

Authority: North York Community Council Item NY6.2,  
as adopted by City of Toronto Council on June 18 and  
19, 2019

## CITY OF TORONTO

### BY-LAW 388-2020

**To amend Zoning By-law 569-2013, as amended, with respect to the lands municipally known in the year 2019 as 111 Wenderly Drive and 746-748 Marlee Avenue.**

Whereas Council of the City of Toronto has the authority to pursuant to Section 34 of the Planning Act, R.S.O. 1990, c. P. 13, as amended, to pass this By-law; and

Whereas Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the Planning Act;

The Council of the City of Toronto enacts:

1. The lands subject to this By-law are outlined by heavy black lines on Diagram 1 attached to this By-law.
2. The words highlighted in bold type in this By-law have the meaning provided in Zoning By-law 569-2013, Chapter 800 Definitions.
3. Zoning By-law 569-2013, as amended, is further amended by amending the zone label on the Zoning By-law Map in Section 990.10 respecting the lands outlined by heavy black lines to RT (f4.2; au100) (x262), as shown on Diagram 2 attached to this By-law.
4. Zoning By-law 569 -2013, as amended, is further amended by amending the Lot Coverage Overlay Map in Section 995.30.1 for the lands subject to this By-law, from a lot coverage label of 35 percent to 52 percent as shown on Diagram 4 attached to this By-law.
5. Zoning By-law 569-2013, as amended, is further amended by adding Article 900.5.10 Exception Number (262) so that it reads:

#### **Exception RT (262)**

The lands, or a portion thereof as noted below, are subject to the following Site Specific Provisions, Prevailing By-laws and Prevailing Sections.

- (A) None of the provisions of sections 10.5.30.20(2), 10.5.40.10(2)(4)(5), 10.5.40.60, 10.5.40.70(1), 10.5.50.10(1)(D), 10.5.50.10(3), 10.5.100.1(2)(B), 10.60.40.1(3), 10.60.40.70(1), 10.60.40.80(2), 200.5.1.10(3)(5), 200.5.10.1(1) and 200.15.10(1) will apply to prevent the erection or use of a **building** on the lands delineated by the heavy line on Diagram 1 of By-law 388-2020 and used for the uses permitted if the whole of the premises on those lands collectively comply with the following:

- (A) The **front lot line** is adjacent to Marlee Avenue;
- (B) The permitted maximum number of **dwelling units** is 10;
- (C) The height of any **building** or **structure** on the **lot** must not exceed the maximum height in metres specified by the numbers following the symbol HT as shown on Diagram 3 of By-law 388-2020, measured from a Canadian Geodetic Datum elevation of 178.58 metres;
- (D) Despite (C) above, the following **building** elements and **structures** are permitted to project above the maximum heights in metres as shown on Diagram 3 of By-law 388-2020, as follows:
  - (i) Mechanical Penthouse/Stair Enclosure to a maximum of 2.0 metres;
- (E) The required minimum **building setbacks** for all above ground portions of any **building** or **structure** are as shown in metres on Diagram 3 of By-law 388-2020;
- (F) Despite (E) above, the following **building** elements and **structures** are permitted to encroach into the required **building setbacks** shown on Diagram 3 of By-law 388-2020 to a maximum of 1.2 metres:
  - (i) Bay windows;
  - (ii) Architectural banding;
  - (iii) Canopies;
  - (iv) Stairs and Landings; and
  - (v) Other ornamental elements;
- (G) A 0.0 metre setback to corner roundings and road widenings for projections identified in clause (D) and (F) is permitted;
- (H) Despite regulation 10.5.50.10(1)(D), a minimum of 60 percent of the required **front yard landscaping** must be **soft landscaping**;
- (I) Despite regulation 200.5.10.1(1), a minimum of 2 **parking spaces** per **dwelling unit** must be provided;
- (J) Despite regulation 200.5.10.1(5), the required **parking spaces** for each **dwelling unit** may be provided as **tandem parking spaces**; and

(K) Despite regulation 200.5.10.1(1), no visitor **parking spaces** are required.

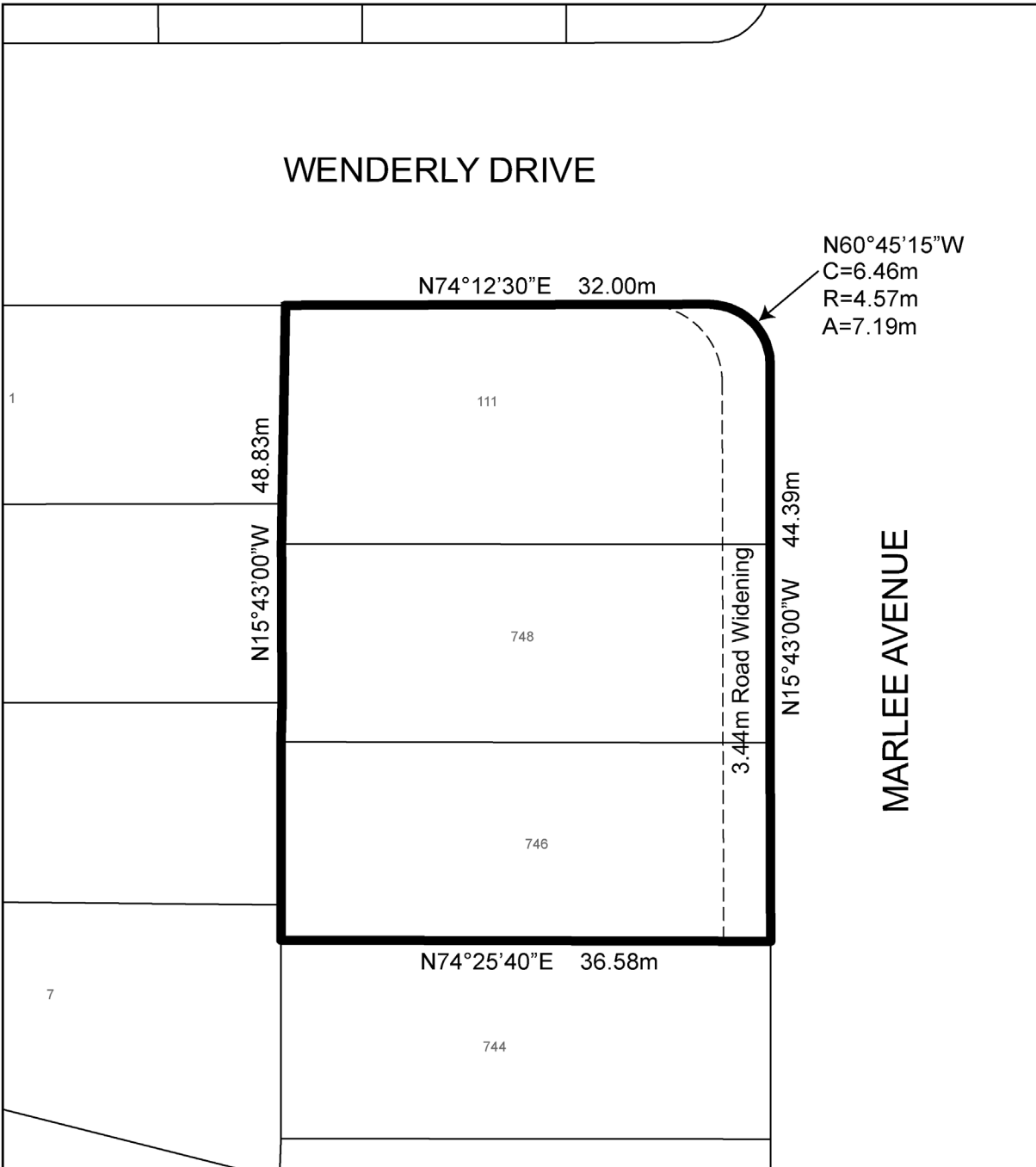
Prevailing By-laws and Prevailing Sections: (None Apply).

Enacted and passed on May 28, 2020.

Frances Nunziata,  
Speaker

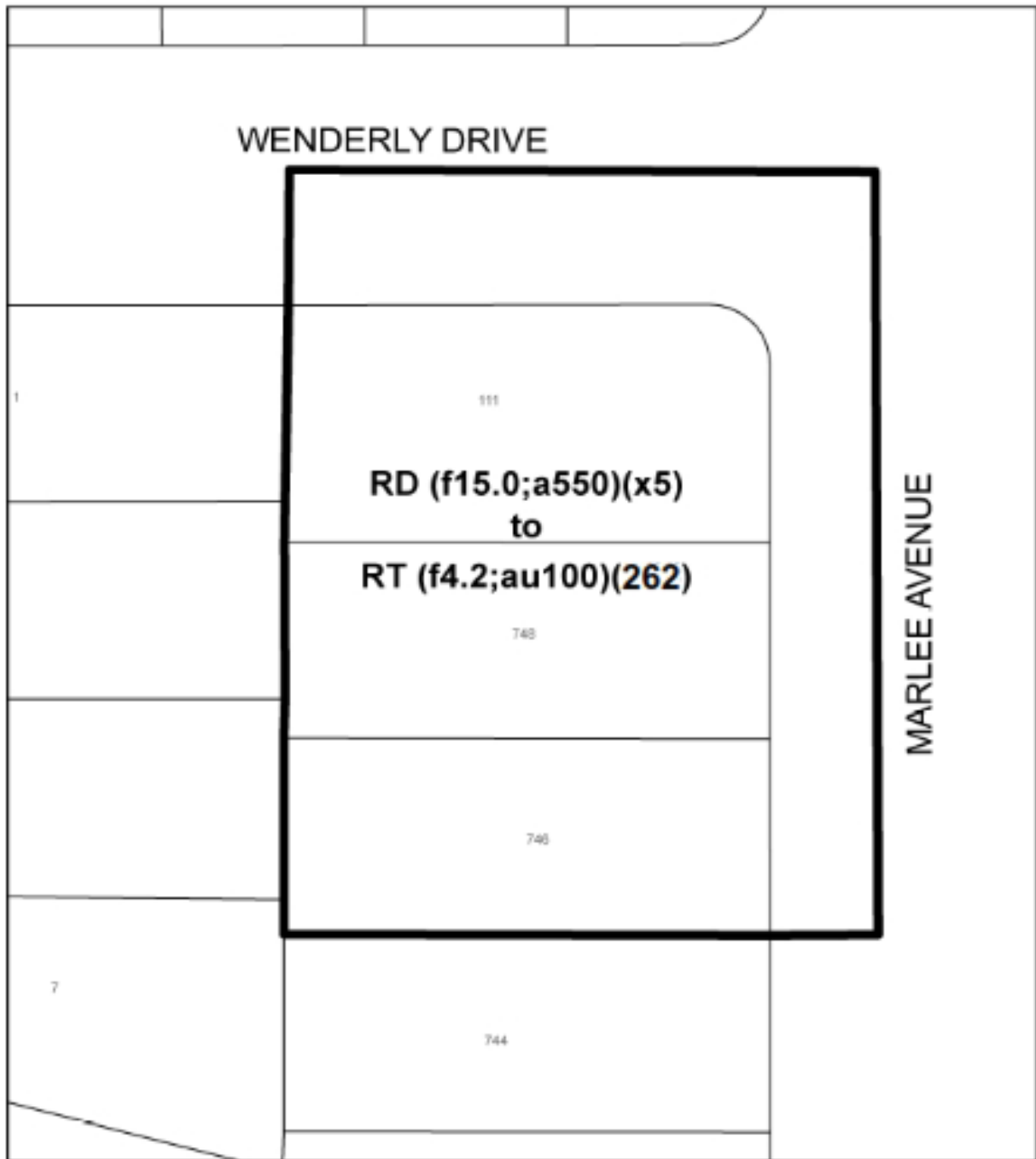
Ulli S. Watkiss,  
City Clerk

(Seal of the City)



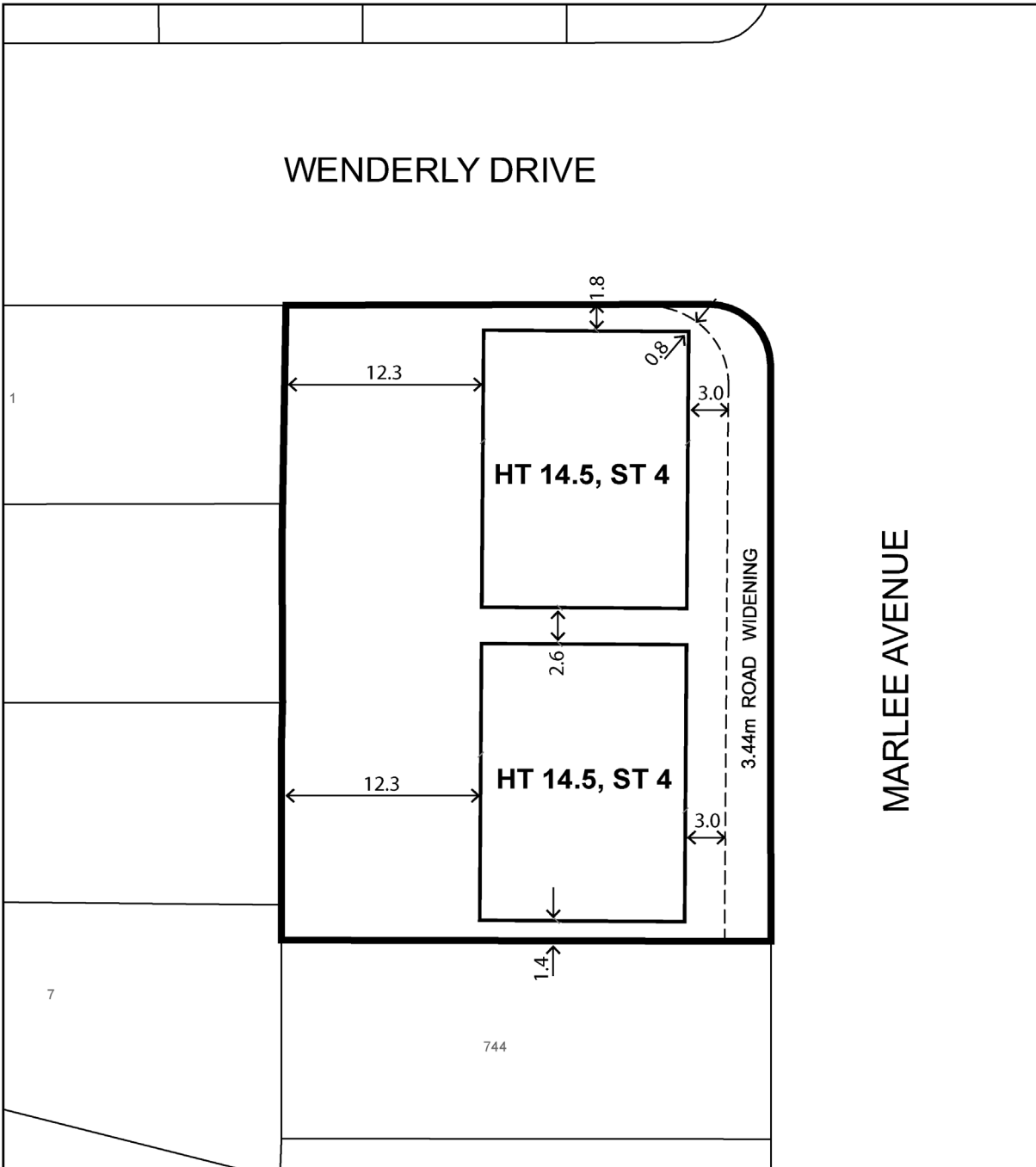
 **TORONTO**  
Diagram 1

**111 Wenderly Drive,  
746 and 748 Marlee Avenue**  
File # 15 190379 NNY 15 0Z



 **TORONTO**  
Diagram 2

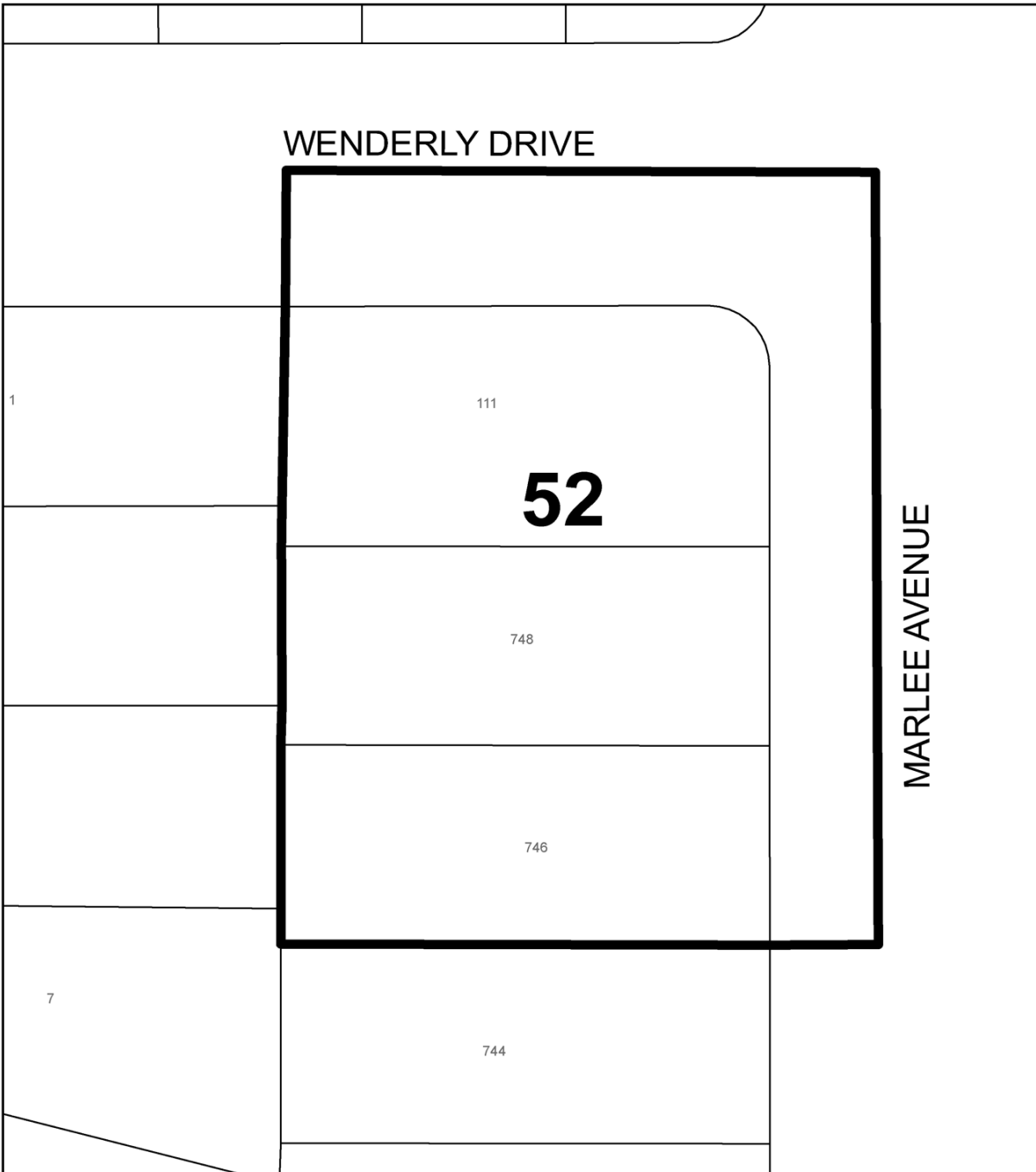
**111 Wenderly Drive,  
746 and 748 Marlee Avenue**  
File # 15 190379 NNY 15 02



 **TORONTO**  
Diagram 3

**111 Wenderly Drive,  
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Diagram 4

**111 Wenderly Drive,  
746 and 748 Marlee Avenue**  
File # 15 190379 NNY 15 OZ