

Authority: Toronto and East York Community Council  
Item TE14.4, as adopted by City of Toronto Council on  
May 28, 2020

**CITY OF TORONTO**

**BY-LAW 654-2020**

**To adopt Amendment 495 to the Official Plan for the City of Toronto respecting the  
Davenport Village Secondary Plan.**

Whereas authority is given to Council under the Planning Act, R.S.O. 1990, c. P.13, as amended,  
to pass this By-law;

Whereas Council of the City of Toronto has provided adequate information to the public and has  
held at least one public meeting in accordance with the Planning Act;

The Council of the City of Toronto enacts:

1. The attached Amendment 495 to the Official Plan is hereby adopted pursuant to  
the Planning Act, as amended.

Enacted and passed on July 29, 2020.

Frances Nunziata,  
Speaker

Ulli S. Watkiss,  
City Clerk

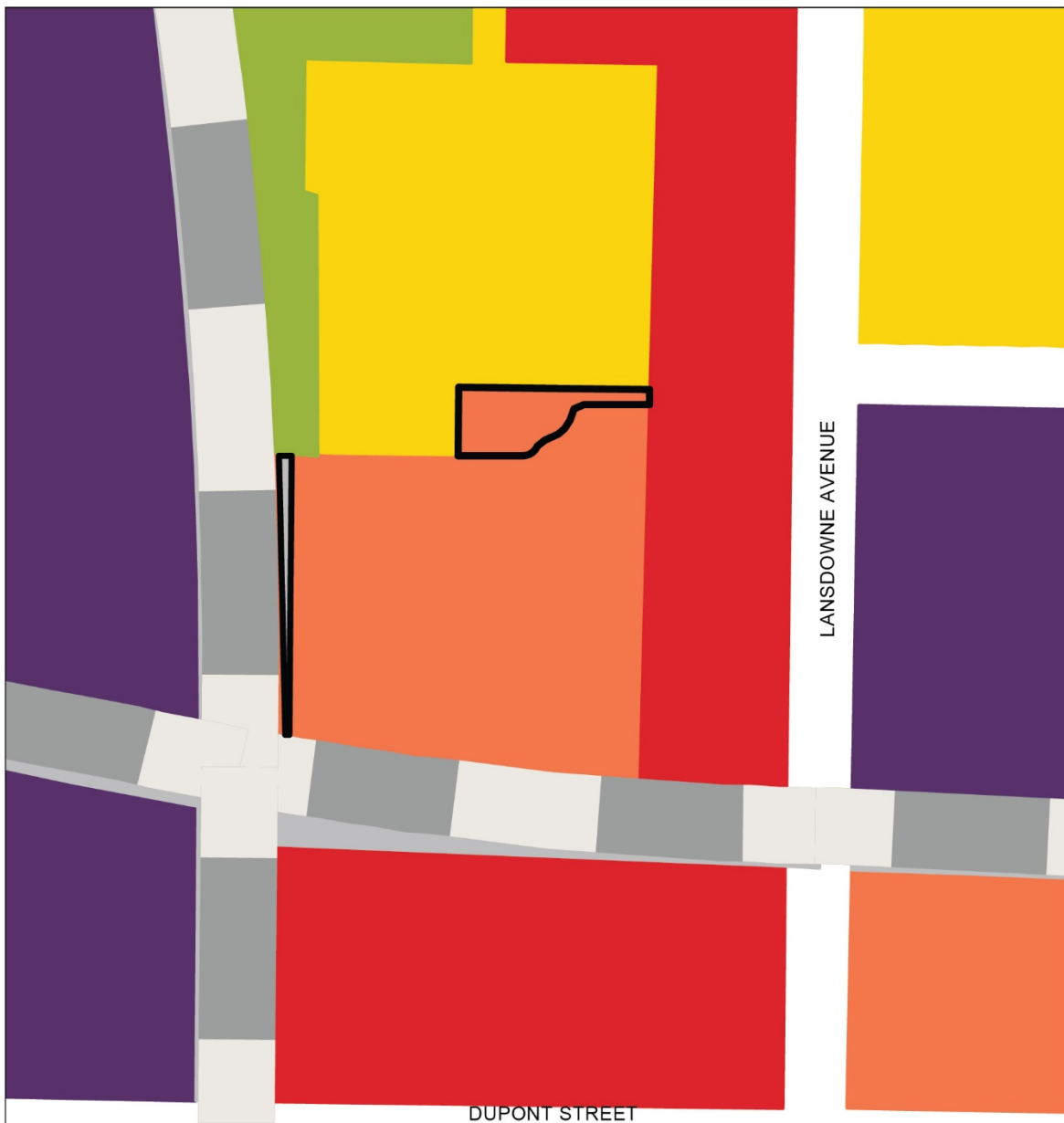
(Seal of the City)

**AMENDMENT 495 TO THE OFFICIAL PLAN  
LANDS LOCATED WITHIN THE DAVENPORT VILLAGE SECONDARY PLAN**

The Official Plan of the City of Toronto is amended as follows:

1. Map 17, Land Use Plan, is amended by re-designating lands:
  - a) identified as PIN 213250433 from *Apartment Neighbourhoods* to *Utility Corridors*; and
  - b) municipally known as 900 and 980 Lansdowne Avenue from *Neighbourhoods* to *Apartment Neighbourhoods* as shown on the Schedule A1.
2. Map 35, Urban Structure, is amended by deleting the lands identified as PIN 213250433 shown on Schedule A2 from the boundary of the Davenport Village Secondary Plan.
3. Chapter 6, Section 27, Davenport Village Secondary Plan is amended as follows:
  - a) Replace the first sentence of the second paragraph under Section "VISION FOR THE DAVENPORT VILLAGE SECONDARY PLAN " with the following sentence:

"The Davenport Village Secondary Plan will be developed in phases as an extension to the residential neighbourhood to the east of the site, and may contain up to 2,245 dwelling units, subject to the policies of this Secondary Plan."
  - b) Delete the words ", and issuance of Notice of Approval Conditions for Site Plan Control" in Section 12.6 iii.
  - c) Revise the boundaries of Maps 27-1 and 27-2, attached as Schedules A3 and A4, by removing lands identified as PIN 213250433 shown on Schedule A2 from the Davenport Village Secondary Plan boundary, and adding them to the CN NEWMARKET SUBDIVISION.
  - d) Revise the Phase boundaries in Map 27-2, as shown on Schedule A4, to revise the extent of Phases 4, 5, 6 and 7.

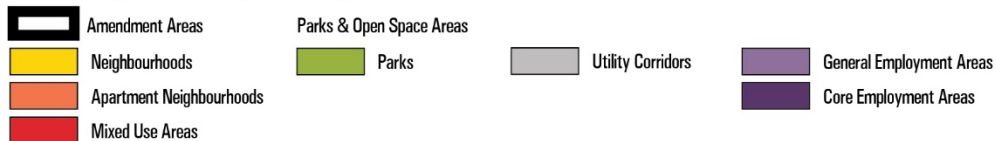


## Schedule A1 - Official Plan Amendment No.495

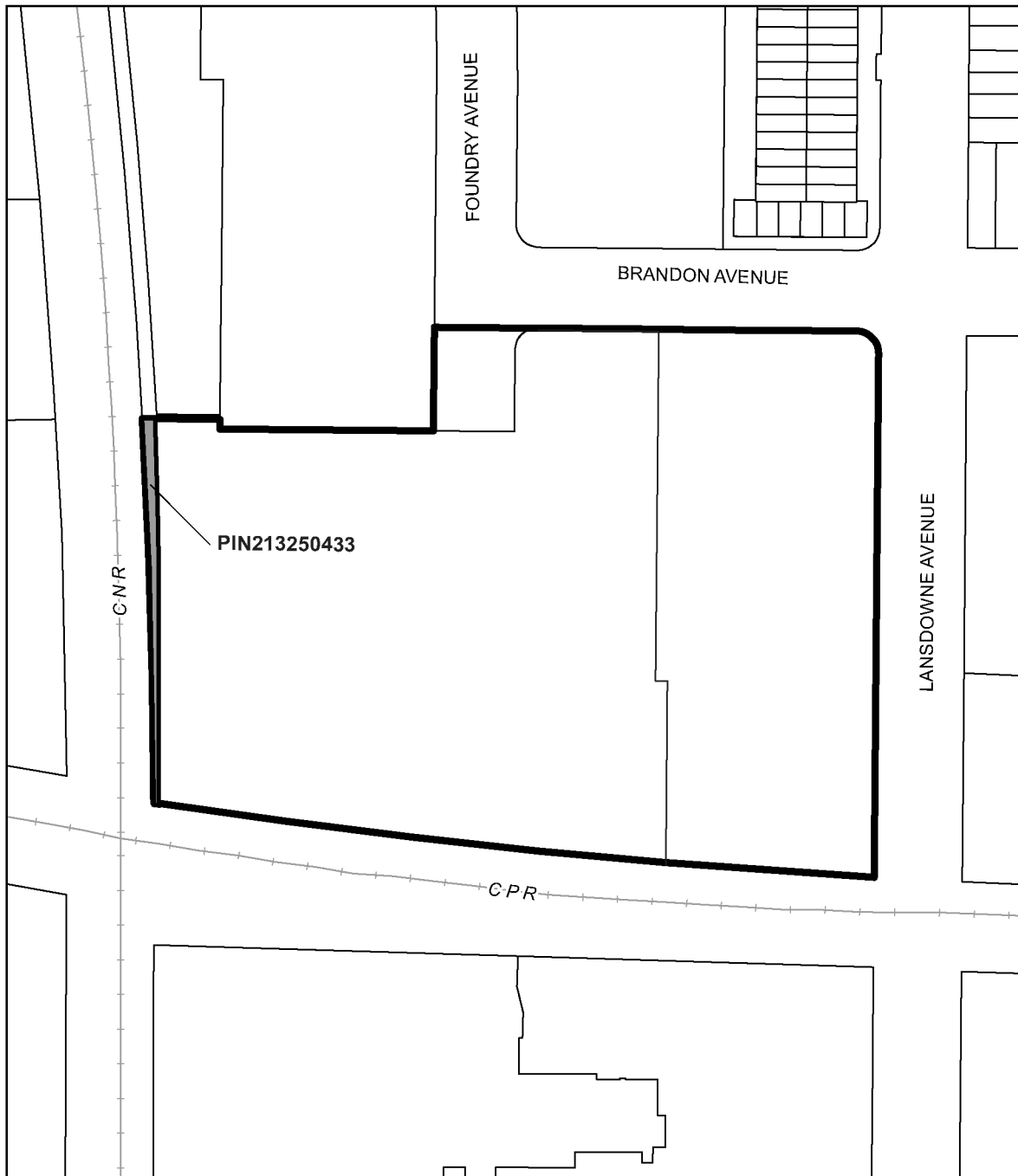
Revisions to Land Use Map 17 to Redesignate lands from Apartment Neighbourhoods to Utility Corridors and Lands from Neighbourhoods to Apartment Neighbourhoods

900 and 980 Lansdowne Avenue  
and PIN213250433

File # 17 185378 WET 17 02



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02/06/2020



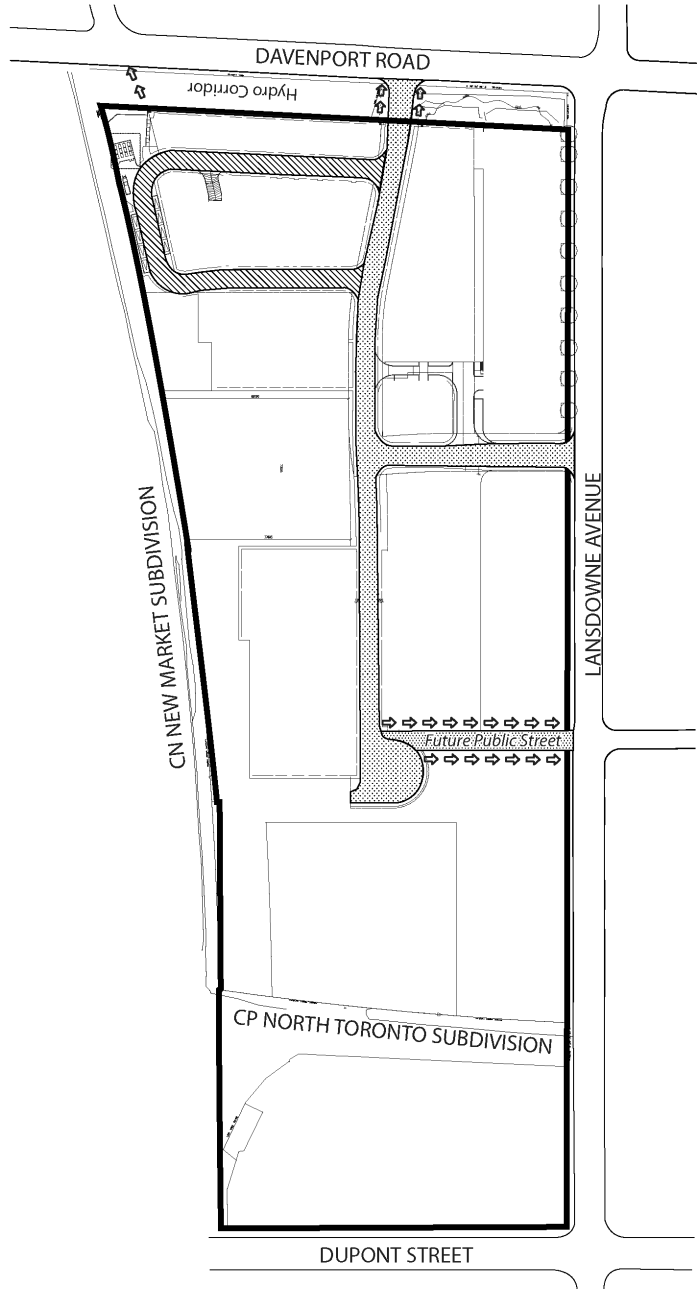
## Schedule A2 - Official Plan Amendment No.495

Location of PIN213250433 lands

File # 17 185378 WET 17 02



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02/19/2020



### Schedule A3 - Official Plan Amendment No.495

Revisions to Davenport Village Secondary Plan Map 27-1, Streets and Blocks and Pedestrian Connections to remove lands identified as PIN213250433

File # 17 185378 17 WET 02

Secondary Plan Boundary

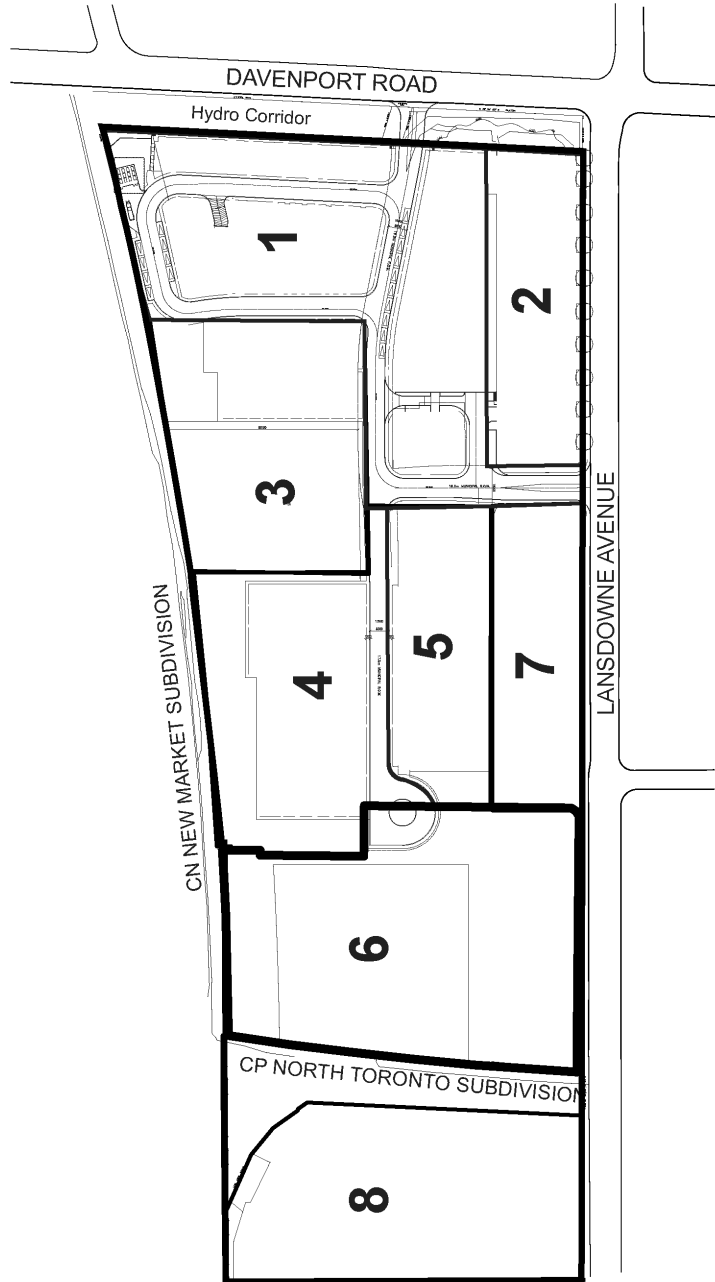
Public Street

Private Street

Pedestrian Connection



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02/04/2020



## Schedule A4 - Official Plan Amendment No.495

Revisions to Davenport Village Secondary Plan Map 27-2, Phasing Plan to remove lands identified as PIN213250433 and to revise Phase boundaries

File # 17 185378 17 WET 02

Not to Scale  
02/04/2020