

Authority: Ontario Land Tribunal Decision issued on June 7, 2022 and Order issued August 12, 2022 in Case OLT-21-001387

CITY OF TORONTO

BY-LAW 1167-2022(OLT)

To adopt Amendment 532 to the Official Plan for the City of Toronto respecting the lands known municipally in the year 2021 as 2810, 2812, and 2814 Bayview Avenue.

Whereas the Ontario Land Tribunal has approved amendments in a Decision and Order dated August 12, 2022 in Case OLT-21-001387 to the City of Toronto Official Plan with respect to the lands known municipally as 2810, 2812, and 2814 Bayview Avenue;

The Ontario Land Tribunal approves as follows:

- 1.** The attached Amendment 532 to the Official Plan is hereby approved pursuant to the Planning Act, as amended.

Pursuant to Ontario Land Tribunal Decision issued on June 7, 2022 and Order issued August 12, 2022 in Case OLT-21-001387.

**AMENDMENT 532 TO THE OFFICIAL PLAN
LANDS MUNICIPALLY KNOWN IN THE YEAR 2021 AS 2810, 2812, AND 2814
BAYVIEW AVENUE**

The following text and maps constitute Amendment 532 to the City of Toronto Official Plan:

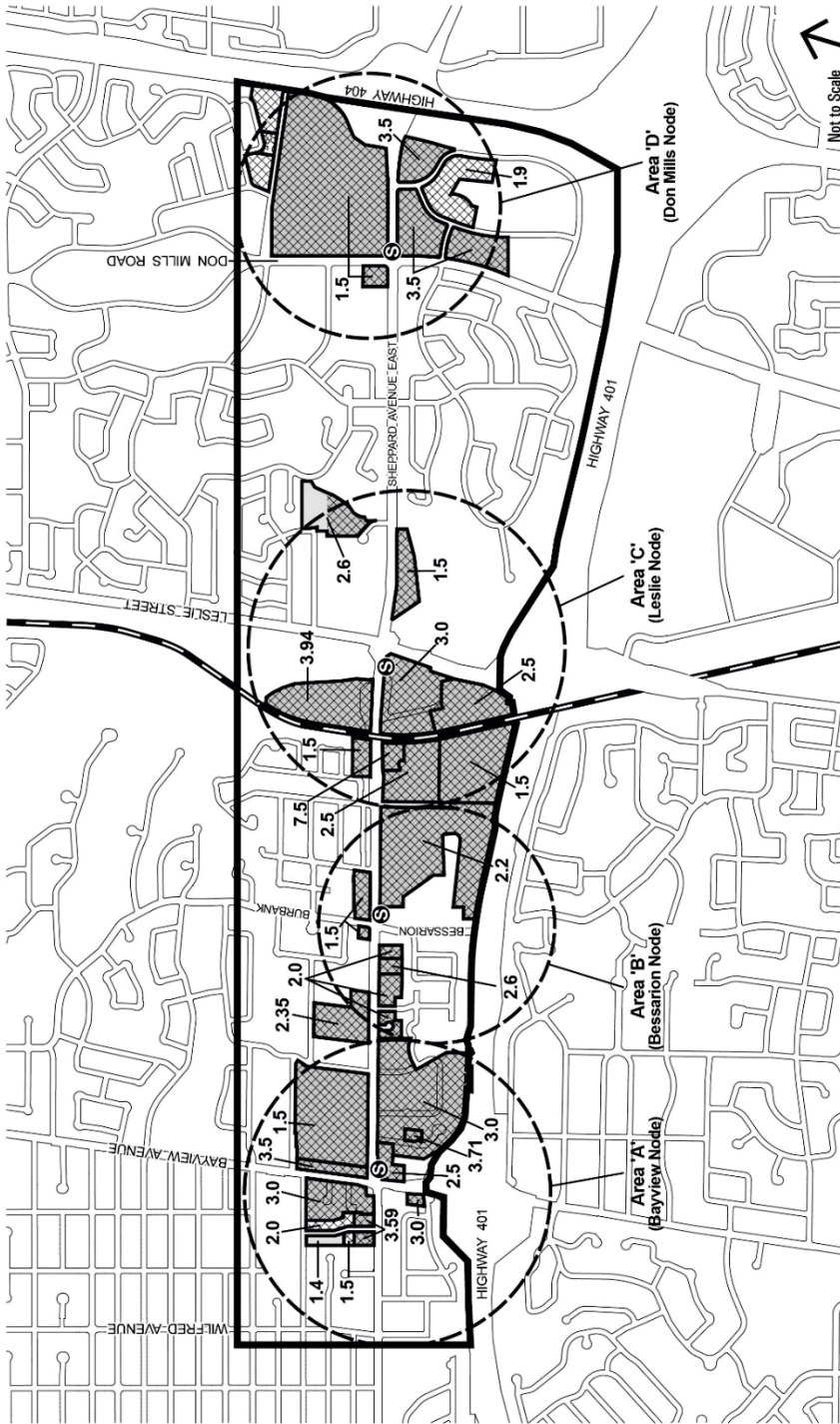
The Official Plan of the City of Toronto is amended as follows:

1. Chapter 7, Site and Area Specific Policies, is amended by deleting the provisions of Site and Area Specific Policy Number 80(d) (Southwest of Sheppard Avenue East and Bayview Avenue) with respect to the properties located at 2810, 2812, and 2814 Bayview Avenue.
2. Chapter 6, Section 9 (Sheppard East Subway Corridor Secondary Plan) is amended with respect to the lands municipally known as 2810, 2812, and 2814 Bayview Avenue, by adding the following new Specific Development Policy to Section 4.2.A for the Bayview Node:

4.2.A.5 2810, 2812, and 2814 Bayview Avenue

 - a) A maximum density of 3.0 times the lot area is permitted.
 - b) A maximum building height of 7 storeys (25.0 metres not including mechanical penthouse above the Canadian Geodetic Datum of 176.43) is permitted.
3. Map 9-2, Key Development Areas of Chapter 6, Section 9 (Sheppard East Subway Corridor Secondary Plan) is amended by adding the lands municipally known as 2810, 2812, and 2814 Bayview Avenue to the Mixed Use Areas designation and by adding a density notation of 3.0, as shown on the attached Schedule 1.
4. Map 9-3, Specific Development Policies of Chapter 6, Section 9 (Sheppard East Subway Corridor Secondary Plan) is amended by adding Specific Development Policy Area 4.2.A.5 for the lands municipally known as 2810, 2812, and 2814 Bayview Avenue as shown on the attached Schedule 2.

Schedule 1



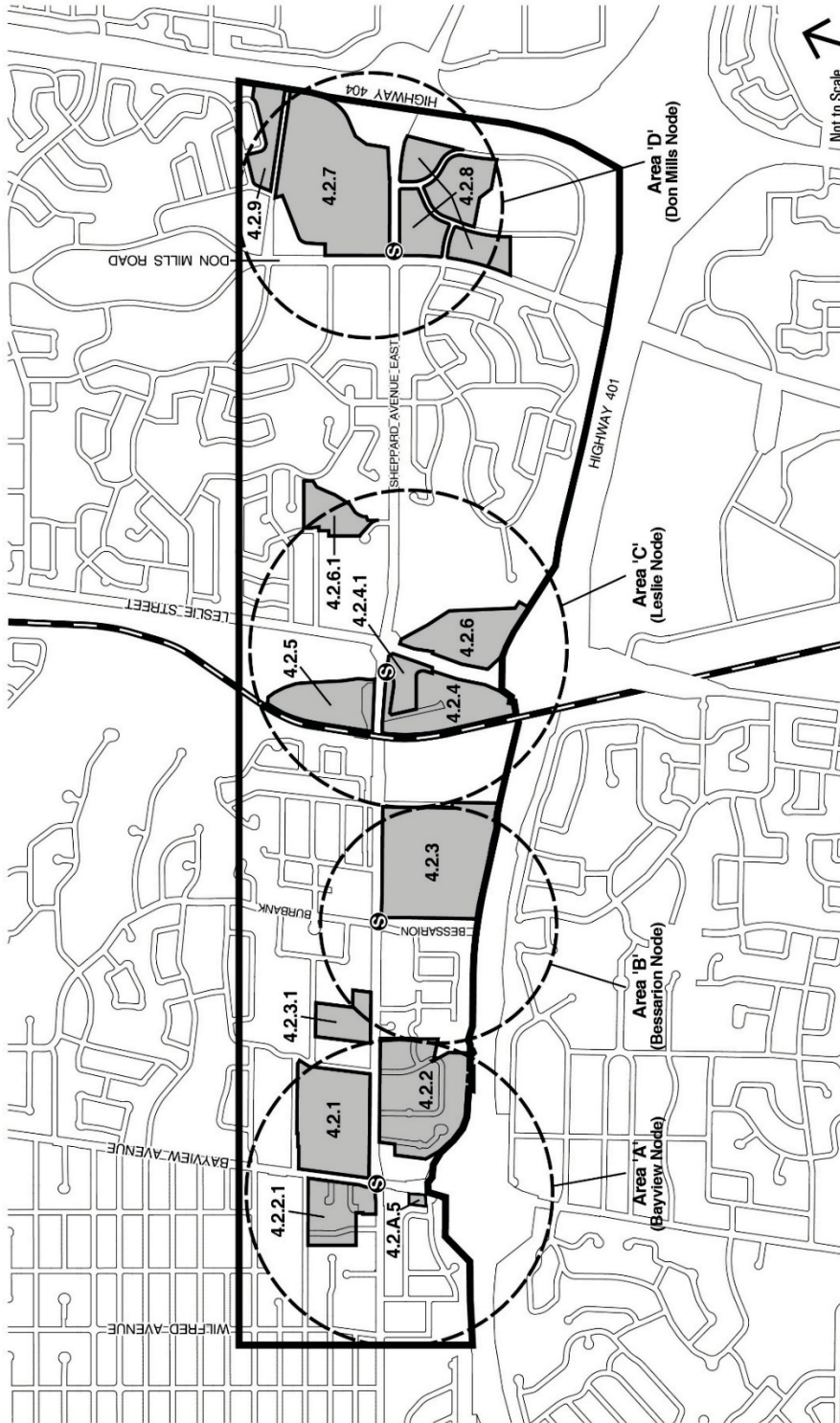
Sheppard East Subway Corridor Secondary Plan
MAP 9-2 Key Development Areas

- Secondary Plan Boundary
- Neighbourhoods
- Apartment Neighbourhoods
- Mixed Use Areas
- Parks & Open Space Areas
- Parks
- Density
- Subway Station

Not to Scale

November 2015




Schedule 2



Official Plan Amendment #532

Sheppard East Subway Corridor Secondary Plan

MAP 9-3 Specific Development Policies

-  Secondary Plan Boundary
-  Specific Development Policy Areas
-  Subway Station

November 2015