

Authority: Ontario Land Tribunal Decision issued on June 10, 2022 and Order issued on August 16, 2022 (effective August 13, 2022) in Tribunal File OLT-22-002332 (Legacy File PL210087)

CITY OF TORONTO

BY-LAW 1185-2022(OLT)

To adopt Amendment 620 to the Official Plan for the City of Toronto respecting the lands known as 3100-3200 Bloor Street West and 4-8 Montgomery Road.

Whereas the Ontario Land Tribunal, in its Decision issued on June 10, 2022 and its Order issued on August 16, 2022 (effective August 13, 2022) on File OLT-22-002332 (Legacy File PL210087), in hearing an appeal under Section 22(7) of the Planning Act, R.S.O. 1990, c. P.13, as amended, ordered the amendment of Official Plan for the City of Toronto, as amended, with respect to the lands municipally known in the year 2021 as 3100-3200 Bloor Street West and 4-8 Montgomery Road; and

Whereas authority is given to the Ontario Land Tribunal under the Planning Act, R.S.O. 1990, c. P.13, as amended, upon hearing the appeal of the owners to pass this By-law;

Therefore the Official Plan of the City of Toronto, as amended, is further amended by the Ontario Land Tribunal as follows:

1. The attached Amendment 620 to the Official Plan is hereby adopted pursuant to the Planning Act, as amended.

Pursuant to Ontario Land Tribunal Decision issued on June 10, 2022 and Order issued on August 16, 2022 (effective August 13, 2022) in Tribunal File OLT-22-002332 (formerly PL210087).

AMENDMENT 620 TO THE OFFICIAL PLAN

3100-3200 Bloor Street West and 4-8 Montgomery Road

The Official Plan of the City of Toronto is amended as follows:

1. Maps 14 and 15, Land Use Plan, are amended by re-designating part of the lands known municipally in 2021 as 3200 Bloor Street West from *Mixed Use Areas* to *Natural Areas* as shown on the Schedule 1.
2. Chapter 6, Section 12, Etobicoke Centre Secondary Plan, is amended by adding the following subsection for Section 4, SITE AND AREA SPECIFIC POLICIES:

"12. 3100 and part of 3200 Bloor Street W

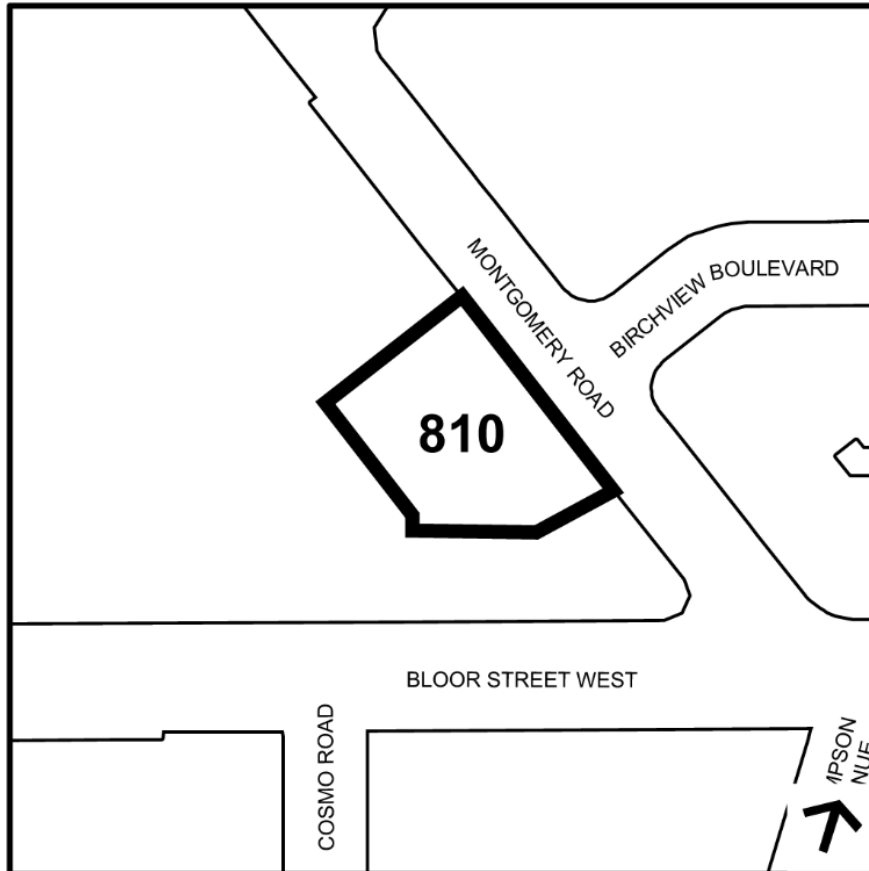
The site may develop with a greater building scale than provided in the *Mixed Use Area B* designation with increasing height toward the southwest corner in order to lend prominence and signify arrival at this gateway location in accordance with policy 3.2.1.

Commercial Uses are to be the most prevalent use at grade along Bloor Street West and the corner of Montgomery Road, with residential uses permitted at grade in other portions of the building."

3. Map 12-5 Land Use Plan of the Etobicoke Centre Secondary Plan is amended to show the lands known municipally in 2021 as 3100 and 3200 Bloor street West, as Site and Area Specific policy number 12, and by re-designating the western portion of the lands from Mixed Use Area B to Natural Areas, as shown on the attached Schedule 2.

- Chapter 7, Site and Area Specific Policies, is amended by adding the following Site and Area Specific Policy Number 810 for the lands municipally known in 2021 as 4, 6 and 8 Montgomery Road.

"810. 4, 6, and 8 Montgomery Road



An apartment building with an associated underground parking structure and driveway entry is permitted at 4 to 8 Montgomery Road. The apartment building height is limited to 4 to 10 storeys on 4 Montgomery Road and up to 4 storeys on 6 and 8 Montgomery Road."

- Chapter 7, Maps 25 and 26, Site and Area Policies, are amended by adding the lands municipally known in 2021 as 4, 6 and 8 Montgomery Road as shown on the map above as Site and Area Specific Policy 810.

Schedule 1



Official Plan Amendment #620 Schedule 1

Revisions to Land Use Maps 15 and 16 to Redesignate lands from Mixed Use Areas to Natural Areas

**3100-3200 Bloor Street West
and 4-8 Montgomery Road**

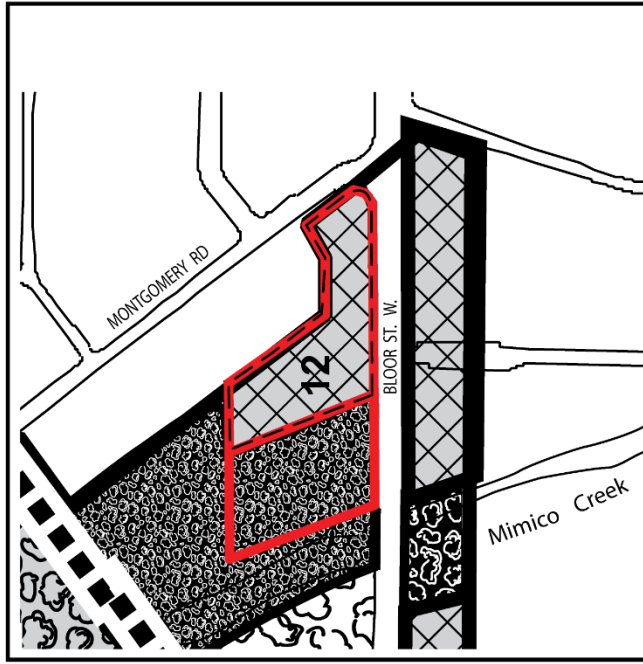
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- | | |
|---|---|
|  Location of Application |  Natural Areas |
|  Neighbourhoods |  Parks |
|  Mixed Use Areas | |



Not to Scale
06/29/2022

Schedule 2



Not to Scale
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City Planning Division
 Official Plan Amendment No. 620

Schedule 2 - Revisions to MAP 12-5 Land Use Plan to Redesignate lands from Mixed Use Area B to Natural Areas and to add location of Site and Area Specific Policy No. 12

Etobicoke Centre Secondary Plan
 MAP 12-5 Land Use Plan

- | | |
|-------------------------|--|
| Secondary Plan Boundary | Parks and Open Space Areas |
| Mixed Use Area A | Natural Areas |
| Mixed Use Area B | Parks |
| Utility Corridors | Other Open Spaces Areas (Including Golf Courses, Cemeteries, Public Utilities) |
| | Site Location |
| | 12 Site Location |

December 2010