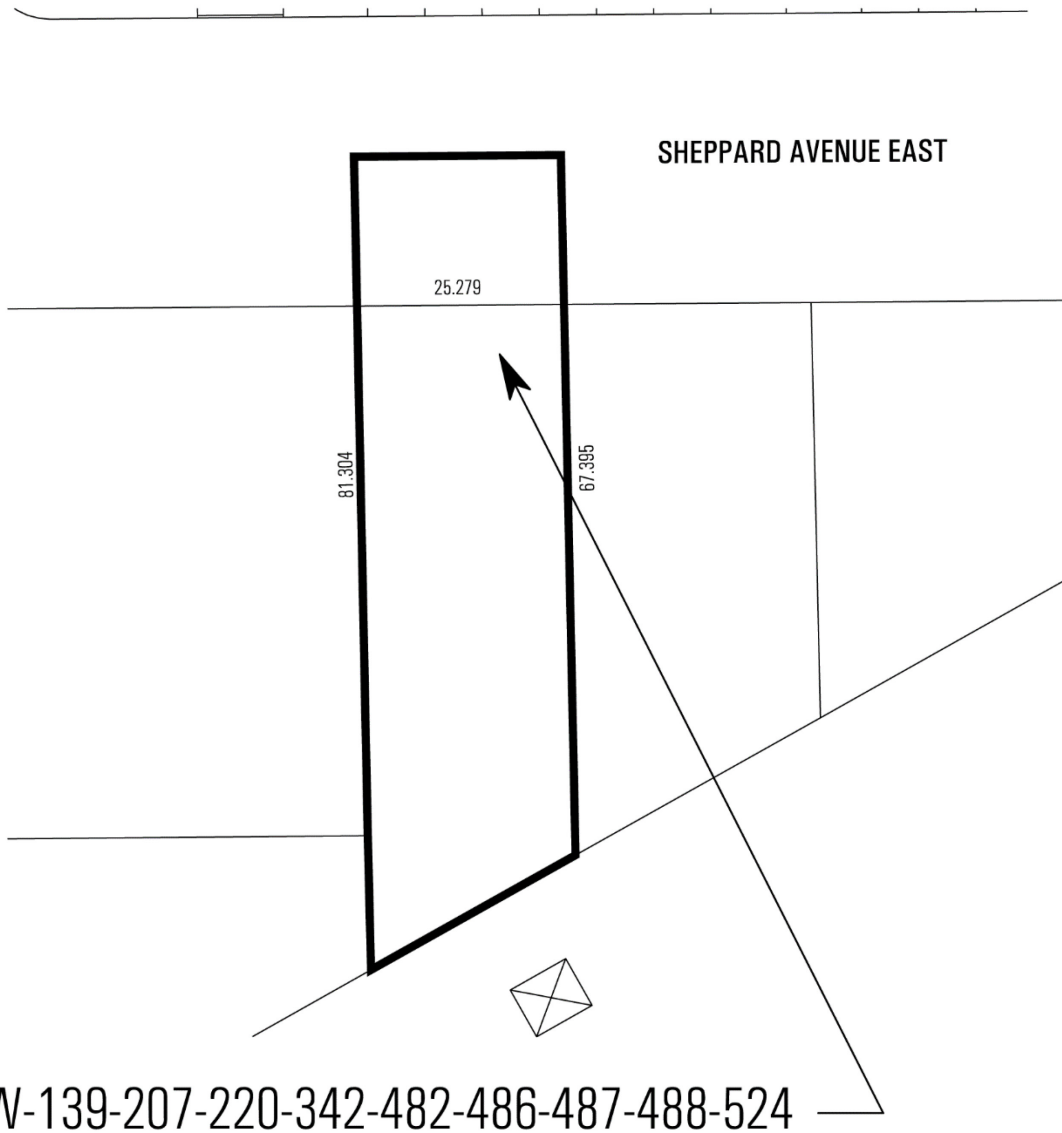
File # 15 153397 ESC 44 OZ, 15 153364 ESC 44 SB

 Area Affected By This By-Law

Rouge Community District Bylaw
Not to Scale
12/04/19



Schedule '14'



Zoning By-Law Amendment

8861 Sheppard Avenue East

File # 13 205120 ESC 44 OZ, 13 247713 ESC 44 OZ

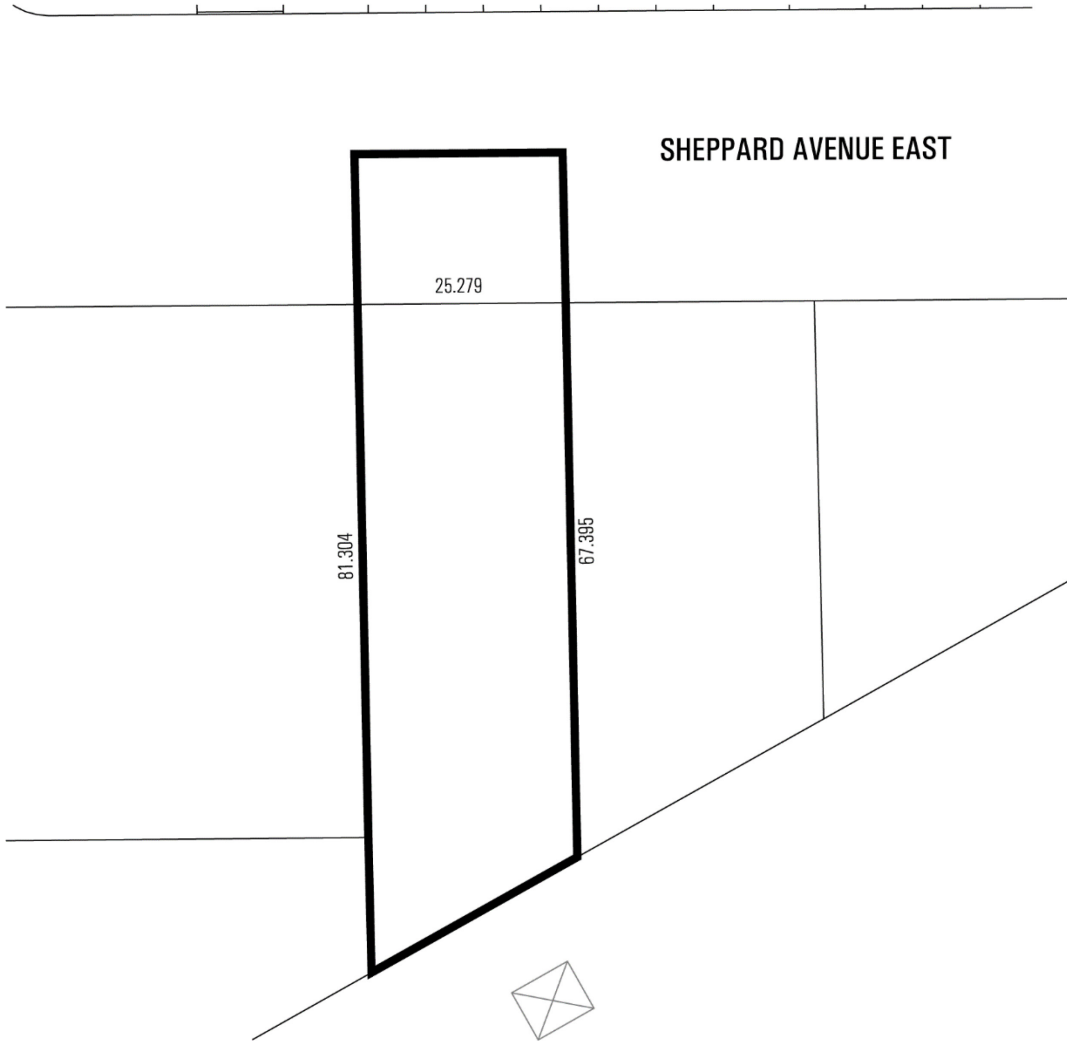


Area Affected By This By-Law

Rouge Community Bylaw
Not to Scale
12/04/19



Schedule '15'



Exception No. 13



Zoning By-Law Amendment

8861 Sheppard Avenue East

File # 13 205120 ESC 44 OZ, 13 247713 ESC 44 OZ

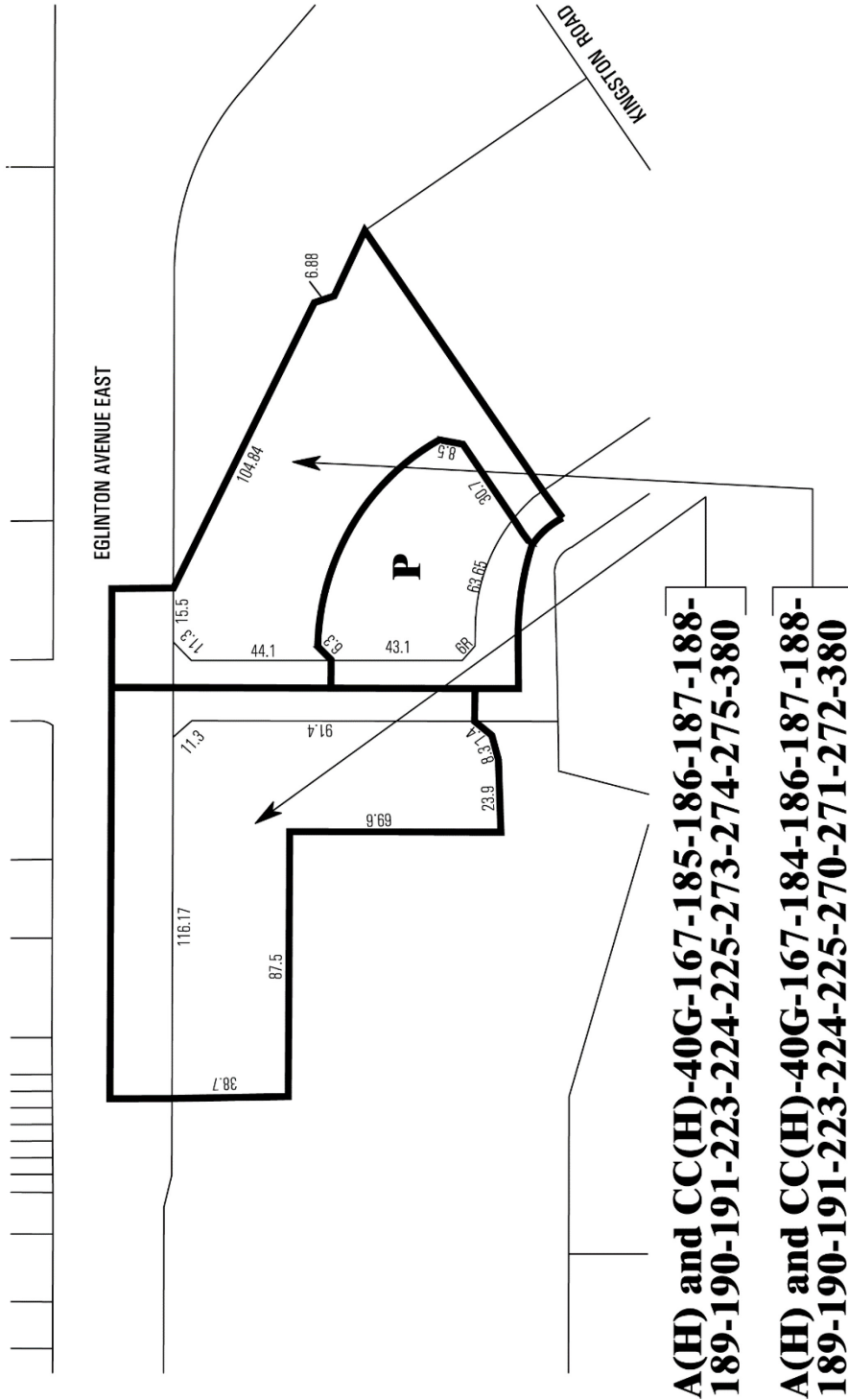


Area Affected By This By-Law

Rouge Community Bylaw
Not to Scale
12/04/19



Schedule '16'



A(H) and CC(H)-40G-167-185-186-187-188-189-190-191-223-224-225-273-274-275-380

A(H) and CC(H)-40G-167-184-186-187-188-189-190-191-223-224-225-270-271-272-380



Zoning By-Law Amendment

3201-3227 Eglinton Avenue East
 File # 15 239570 ESC 36 0Z, 07 272331 ESC 36 SB

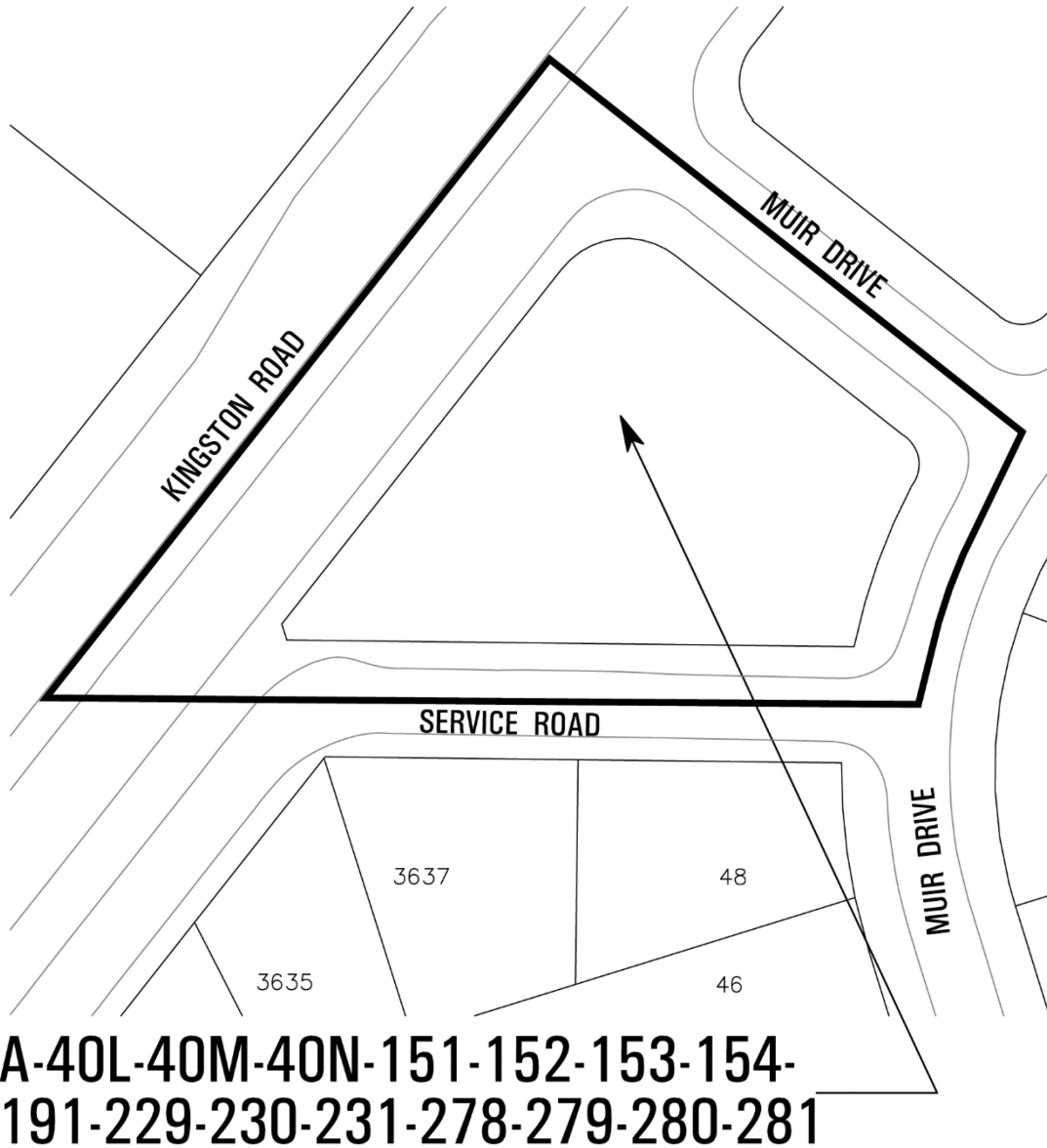


Area Affected By This By-Law

Scarborough Village Community By-law
 Not to Scale
 12/04/19



Schedule '17'



**A-40L-40M-40N-151-152-153-154-
191-229-230-231-278-279-280-281**

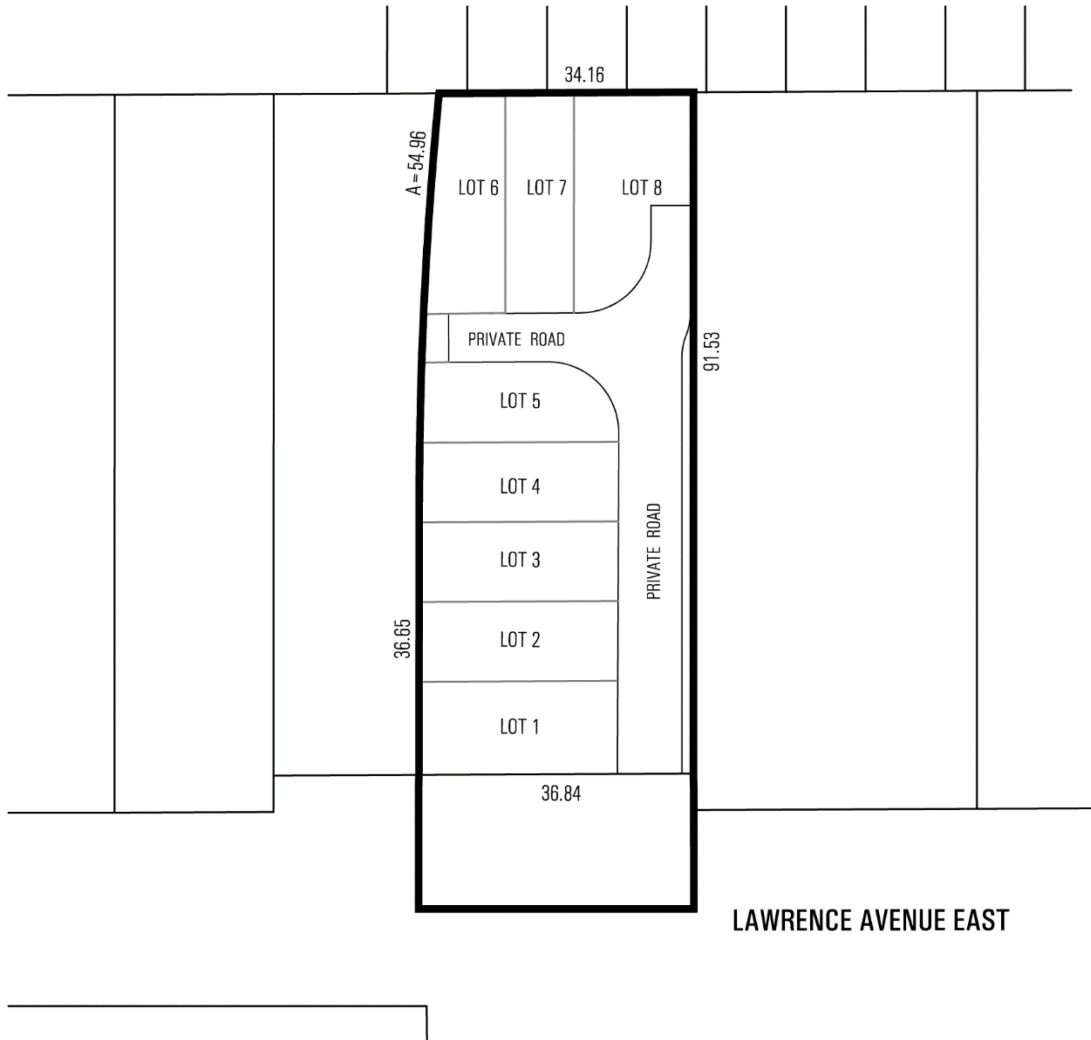
Toronto City Planning
Division
Zoning By-Law Amendment

3655 Kingston Road
File # 15 245019 ESC 36 OZ

 Area Affected By This By-Law

Scarborough Village Community Bylaw
Not to Scale
12/04/19


Schedule '18'



**S-199P-207-208-333-334-335-336-455-614-
640-641-643-644-645-646-647-656-657**

TORONTO
Zoning By-Law Amendment

4342 Lawrence Avenue East

File # 17 181649 ESC 44 OZ

 Area Affected By This By-Law

West Hill Community Bylaw
Not to Scale
12/04/19


Schedule '19'



CR-110-122-136-145-217-218-219-281-300-301-350-
352-353-354-355-356-357-358-359-360-400-401

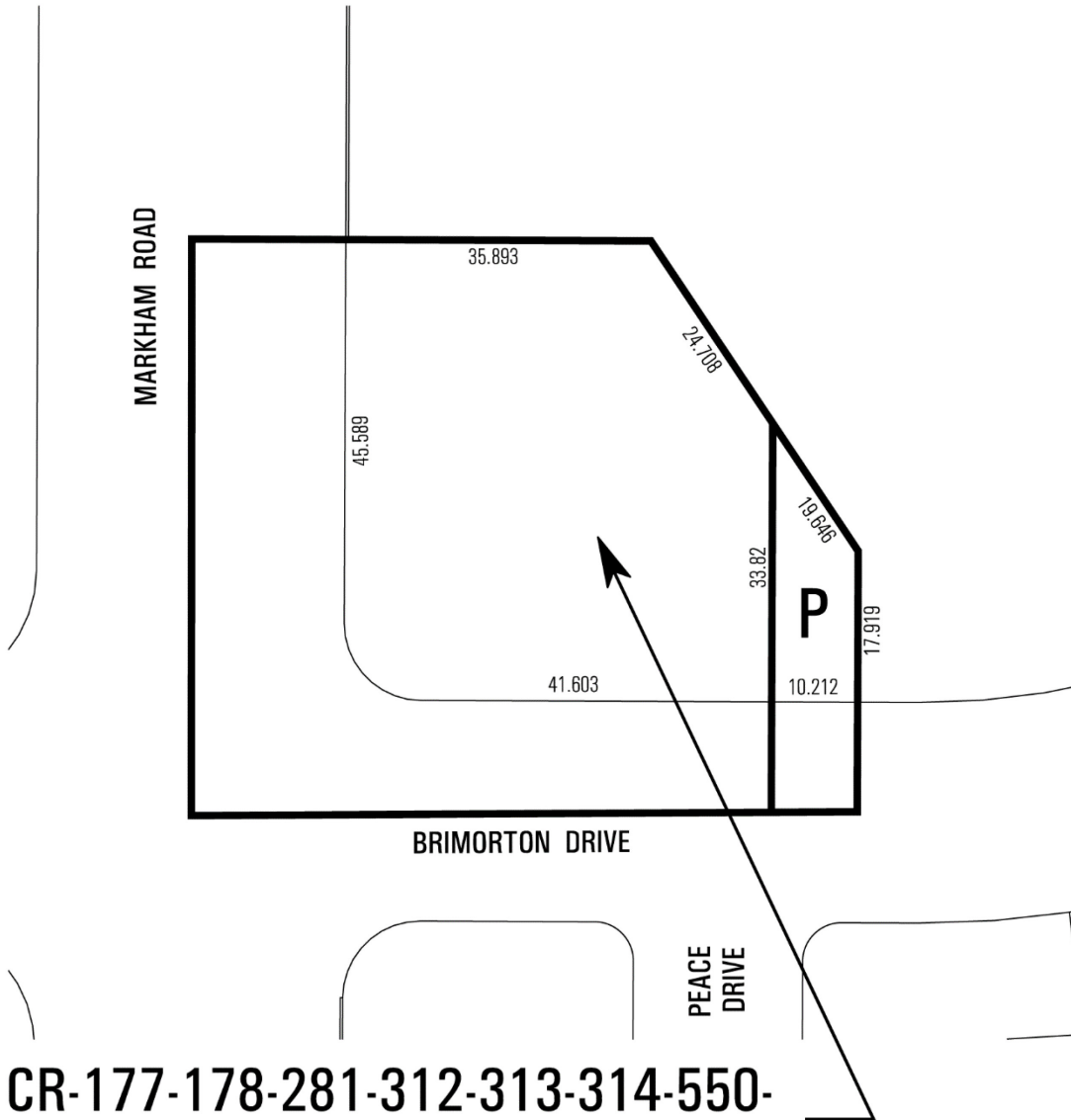
 **TORONTO**
Zoning By-Law Amendment

2180 Lawrence Avenue East
File # 17 274213 ESC 37 OZ

 Area Affected By This By-Law

Wexford Community Bylaw
Not to Scale
12/04/19


Schedule '20'



**CR-177-178-281-312-313-314-550-
551-552-553-554-555-556-557-558**

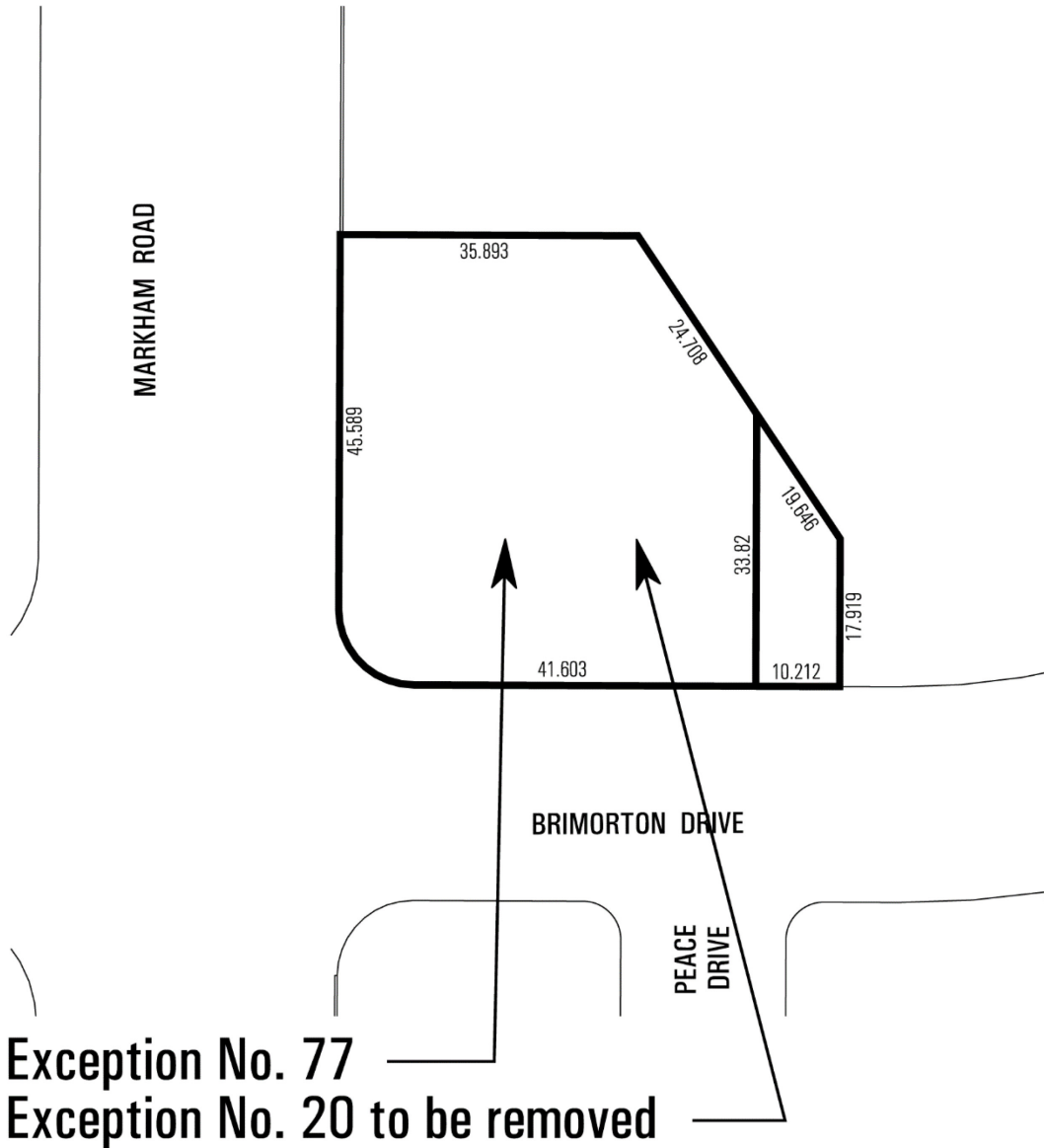
TORONTO
Zoning By-Law Amendment

1021-1035 Markham Road
File # 16 270614 ESC 38 OZ

 Area Affected By This By-Law

Woburn Community Bylaw
Not to Scale
12/04/19


Schedule '21'

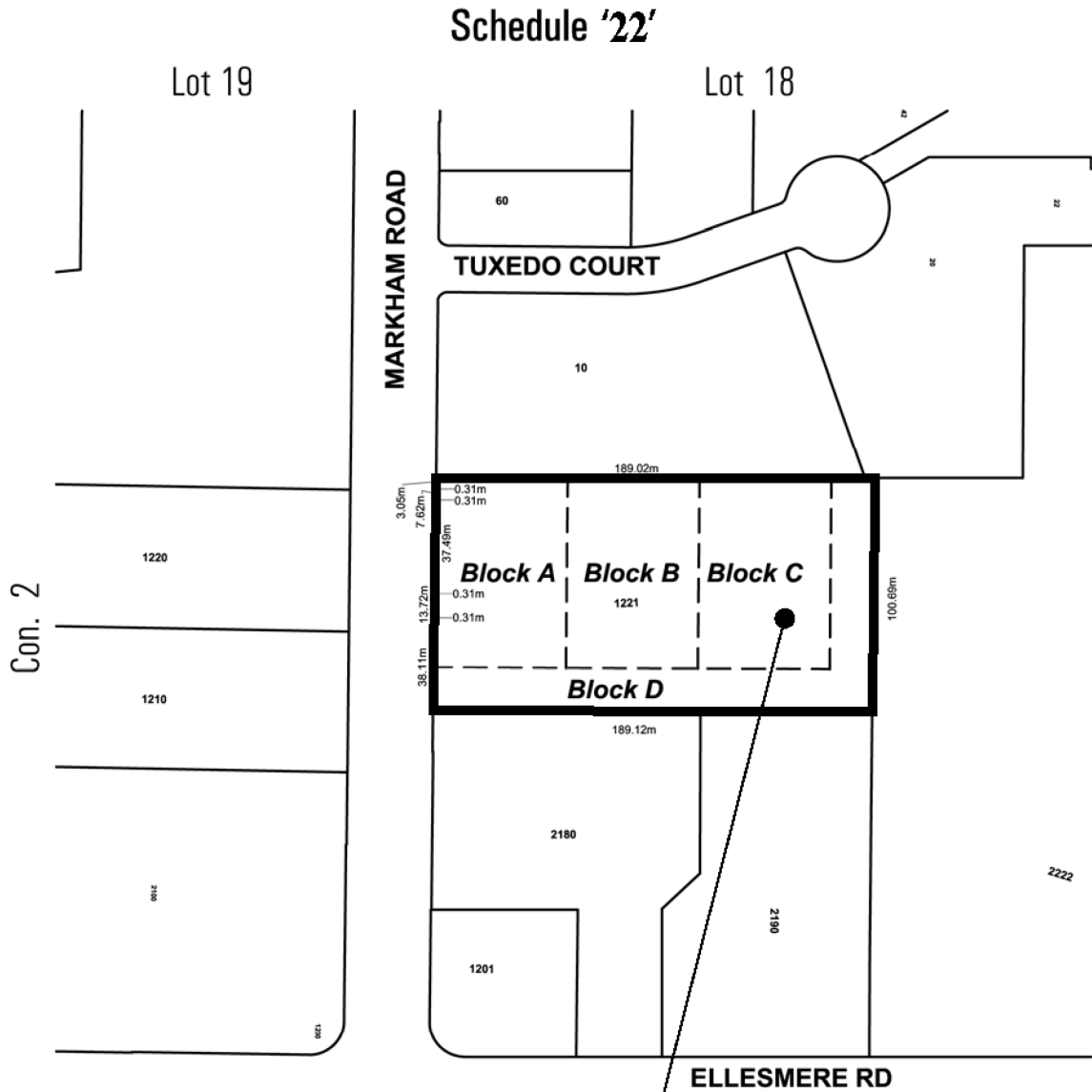


 **Toronto**
Zoning By-Law Amendment

1021-1035 Markham Road
File # 16 270614 ESC 38 OZ

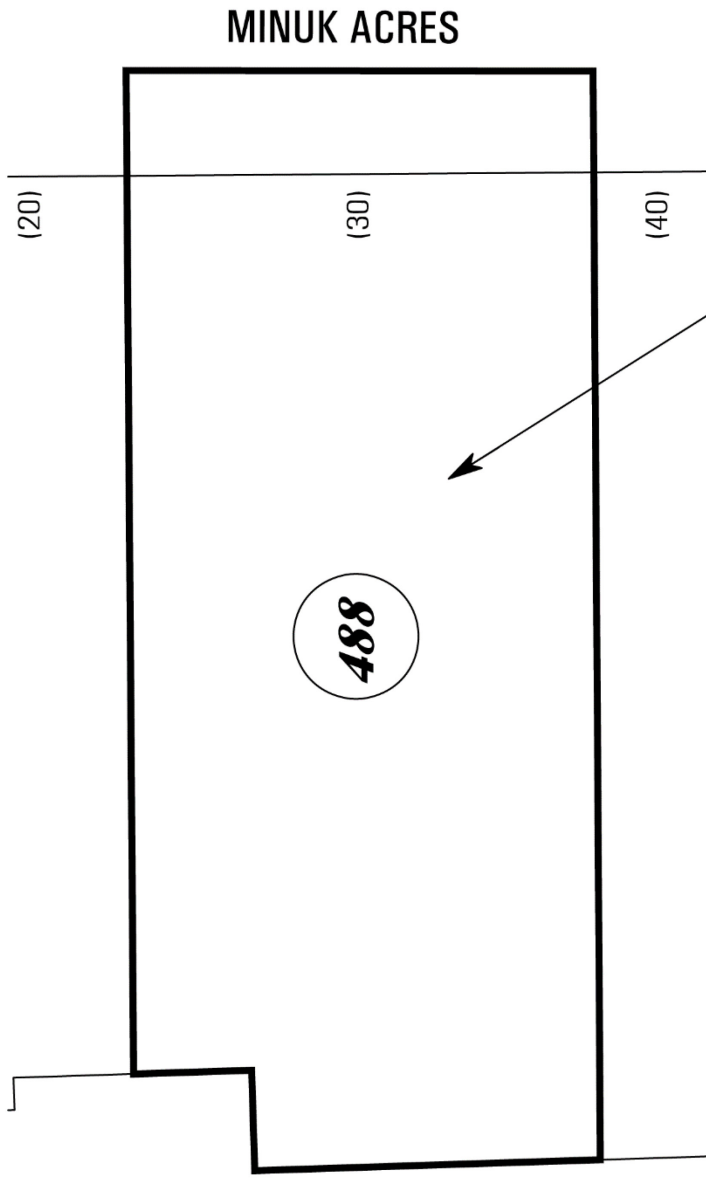
 Area Affected By This By-Law

Woburn Community Bylaw
Not to Scale
12/04/19

Exception 57 to be Removed

Schedule '23'



MG-1694-1695-1696-1760-2236-2621-2802-2803



Zoning By-law Amendment

30 Minuk Acres

File # 17 114981 ESC 44 0Z



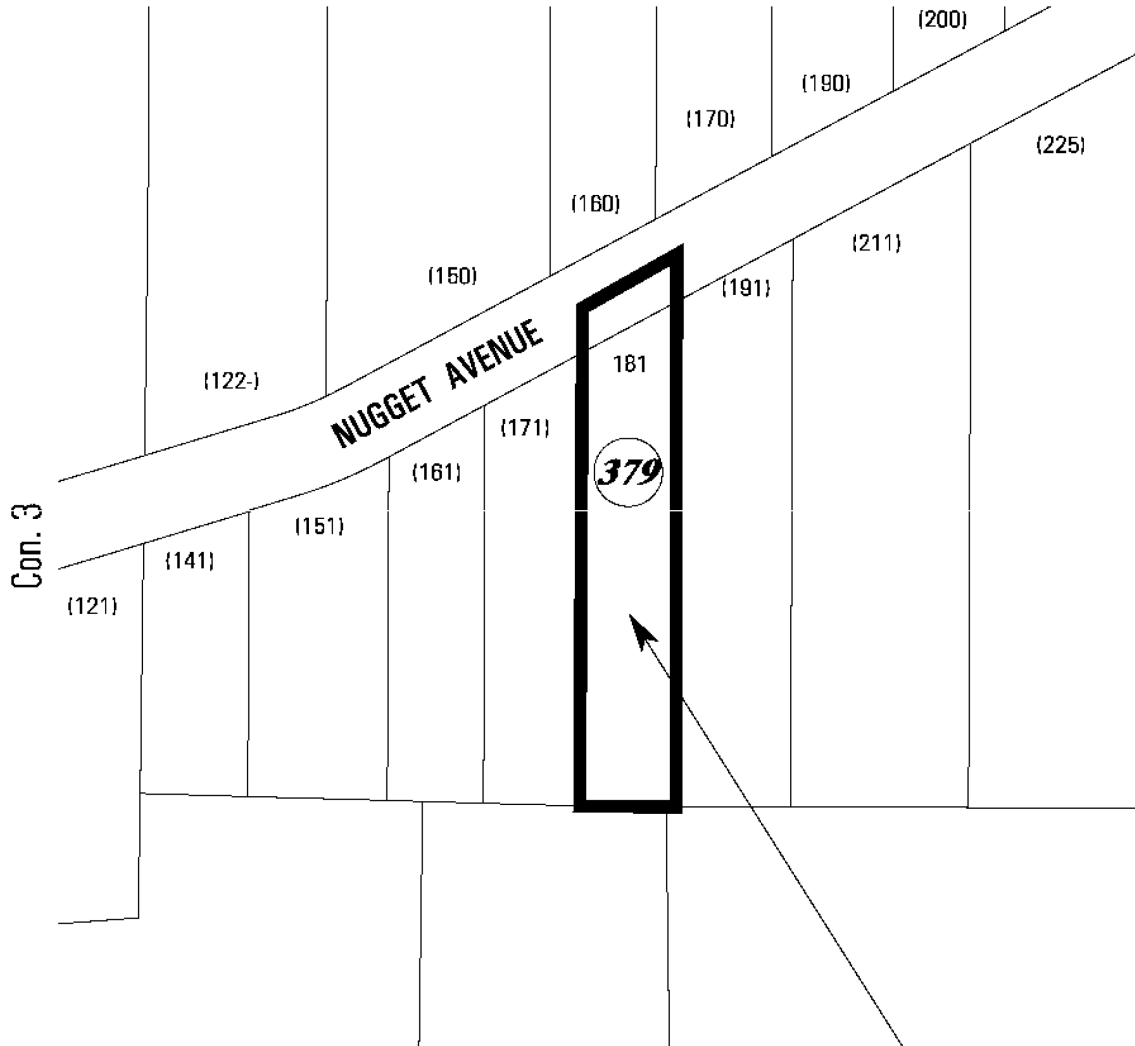
Area Affected By This By-law

Coronation Drive District By-law
Not to Scale
12/04/19



Schedule '24'

Lot 21



M, MG-867-913-991-1054-1645-1646-2060



Zoning By-Law Amendment

181 Nugget Avenue

File # 08 232406 ESC 41 OZ

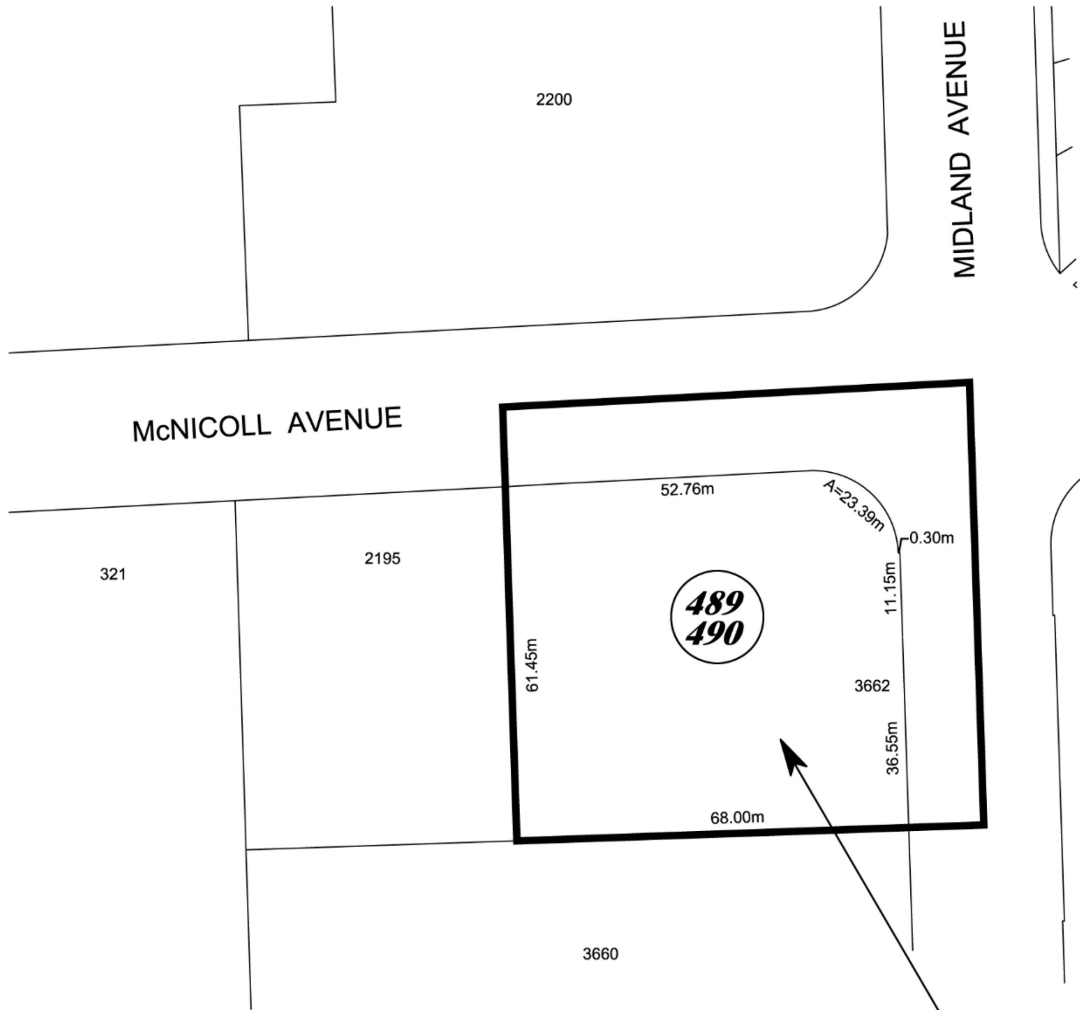


Area Affected By This By-Law

Marshalling Yard Employment District
Not to Scale
12/05/19



Schedule '25'



MDC-268-269-270-271-272-940-941-942-943-1017-
1018-1093-1094-2093-2094-2095-2096-2097-2098-2099

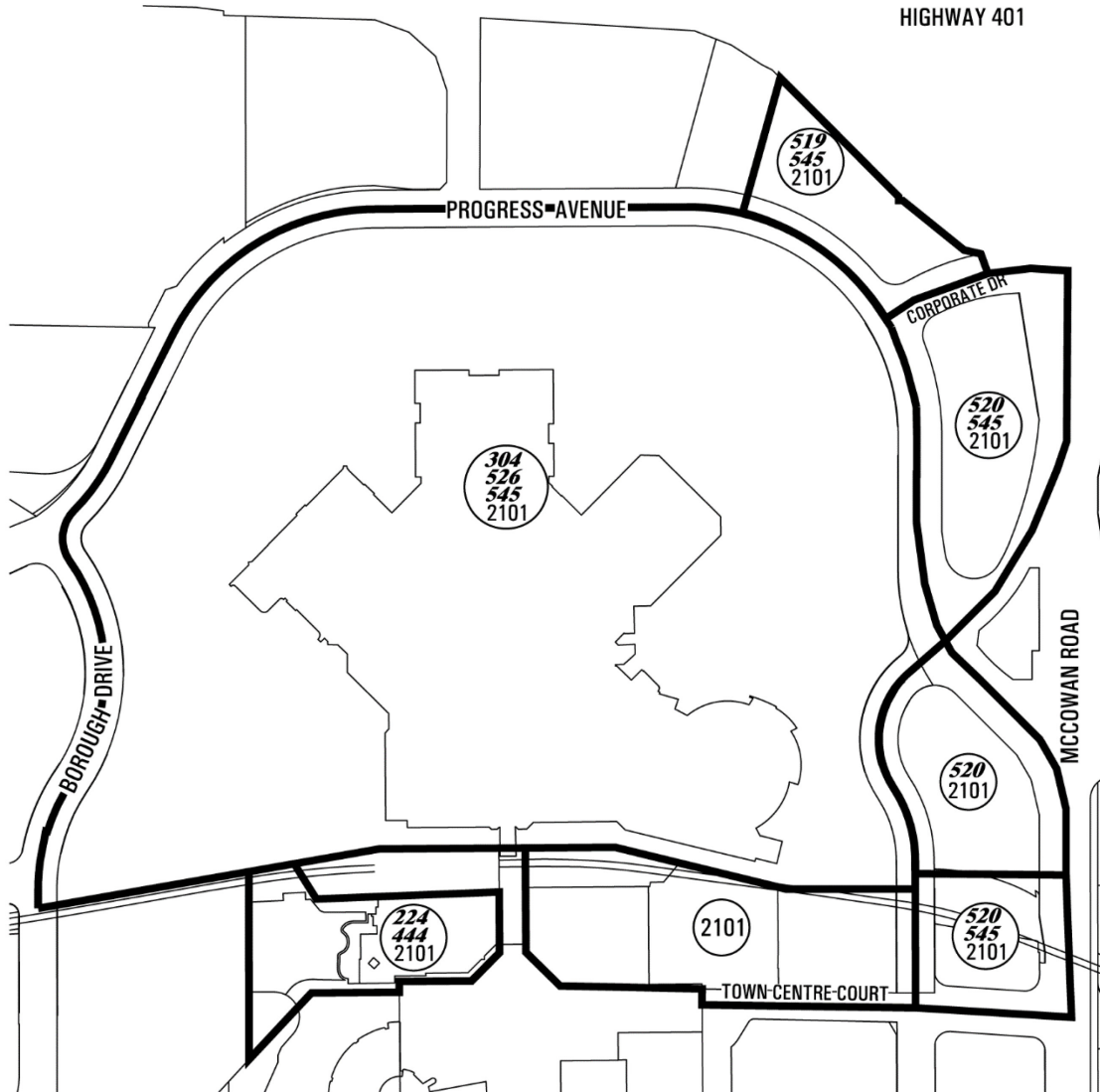
 **Toronto**
Zoning By-Law Amendment

3662 Midland Avenue
File # 16 211026 ESC 41 OZ

 Area Affected By This By-Law

Milliken Employment District Bylaw
Not to Scale
12/04/19


Schedule '26'



Exception 852

Toronto
Zoning By-law Amendment

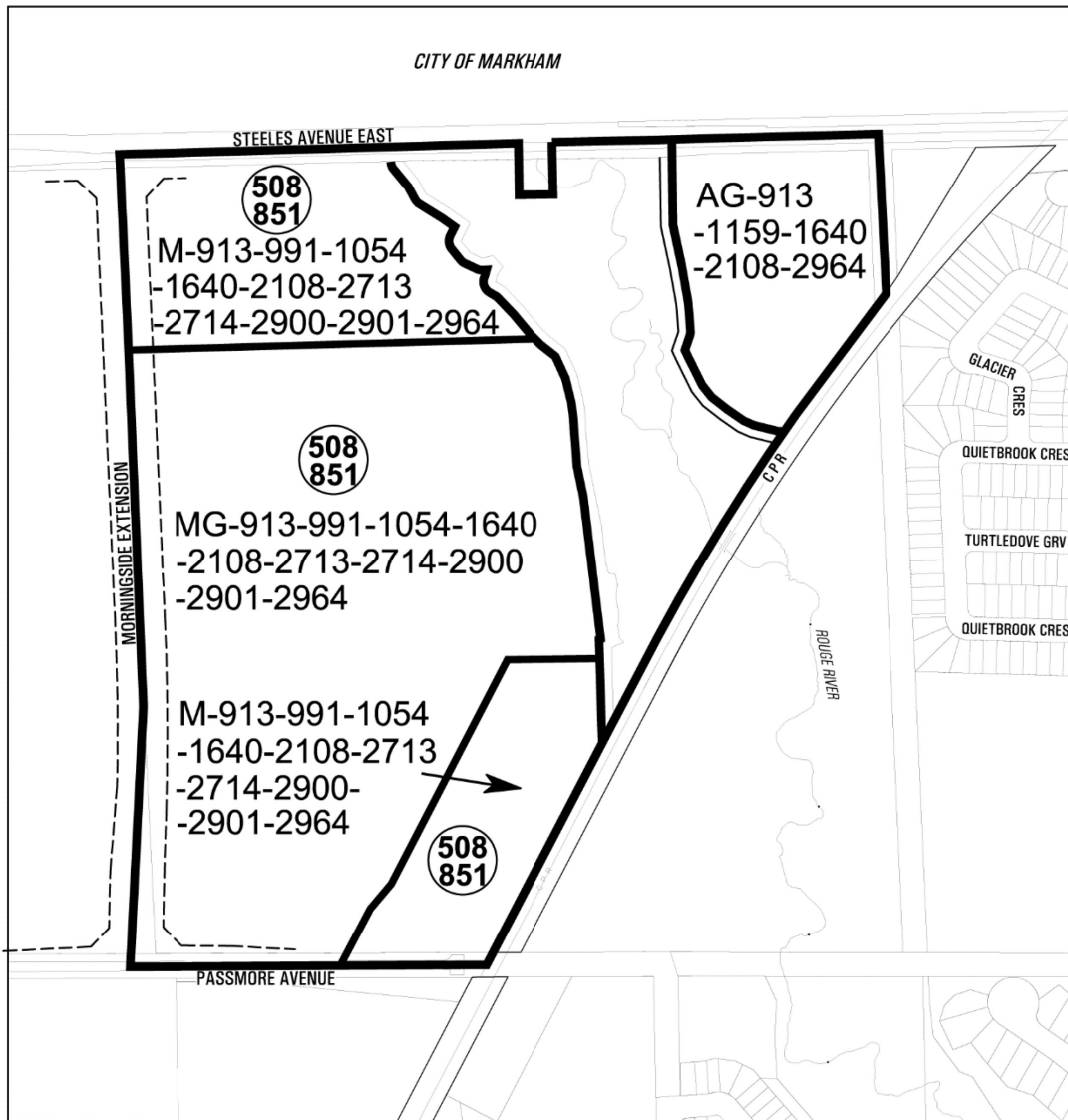
Multiple Addresses
File # 19 101239 ESC 20 0Z

 Area Affected By This By-Law

Progress Employment District By-law (West)
Not to Scale
12/05/19



Schedule '27'



Toronto
Zoning By-Law Amendment

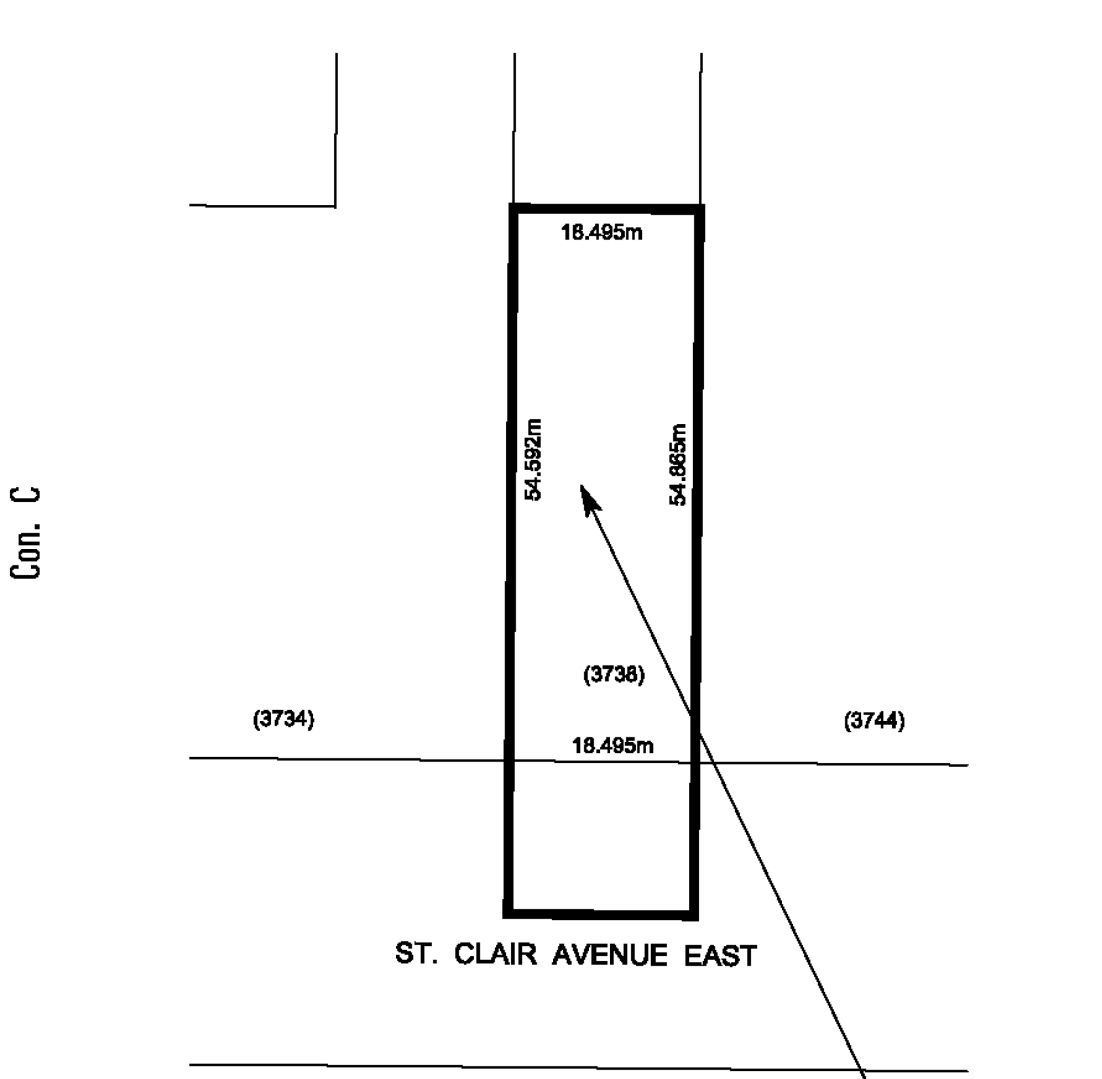
6351 Steeles Avenue East
 File # 12 114223 ESC 23 OZ

 Area Affected By This By-Law

Tapscott Employment District Bylaw
 Not to Scale
 12/04/19



Schedule 28
Lot 25



A-17-23-32-46-71-81-82-83-84-140

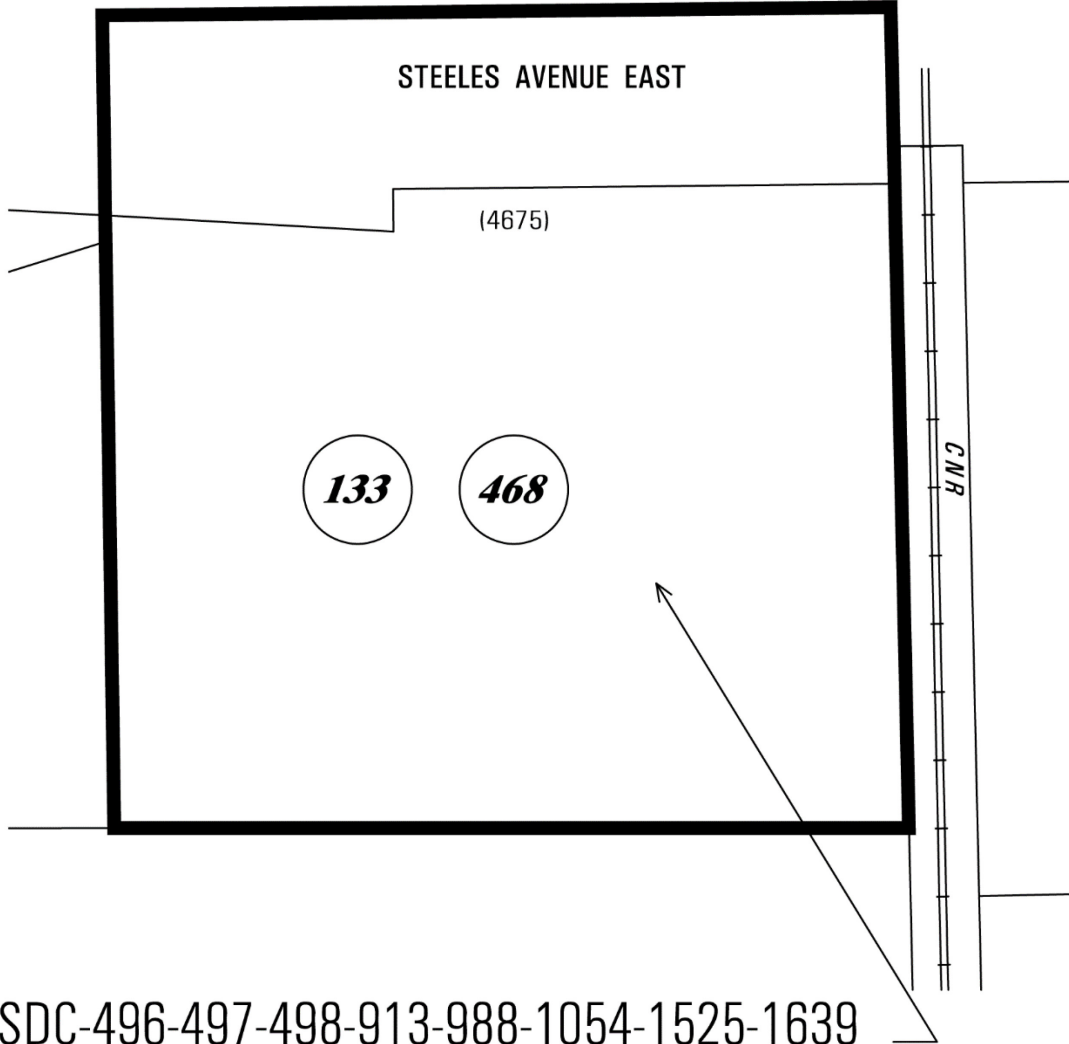
City of Toronto City Planning
Division
Zoning By-Law Amendment

3738 St. Clair Avenue East
File # 13 212910 EPS 00 TM

 Area Affected By This By-Law

Cliffcrest Community By-Law
Not to Scale
12/05/2019


Schedule '29'



SDC-496-497-498-913-988-1054-1525-1639
-1640-1850-2029-2380-2606-2607-2700