

Authority: Ontario Municipal Board Orders issued on February 8, 2018 and February 28, 2018, in Board File PL150753

CITY OF TORONTO

BY-LAW 417-2020(OMB)

To amend Zoning By-law 569-2013, as amended, with respect to the lands municipally known in the year 2018 as 45 Oaklands Avenue and part of 131 Farnham Avenue.

Whereas the Ontario Municipal Board, by its Orders issued on February 8, 2018 and February 28, 2018, in Board File PL150753 approved amendments to the City of Toronto Zoning By-law 569-2013, as amended, with respect to the lands;

Pursuant to the Order of the Ontario Municipal Board, By-law 569-2013 is further amended as follows:

1. The lands subject to this By-law are outlined by heavy black lines on Diagram 1 attached to this By-law.
2. The words highlighted in bold type in this By-law have the meaning provided in Zoning By-law 569-2013, Chapter 800 Definitions.
3. Zoning By-law 569-2013, as amended, is further amended by amending the zone label on the Zoning By-law Map in Section 990.10 respecting the lands outlined by heavy black lines to R (d 1.5) (x44), as shown on Diagram 2 attached to this By-law.
4. Zoning By-law 569-2013, as amended, is further amended by adding Article 900.2.10 Exception Number 44 so that it reads:

(44) Exception R (x44)

The lands, or a portion thereof as noted below, are subject to the following Site Specific Provisions, Prevailing By-laws and Prevailing Sections.

Site Specific Provisions:

- (A) On 45 Oaklands Avenue and part of 131 Farnham Avenue, as outlined by heavy black lines on Diagram 1 of By-law 417-2020(OMB), nothing will prevent the erection or use of **buildings, structures**, additions or enlargements permitted in compliance with (B) to (Z) below;
- (B) A maximum of 20 **dwelling units** in a **townhouse buildings** are permitted;
- (C) Despite regulations 5.10.40.70(1) and 10.5.40.70(1), and Clause 10.10.40.70, minimum required **building setbacks** are as shown on Diagram 3 of By-law 417-2020(OMB);

- (D) Despite regulation 10.5.40.10(1), the height of a **building** shown as Block 1 on Diagram 3 of By-law 417-2020(OMB) is the distance between the Canadian Geodetic Datum elevation of 130.39 metres and the elevation of the highest point of the **building**;
- (E) Despite regulation 10.5.40.10(1), the height of a **building** shown as Block 2 on Diagram 3 of By-law 417-2020(OMB) is the distance between the Canadian Geodetic Datum elevation of 128.25 metres and the elevation of the highest point of the **building**;
- (F) Despite regulation 10.5.40.10(1), the height of **buildings** shown as Block 3 and 4 on Diagram 3 of By-law 417-2020(OMB) is the distance between the Canadian Geodetic Datum elevation of 126.22 metres and the elevation of the highest point of the **buildings**;
- (G) Despite regulation 10.10.40.10(1), no portion of any **building** may exceed the height in metres specified by the numbers following the symbol HT on Diagram 3 of By-law 417-2020(OMB);
- (H) Despite (G) above, and regulation 10.5.40.10(2):
- (i) the following additional **structures** on the roof of the **building** may exceed the permitted height by 1.5 metres: railings, parapets, balustrades, window sills, guardrails, terraces, platforms, elevated decks, wheelchair ramps, retaining walls, outdoor furniture, skylights, planters, and outdoor fireplace;
 - (ii) the following additional **structures** on the roof of the **building** may exceed the permitted height by 1.8 metres: partition dividing outdoor recreational areas, fences, privacy screens, architectural screens, garbage screen walls, transformer vaults, lightning rods, safety or wind protection purposes, pillars and gates; and
 - (iii) the following additional **structures** on the roof of the **building** may exceed the permitted height by 3.0 metres: eaves, canopies, awnings, cornices, lighting fixtures, architectural features, trellises, window washing equipment, stacks, exhaust flues, ornamental elements, architectural elements, landscape elements, roof access hatches, public art features, and elements or structures on the roof of the building used for outside or open air recreation;
- (I) Despite clause 10.5.50.10, a minimum of 1,500 square metres of the **lot** must be for **landscaping**, and a minimum of 1,000 square metres of the **landscaping** must be for **soft landscaping**;
- (J) Despite regulation 10.10.20.10(1), an office for the purpose of selling **dwelling units** in the development is permitted;

- (K) Despite regulation 10.10.40.40(1), the maximum permitted **gross floor area** is 7,000 square metres;
- (L) Despite regulation 10.5.40.40(3), the **gross floor area** of **residential buildings** on the **lot** may be reduced by:
 - (i) **parking spaces, bicycle parking spaces and drive aisles;**
 - (ii) storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the **basement;**
 - (iii) elevator shafts;
 - (iv) garbage shafts;
 - (v) mechanical penthouse; and
 - (vi) exit stairwells in the **building;**
- (M) Despite regulation 200.5.1.10(2), the required minimum **parking space** width is 2.6 metres;
- (N) Despite clauses 200.5.10.1 and 200.20.10, **parking spaces** must be provided as follows:
 - (i) 19 **parking spaces** for residents;
 - (ii) 2 **parking spaces** residential visitors; and
 - (iii) 1 **parking space** for the existing heritage building as shown on Diagram 3 of By-law 417-2020(OMB);
- (O) Despite regulation 10.5.80.10(6), 3 **parking spaces** may be located in a **side yard** that abuts a **street** for residential visitors and the existing heritage **building** as shown on Diagram 3 of By-law 417-2020(OMB);
- (P) Despite regulation 200.10.1 (1), **driveways** or **drive aisles** that provide **vehicle** access to a visitor **parking space** do not have to be clearly identified;
- (Q) Despite regulation 200.15.10 (1), no accessible **parking spaces** are required;
- (R) Despite regulation 230.5.10.1(1), no **bicycle parking spaces** are required;
- (S) Regulation 10.5.40.10(4), with respect horizontal limits on elements for functional operation of a **building**, does not apply;
- (T) Regulation 10.10.40.1(2), with respect to number of **residential buildings** on a **lot**, does not apply;

- (U) Regulation 10.10.40.1(4), with respect to minimum width of a **dwelling unit**, does not apply;
- (V) Regulation 10.10.40.1(5), with respect to maximum height of specific pairs of **main walls**, does not apply;
- (W) Regulation 10.10.40.10(2), with respect to **building** orientation to a **street**, does not apply;
- (X) Regulation 10.10.40.30(1) and clause 10.5.40.30, with respect to **building depth**, do not apply;
- (Y) Clause 10.5.40.60, with respect to permitted encroachments, does not apply; and
- (Z) Clause 10.10.40.80, with respect to separation between **main walls**, does not apply.

Prevailing By-laws and Prevailing Sections:

- (A) Section 12(2) 262 of former City of Toronto By-law 438-86

Pursuant to Ontario Municipal Board Orders issued on February 8, 2018 and February 28, 2018, in Board File PL150753.

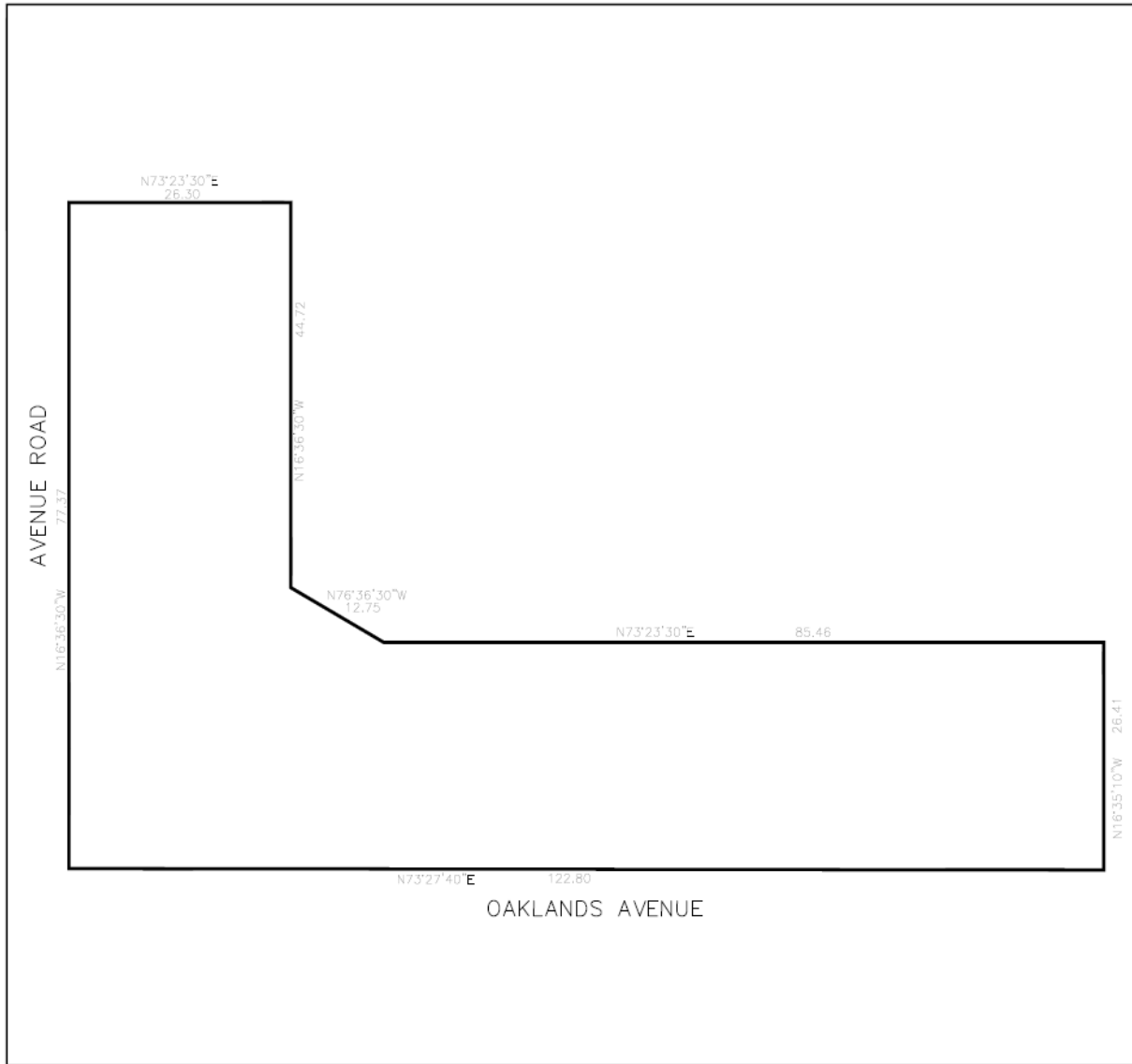


Diagram 1

File # 14 263631 STE 220Z

Survey information supplied by applicant. All dimensions are in metres



Not to Scale

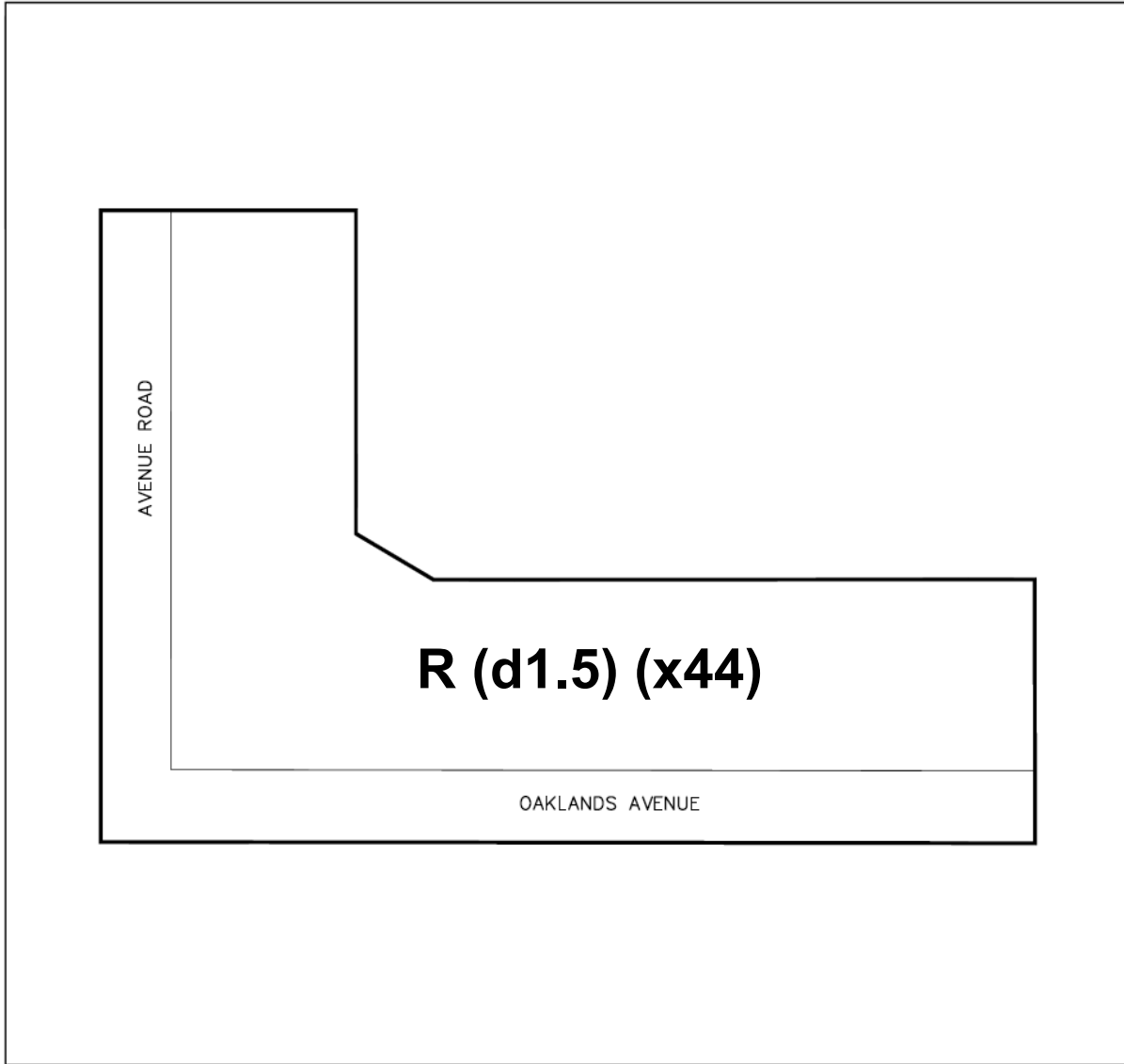


Diagram 2

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Survey information supplied by applicant. All dimensions are in metres



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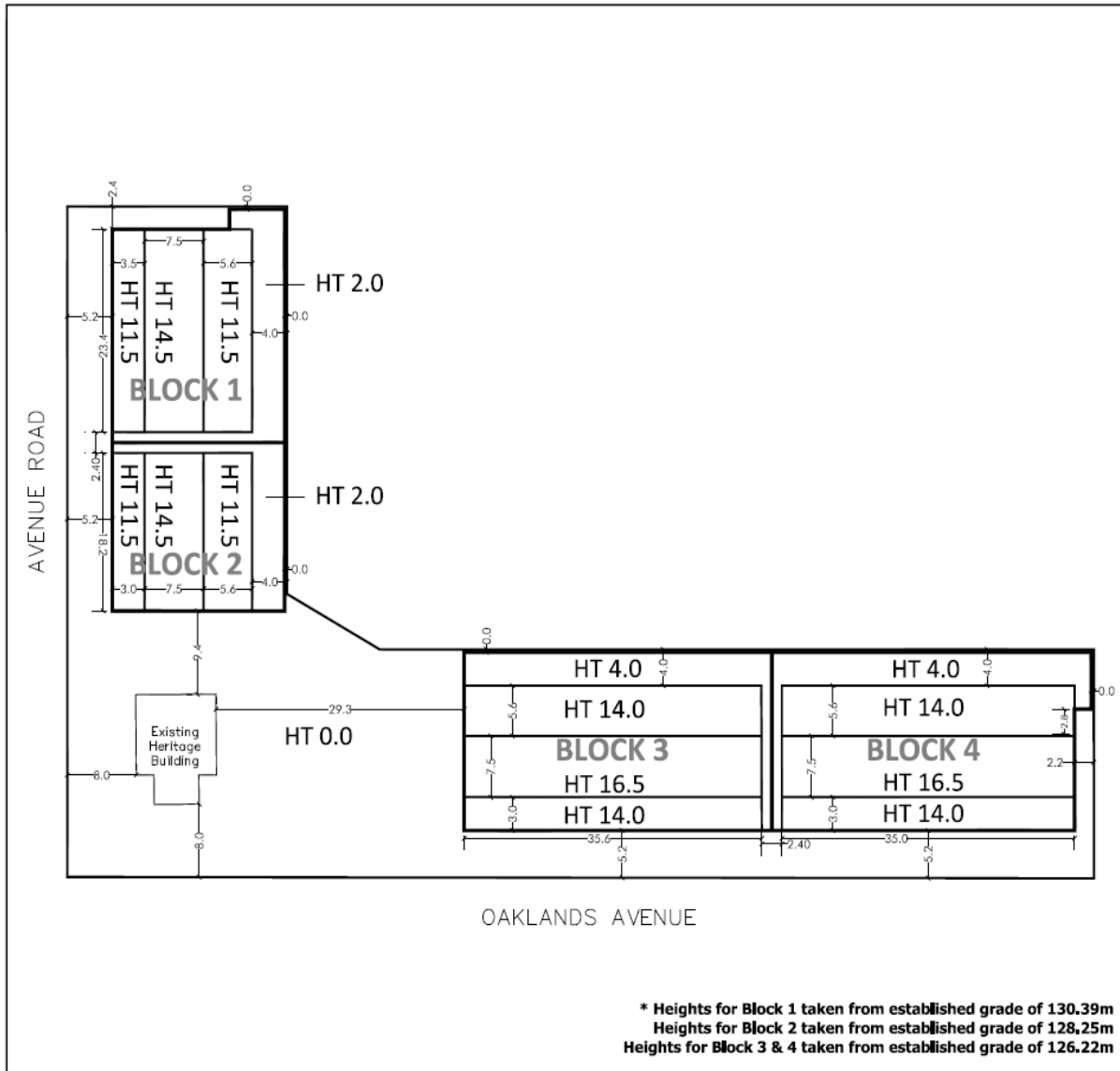


Diagram 3

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