



STAFF REPORT ACTION REQUIRED

Alteration to a Designated Heritage Property (revised application) – 129 St. Clair Avenue West (Deer Park United Church)

Date:	February 16, 2012
To:	Toronto Preservation Board Toronto and East York Community Council
From:	Acting Director, Policy & Research, City Planning Division
Wards:	Ward 22 St. Paul's
Reference Number:	P:\2012\Cluster B\PLN\HPS\CC\March 5/6 2012\ccHPS15

SUMMARY

This report recommends that City Council refuse the proposed alteration of the designated heritage property included in the development project known as 129 St. Clair Avenue West, Deer Park United Church, as submitted to the Toronto and East York Community Council on February 14, 2012 and described in the Heritage Impact Assessment prepared by E.R.A. Architects dated November 16, 2011 and supplemented by a February 7, 2012 addendum.

This application proposes to alter the existing heritage-designated church, former Deer Park United at 129 St. Clair Ave. West, by removing the 1931 Sunday school wing, the church transept and the roof structure above the nave, to transform the existing building into an outdoor courtyard. The tower and front vestibule portion of the building will be converted into retail space and a 27-storey residential building and six town homes fronting onto Foxbar Road will be constructed.

City Council's consent is required for the alteration to the designated heritage property under Section 33 of the Ontario Heritage Act. This report is being brought forward at the same time as a report on the proposed official plan and zoning by-law amendments from the Director, Community Planning for the subject property. Currently, no site plan application has been submitted.

RECOMMENDATIONS

The City Planning Division recommends that:

1. City Council refuse the proposed alterations to the heritage property at 129 St. Clair Avenue West under Section 33 of the Ontario Heritage Act.
2. If the owner appeals City Council's decision to refuse the application for alteration under Section 33 of the Ontario Heritage Act, Council authorize the City solicitor and the necessary City staff to attend at the Conservation Review Board hearing in opposition to the appeal.

Financial Impact

There are no financial implications resulting from the adoption of this report.

DECISION HISTORY

The property at 129 St. Clair Avenue West was included on the City of Toronto Inventory of Heritage Properties in January 2008. Following the listing of the site, staff were advised that representatives of Deer Park United Church were in the process of selling the property and learned there were concerns in the community about the potential redevelopment of the site.

At its meeting of October 29 and 30, 2008, City Council stated its intention to designate the property under Part IV, Section 29 of the Ontario Heritage Act. Following Council's statement of intention to designate the property, the property owners objected to the proposed designation and the matter was referred to the Conservation Review Board. In discussions between the City and the owners' legal representative, it was agreed that minor changes to the Reasons for Designation would address the owners' concerns while preserving the property's cultural heritage values and attributes. At its meeting of January 26 and 27, 2010, Council passed By-law 1052-2010 to amend the designation. The staff report can be found on the City's website at:

<http://www.toronto.ca/legdocs/mmis/2010/te/bgrd/backgroundfile-25924.pdf>

On July 13, 2011, the Committee of Adjustment approved a consent application (B0043/11TEY) to convey an 802 m² parcel of land from 111 St. Clair Ave. West to 129 St. Clair Ave. West. The decision was appealed to the Ontario Municipal Board. The appeal, however, was withdrawn the day of the OMB Hearing (November 14, 2011) and the decision is now final and binding. This subject parcel is generally where the six townhouses are proposed in conjunction with the 129 St. Clair Ave. West application.

At its January 16, 2012 meeting the Toronto Preservation Board (TPB) considered an application to alter and adaptively re-use the designated church as a part of a 27 storey condominium development. The staff recommendation that City Council approve the proposed alteration was supported by the TPB. The staff report can be found on the

City's website at:

<http://app.toronto.ca/tmmis/viewAgendaItemHistory.do?item=2012.PB9.6>

At its February 14, 2012 meeting, Toronto and East York Community Council (TEYCC) considered the above cited staff report along with a report prepared by the Director, Community Planning, South District on the related Official Plan Amendment and Re-zoning applications. In their deputation the applicant presented an alternative proposal for the site that has the support of a community working group and the ward councillor. The revised proposal includes the re-positioning of the residential tower seven metres to the north of the originally proposed location and the introduction of a courtyard conservation strategy to replace the adaptive re-use of the church. The staff report on the original planning application, which was forwarded to City Council without recommendation, can be found on the City's website at:

<http://www.toronto.ca/legdocs/mmis/2012/te/bgrd/backgroundfile-44834.pdf>

At that same meeting, TEYCC amended the staff recommendations contained in the heritage report to approve the courtyard alteration proposal presented by the applicant at the meeting and directed the Director of Policy and Research, City Planning to report to the Toronto Preservation Board on the revised alteration application submitted to City Planning on February 8, 2012 at its February 21, 2012 meeting. The advice of the Toronto Preservation Board will be forwarded directly to City Council for its March 5-6, 2012 meeting.

ISSUE BACKGROUND

The property at 129 St. Clair Avenue West was designated under Part IV, Section 29 of the Ontario Heritage Act for its cultural heritage value, and meets the criteria for municipal designation prescribed by the Province of Ontario under the three categories of design, associative and contextual value.

Located on the southeast corner of St. Clair Avenue West and Foxbar Road (see Attachment 1), Deer Park United Church is a significant institution in the Deer Park neighbourhood where it is the oldest surviving church building. The origins of the church date to the late 1800s when a Presbyterian congregation was formed in "Deer Park," the residential community that developed around the intersection of Yonge Street and St. Clair Avenue as the City of Toronto expanded northward. After Deer Park was annexed in 1908, the congregation relocated to a new building on St. Clair Avenue, the main east-west thoroughfare in the neighbourhood. The current church was completed in 1912 and dedicated the following year as Deer Park Presbyterian Church (see Attachment 2). In 1925, the majority of the congregation elected to join the newly-formed United Church of Canada.

Deer Park United Church has design value as a well-crafted example of the Neo-Gothic style, which was popular in the early decades of the 20th century for ecclesiastical and educational buildings (see Attachment 3). Displaying a distinctive corner tower and stone facing, the designs for the church were profiled in the September 1911 issue of

Construction magazine, and featured at the Toronto Society of Architects' exhibition in 1912. Alterations to the complex over time, including the expanded Sunday school wing dating to 1931, have respected the original fabric and style of the church.

Contextually, Deer Park United Church is a landmark on St. Clair Avenue West in the Deer Park community. The church anchors the southeast corner of St. Clair Avenue West and Foxbar Road, one block east of Avenue Road, where its iconic architecture is highly visible.

Heritage Attributes

The heritage attributes of Deer Park United Church related to its cultural heritage value as a representative example of Neo-Gothic styling associated with a significant institution in the Deer Park neighbourhood where it is a local landmark are:

- The scale, form and massing
- The materials, including Credit Valley stone, Indiana limestone, terra cotta, slate, metal, glass and wood
- The long rectangular plan with shallow transepts and low side aisles on the east and west elevations
- The steeply-pitched cross-gable roof with brick and stone chimneys, and the shed roofs over the side aisles
- At the northwest corner, the square tower with a flat roof, finials and a pinnacle
- The main entrance, which is placed in a shallow porch on the north façade, with pairs of paneled wood doors and multi-paned transoms
- The secondary entrance on the west face of the tower, and the entrance porch at the north end of the east wall, with wood doors with glazed inserts and blind transoms
- The detailing on the entries, with pointed-arched surrounds, mouldings, quoins, carvings and, on the tower, a roundel
- The window openings, with Tudor-arched, pointed-arched, flat-headed, lancet and clerestory windows
- The window detailing, with stone mullions, tracery, labels and continuous sills
- The applied detailing, with smooth band courses, buttresses, coping along the gables and, on the north façade, a niche with quoins
- The cornerstones from the second Deer Park Presbyterian Church (1888) and the current church (1911)
- The collection of stained glass windows, including commissions by artists Peter Haworth and Yvonne Williams and memorial windows in the sanctuary, transepts and chapel (excluding 13 small panels along the east and west side walls and the lower west transept, and the three-part memorial window on the south wall of the chapel)
- The Sunday School wing at the south end of the church, which complements it with the stone cladding and trim, Neo-Gothic detailing, and combinations of flatheaded and pointed-arched openings

- The interior is not included in the Reasons for Designation

The current proposal to alter the existing heritage-designated church by removing the 1931 Sunday school wing, the church transept and the roof structure above the nave to transform the existing building into an outdoor courtyard with a retail component in the north tower and front vestibule has been analyzed with respect to a variety of provincial and municipal policies as well as the *Standards and Guidelines for the Conservation of Historic Places in Canada*. Consideration is also given to the Valetta Principles for the Safeguarding and Management of Historic Cities, Towns and Urban Areas adopted by the ICOMOS General Assembly on November 28, 2012.

Community Consultation on the Official Plan and Zoning Amendment Applications

Following a number of pre-application meetings with city staff, throughout which the applicant made substantial changes to their initial plans to respond to concerns raised by Heritage Preservation, Community Planning and Urban Design staff, a community consultation meeting was held in the neighbourhood on March 24, 2011 to discuss two planning applications. One application is the subject of this report and the second application is the neighbouring application at 111 St. Clair Avenue West.

Approximately 100 members of the public attended the meeting. At this meeting, the applicant presented a 32-storey (104.5 metres tall) proposal, which has since been revised. During the discussion and question period residents in the neighbourhood raised a number of concerns. Issues raised included but were not limited to heritage preservation, the height, location and scale of the proposed tower, setback and transition of the tower to the neighbourhood, impact on local traffic, access to the site, proposed parking supply, shadow impacts, design of the townhouses, and construction related concerns.

At the meeting the Councillor called for the establishment of a working group to provide a forum for the local community to discuss their concerns about the proposal with the applicant. Four working group meetings were held on, May 16, June 6, June 20 and September 13, 2011. The working group meetings were structured to address issues relating to: tower location; heritage preservation; transportation and vehicular access; and overall tower massing and design.

At the final working group session, the applicants of 129 St. Clair Ave. West presented a revised proposal which was supported by the Foxbar Neighbourhood Association and generally agreed to by the remainder of the working group members present. While the revised proposal was satisfactory to the working group, City Planning staff had substantial concerns with the proposed heritage conservation strategy as it did not satisfy provincial and municipal requirements nor did it adequately conserve the heritage property according to relevant standards which call for minimal intervention.

The development supported by the working group required the residential tower to be shifted seven metres to the north, which encroaches substantially onto the landmark

historic resource, removing the Sunday school wing, the transept and most of the roof, with walls lowered to create an outdoor courtyard. A portion of the northern part of the church was proposed to be programmed for commercial use. At that time the proposal was schematic in design and many details such as how the walls would be supported and maintained and the extent (if any) of the roof structure to remain had not been fully investigated or determined.

The owner subsequently chose to submit the proposal to the city that was the subject of the first heritage staff report (January 5, 2012) on the alteration to the church (ie. the proposal wherein the majority of the church was to be adaptively re-used for residential purposes) and not apply to receive approval for the working group supported plan. While the proposal submitted for staff's final review included a number of features of the working group's plan, the conservation strategy retained the entire 1912 portion of the church for residential and retail use.

As described in the decision history, the official plan and rezoning application was revised and submitted by the applicant directly to the Toronto and East York Community Council at its February 14, 2012 meeting and supporting heritage material was also submitted, including a Heritage Impact Assessment, prepared by E.R.A. Architects on November 16, 2011 along with an addendum that addresses structural issues and provides more detail about the courtyard design and the extent of retained heritage fabric.

Provincial Policy Statement

Provincial Policy Statement 2.6.1 directs that "Significant built heritage resources and cultural heritage landscapes shall be conserved. Properties included on the City's Inventory of Heritage Properties are considered to be significant in this context.

In the PPS 2005, "conserved" is defined as "the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment."

The designated property at 129 St. Clair Avenue West has been identified through municipal listed and provincial designation and its heritage values and attributes are contained, described and defined by the Reasons for Designation adopted by City Council.

Growth Plan for the Greater Golden Horseshoe

The Growth Plan for the Greater Golden Horseshoe references in Part 4 "irreplaceable cultural heritage sites...that are essential for the long-term economic prosperity, quality of life....These valuable assets must be wisely protected and managed as part of planning for future growth...A balanced approach to the wise use and management of all resources... will be implemented."

Section 4.2.4 of the Growth Plan reads:

"Municipalities will develop and implement official plan policies and other strategies in support of the following conservation objectives:

...e) Cultural heritage conservation, including conservation of cultural heritage and archaeological resources where feasible, as *built-up* areas are intensified"

City Council's planning decisions are required to conform, or not conflict, with the Growth Plan for the Greater Golden Horseshoe.

Official Plan

Policy 3.1.5.2 of the Official Plan states that "Heritage resources on properties listed on the City's Inventory of Heritage Properties will be conserved." "Development adjacent to properties on the City's Inventory will respect the scale, character and form of the heritage buildings and landscapes." Development adjacent to properties on the City's *Inventory of Heritage Properties*, will respect the scale, character and form of the heritage buildings and landscapes. The property at 111 St. Clair Avenue west is on the City's Inventory of Heritage Properties.

Policy 3.1.5.8 states that additional gross floor area may be permitted in excess of what is permitted in the zoning by-law for lands designated as Mixed Use Areas, for a lot containing a conserved heritage building and new development provided that the application includes the conservation of a building or structure designated under the Ontario Heritage Act, and the quality, character and three-dimensional integrity of the conserved building or structure is maintained and additional density will not be granted for the incorporation of facades or historic building elements into new development. Where only a portion of the conserved building or structure is kept, that portion must contain the features of historic and/or architectural value or interest for which the building was designated.

Design Criteria for the Review of Tall Buildings Proposals

With respect to heritage buildings or sites either within or adjacent to the development site, new tall buildings will not visually impede the setting of a listed/designated building. Any new tall building proposal affecting the setting of a listed/designated building should satisfy all requirements of the Official Plan and should demonstrate that the area's character and the appearance or the setting of the listed/ designated building will be preserved and enhanced.

Standards and Guidelines for the Conservation of Historic Places in Canada, Parks Canada

The Standards and Guidelines for the Conservation of Historic Places in Canada is the document guiding planning, stewardship and conservation approach for all listed and designated heritage resources within the City of Toronto.

The relevant Standards include the following:

- Conserve the *heritage value* of a historic place. Do not remove, replace, or substantially alter its intact or repairable *character-defining elements*. Do not move a part of a *historic place* if its current location is a *character-defining element*
- Conserve heritage value by adopting an approach calling for minimal intervention
- Find a use for an historic place that requires minimal or no change to its character-defining elements
- Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention
- Maintain *character-defining elements* on an ongoing basis. Repair *character-defining elements* by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of *character-defining elements*, where there are surviving prototypes
- Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference
- Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place
- Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future

Proposal

The proposal calls for the alteration of the existing heritage-designated church, formerly Deer Park United, in order to transform it into a publicly accessible but privately owned courtyard on the site of a new 27-storey residential tower with six three-storey townhouses at the southern most point of the property, fronting onto Foxbar Road. A

Heritage Impact Assessment, prepared by E.R.A. Architects Inc., was submitted in support of the applicant's proposal (Attachment 4).

The overall height of the tower is 87 metres, including the mechanical penthouse. The 27th floor is comprised of the mechanical penthouse and a three bedroom residential unit. The overall density proposed is 6.8 times the area of the lot. The six three-storey townhouses are located to the south of the residential tower fronting onto Foxbar Road, with a landscaped edge (Attachment 5).

Comments

When a development application is received for lands designated under the *Ontario Heritage Act*, the applicant is requested to demonstrate (via a Heritage Impact Assessment) how the proposed alterations conserve the values and attributes of the heritage property. In order to satisfy provincial and municipal policies and respond to internationally accepted conservation standards and principles, conserving the values and attributes of heritage properties must be done in such a way that their integrity is maintained. In this regard, proposed alterations are considered in relation to the Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada*.

The Heritage Impact Assessment (HIA) prepared by E.R.A Architects Inc. and submitted on November 16, 2011 provides limited analysis of the proposal's impact on the heritage values of the property, beyond a general statement that "[the conservation strategy]...achieves heritage preservation goals as well as larger city-wide issues related to planning, urban design, and other neighbourhood issues." What those heritage preservation goals are is unclear in the document since the impact of the alteration on the designated property is not considered relative to the ascribed values and attributes, but the following statement is provided by way of conclusion:

The proposed conservation strategy effectively incorporates new development with the traditional fabric of the site. The adaptive re-use of the church for commercial/retail use and the creation of a publically accessible outdoor courtyard amenity will allow a broader public to enjoy this heritage resource. Maintaining the walls of the existing church will frame the outdoor courtyard amenity space, preserving the scale and massing of the remaining church and the volume of its interior.

Although the revised proposal involves the removal of 1930s Sunday school wing addition and the transept of the original 1912 church structure, this report finds that the scheme ultimately achieves heritage preservation goals as well as the city's strategic planning and urban design goals (E.R.A. Architects Inc., p.37).

Additionally, in discussions and at public meetings, the applicant and their heritage consultant have referred to the courtyard conservation strategy as preserving the value of the traditional use of a church as "a gathering place".

While it is true that people gather in churches, it is perhaps more precise to say that churches are places where people gather for worship and traditional church architecture ascribes religious meaning to buildings designed for worship. The values and attributes that have been expressed by the community through the process of heritage designation for the church do not include the value of "gathering" nor do they include the value of the church as a place of quiet contemplation, another value that the applicants ascribe to the church's current sense of place or value. Instead, the designation cites architectural, associative and contextual values as comprising the heritage values of the building and, in the opinion of heritage staff, the current proposal does not adequately conserve these values, nor does the HIA demonstrate the extent to which the ascribed values of the building will maintain their integrity, their authenticity and how they will be respected by the proposed strategy. Finally, heritage staff do not fundamentally agree that this proposal represents an example of adaptive re-use as it results in the creation of a monument or commemoration of the church rather than (with the exception of the retail narthex) encourages its retention and re-use.

The architectural value of Deer Park United Church is the central value that is being compromised by the proposed alteration, and this is closely linked to the associative values of the church relative to the congregation and its ministry. Traditional church architecture expresses tangible and intangible values through design. Churches do not have the same set of cultural heritage values as industrial sites such as the Don Valley Brickworks or the Wychwood Car Barns and cannot therefore be necessarily subject to conservation strategies designed for those locations. For instance, in traditional church architecture, each feature of the building has an associated meaning. The cruciform shape that is formed by the transept represents the cross upon which Christ was crucified (and the form of the cross can be viewed from above); the nave (or ark) represents the ship that contains the congregation. While it may not always be true that the more original fabric you save the better the conservation strategy, in the case of a church its inherent cultural value is inseparable from its architecture and this demands a higher order of physical protection.

The removal of substantial portions of the church represents an unacceptable loss of heritage value. The heritage values of the property in this instance are not being conserved with the level of integrity required of this landmark. In addition, the truncated wall structure creates a church body that is out of scale with the preserved tower. Even with the removal of the Sunday school wing and the alteration of exterior spaces, the adaptive re-use of the original church maintains the value of the building, as expressed through its architecture, in ways that the current proposal does not.

The proposal does not satisfy the *Standards and Guidelines for the Conservation of Historic Places in Canada* in the following manner:

- It removes, replaces, and substantially alters intact or repairable *character-defining elements*.
- It does not conserve heritage value by adopting an approach of minimal intervention
- It does not represent a use for the historic place that requires minimal or no change to its character-defining elements
- The existing condition of the character-defining elements have not been analyzed to determine the most appropriate intervention needed
- The gentlest means possible is not being proposed
- The essential form and integrity of an historic place is being impaired by the new work

Further, the courtyard proposal is not consistent with the Provincial Policy Statement and related Official Plan heritage policies that state "Significant built heritage resources and cultural heritage landscapes shall be conserved," in that this heritage property, which has been identified and designated under Part IV of the Ontario Heritage Act, is proposed to be altered in such a way that its heritage values, attributes and integrity (which have been defined by the community and City Council through provincial designation) have not been retained.

This proposal does not conform to the Growth Plan for the Greater Golden Horseshoe in that while the proposed conservation strategy provides a measure of cultural heritage conservation within the site's intensification, it does not achieve a high degree of conservation for such a significant landmark heritage resource, especially given that the previous submission that adaptively re-uses the church demonstrates that a high degree of conservation is feasible relative to other growth plan goals.

The rehabilitation and adaptive re-use of the entire original church structure remains the preferred approach by City heritage staff because it allows the church to retain its landmark presence and conserves the sacred values that are embodied and expressed through its architectural attributes. These values have already been established by the wider community within the historic urban area through the process of heritage designation. The working group supported proposal does not adequately address the site's stated cultural heritage values, nor does it comply with most of the relevant Parks Canada Standards. Further, the courtyard proposal does not satisfy recent international principles that, while recognizing the dynamic nature of urban areas as "living organisms" and encouraging "discerning creativity," still state that "priority must be given to continuity of composition that does not adversely affect the existing architecture." Intervention criteria contained in the recent Valetta Principles for the Management of Historic Cities, Towns and Urban Areas (Paris, November 28, 2011) directs that all interventions in urban areas must respect and refer to their tangible and intangible cultural values and, while changes are inherent in urban growth, they "must be controlled and carefully managed to minimise physical and visual effects on the townscape and architectural fabric."

Finally, over the past decade, the international heritage community (as expressed through organizations such as UNESCO and ICOMOS) have engaged in a thought-provoking dialogue about the challenges to heritage preservation posed by globalisation, urbanisation and climate change. The planning tools that are called for are expected to "indicate areas of heritage sensitivity that require careful attention," "protect the integrity, authenticity and attributes of urban areas," "adapt new uses and functions to existing heritage, rather than the reverse." and "give priority to restoring rather than demolishing heritage."

CONTACT

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SIGNATURE

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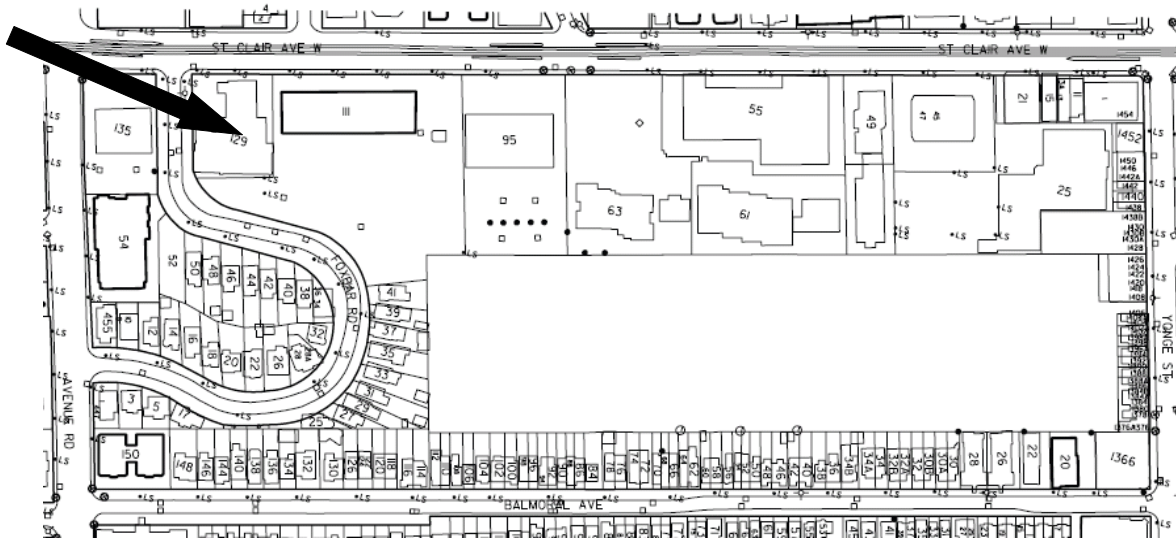
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ATTACHMENTS

Attachment No. 1 – Location Map
Attachment No. 2 – Archival Photographs
Attachment No. 3 – Photograph
Attachment No. 4 – Heritage Impact Assessment and Addendum, E.R.A Architects
Attachment No. 5 – Proposal, Diamond and Schmitt Architects Incorporated

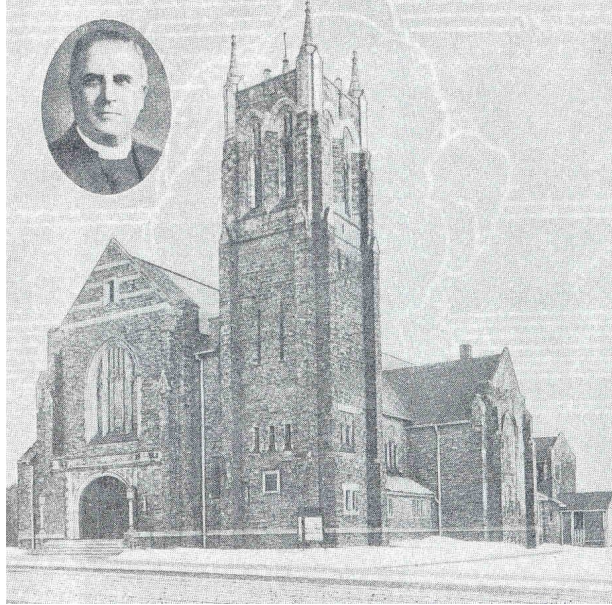
LOCATION MAP:
129 St. Clair Avenue West

ATTACHMENT NO. 1



The **arrow** marks the location of the property.

This location map is for information purposes only;
exact boundaries of the properties are not shown.



Archival views showing Deer Park United Church in 1931 (above) and after the addition of the Sunday school wing in 1931 (below).



PHOTOGRAPH:
129 St. Clair Avenue West

ATTACHMENT NO. 3



View of Deer Park United Church on the southeast corner
of St. Clair Avenue West and Foxbar Road.

HERITAGE IMPACT ASSESSMENT:
Prepared by E.R.A. Architects, November 16, 2011
Addendum, February 7, 2012

ATTACHMENT NO. 4

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E.R.A.
Architects Inc.

February 7, 2012

Re: 129 St. Clair Avenue West
Addendum to Heritage Impact Assessment dated November 16, 2011

We are the heritage architects on file for the proposed project at 129 St. Clair Avenue West. Further to the Toronto Preservation Board meeting held on January 16, 2012, this addendum has been prepared to supplement Section 6.2 Impact of the Proposed Conservation Strategy, in the revised Heritage Impact Assessment supporting the Courtyard proposal was prepared and submitted to City Planning staff on November 23, 2011. This addendum also provides additional detail regarding the alterations to the existing church building, as follows:

1. The original church structure will be retained to the start of the transept and a portion of the roof over the nave will be removed to create publicly accessible open space. Retail uses are proposed in the retained heritage structure fronting St. Clair Avenue West on the north and also along the east side of the open space;
2. Glazing will be removed from some upper level window openings flanking the open space. The existing frames will be maintained and flashed for weather protection. Interior plaster finishes now exposed, will be removed and replaced with more durable matching stucco suitable for exterior spaces.
3. Halsall Associates Limited has been consulted in the approach to reinforce the newly exposed walls, ensuring structural integrity. The walls will be reinforced across the top and a portion of the transept walls will be retained in place to brace the structure;
4. A small portion of the roof will be retained around the perimeter of the exposed courtyard to provide weather protection at the top of the walls, while also preserving the original eave at the exterior; and,
5. As shown in the enclosed perspective images, a new glazed wall will be constructed at the south limit of the retained roof to allow for transparency and views between the retail area and the courtyard.

The following materials are enclosed:

1. Heritage Impact Assessment in support of the Courtyard Proposal prepared by ERA Architects Inc., dated November 16, 2011; and,
2. Three perspective images prepared by Diamond Schmitt Architects Inc., dated February 7, 2012.

End of Addendum

**129 ST. CLAIR AVENUE WEST
HERITAGE IMPACT ASSESSMENT
16 November 2011**



D E E R P A R K U N I T E D C H U R C H

PREPARED FOR:

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PREPARED BY:

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1.0 EXECUTIVE SUMMARY

This Heritage Impact Assessment (HIA) is a revision of a previous HIA, submitted as part of an application for a zoning by-law amendment dated 13 December, 2010 involving the adaptive reuse of the Deer Park United Church at 129 St. Clair Avenue West. The revised submission is a reflection of public consultation through meetings with community working groups and residents associations. Sections 3.0 - 5.0 have not been revised from the previous HIA. This HIA should be read in respect to drawings prepared by Diamond and Schmitt Architects Inc. (DSAI) dated November 16, 2011.

The purpose of this HIA is to establish a conservation strategy for the redevelopment of the Deer Park United Church site. The Deer Park United Church was completed in 1912 to the plans of Sharp & Brown Architects, with later additions in 1931 and 1961. The Deer Park United Church was a significant institution in the neighbourhood and is the earliest remaining church structure in the area. The congregation vacated the site in 2008 and the church has been vacant since that time. The property is designated under Part IV of the Ontario Heritage Act for cultural heritage value or interest.

The application proposes the adaptive reuse of a portion of the church structure to accommodate retail and or amenity uses, a high-rise residential tower to the south, and six 3-storey townhouses facing Foxbar Road. The current conservation strategy involves the in situ retention of the north portion of the original church structure and the 1961 addition, and the removal of the transept and the 1931 Sunday school wing addition. A portion of the remaining roof will be removed to create an outdoor courtyard.

Although the revised submission relies less on the retention of the heritage resource than the previous scheme, the conservation strategy in this report achieves heritage preservation goals as well as larger city-wide issues related to planning, urban design, and other neighbourhood issues.



Fig 1. Rendering of proposed development in relation to adjacent redevelopment site and site context (DSAI).



2.0 INTRODUCTION

For the Deer Park United Church redevelopment, Diamond Corp has retained Diamond and Schmitt Architects as the Architect, Walker, Nott, Dragicevic Associates Limited as Planner and ERA Architects Inc. as the Heritage Consultant.

ERA Architects Inc. has prepared this Heritage Impact Statement with respect to: the *Toronto Development Guide: Terms of Reference* (see appendices); *Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada*; *City of Toronto Official Plan*; the *Province of Ontario's 2005 Provincial Policy Statement* for the regulation of development and use of land; and *Part IV of the Ontario Heritage Act*.

2.1 PRESENT OWNER CONTACT

DIAMONDCORP
Bob Blazeovski, Executive Vice President
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Toronto, ON M4T 2S3

2.2 EXISTING HERITAGE RECOGNITION

The property at 129 St. Clair West was designated with by-law No. 1052-2010, January 26 and 27 2010, under Part IV of the Ontario Heritage Act as being of cultural heritage value or interest.

The property is not located within a Heritage Conservation District.

2.3 ADJACENT HERITAGE PROPERTIES

In reference to the Province of Ontario's 2005 Provincial Policy Statement, this document addresses Section 2.6 on Cultural Heritage and Archaeology, specifically item 2.6.3:

"Development and site alteration may be permitted on adjacent lands* to protected heritage property where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved."

There is one structure adjacent to the development site which is found on the City of Toronto Inventory of Heritage Properties;

111 St. Clair Avenue West: The Imperial Oil building, 1957; Mathers & Haldenby, listed February 3, 2005.

*Adjacent lands: those lands contiguous to a protected heritage property.



2.4 PROPERTY LOCATION AND GENERAL DESCRIPTION

The development property is located at 129 St. Clair Avenue West, on the south east corner of St. Clair Avenue West and Foxbar Road within the Deer Park neighbourhood. The Deer Park United Church is the only building located on the site. The property will be increased in size by the addition of a portion of the 111 St. Clair Avenue West property directly south of 129 St. Clair Avenue West.

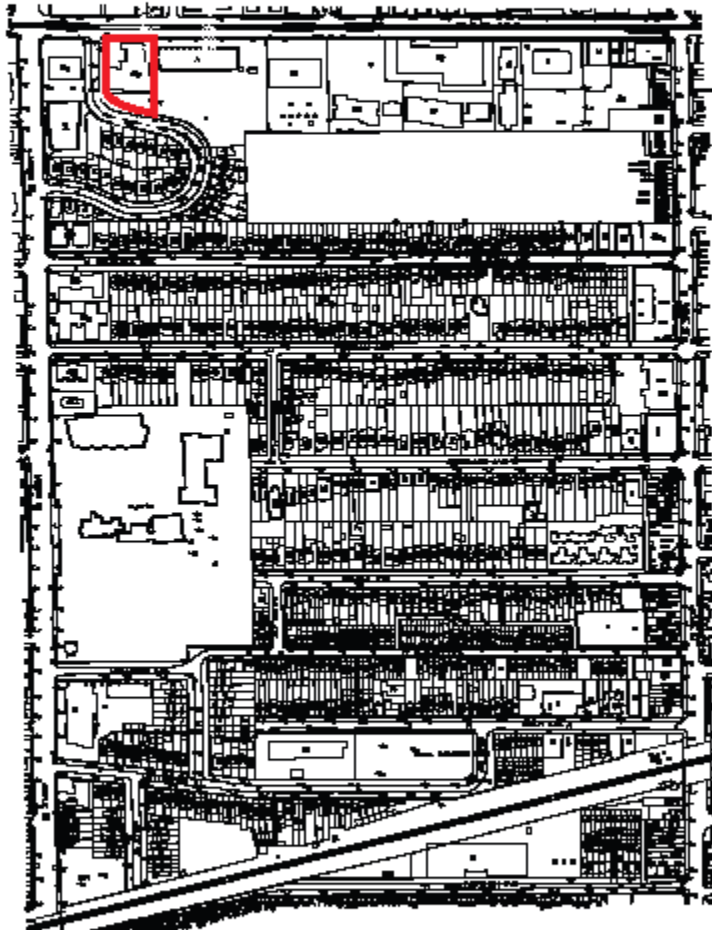


Fig 2. City of Toronto property data map (Annotated by ERA)





Fig 3. Aerial photo of site (Google maps, annotated by ERA)



3.0 STATEMENT OF SIGNIFICANCE

Reproduced from Schedule 'A', Reasons for Designation, of By-Law No.1052-2010 (Appendix 02)

Description

The property at 129 St. Clair Avenue West is worthy of designation under Part IV, Section 29 of the *Ontario Heritage Act* for its cultural heritage value, and meets the criteria for municipal designation prescribed by the Province of Ontario under the three categories of design, associative and contextual value. Located on the southeast corner of St. Clair Avenue West and Foxbar Road, Deer Park United Church was completed in 1912 and extended in 1931 with the completion of the Sunday School Wing. The property is listed on the City of Toronto Inventory of Heritage Properties.

Statement of Cultural Heritage Value

Deer Park United Church is a significant institution in the Deer Park neighbourhood where it is the oldest surviving church building. The origins of the church date to the late 1800s when a presbyterian congregation was formed in "Deer Park", the residential community that developed around the intersection of Yonge Street and St. Clair Avenue as the City of Toronto expanded northward. After Deer Park was annexed in 1908, the congregation relocated to a new building on St. Clair Avenue, the main east-west thoroughfare in the neighbourhood. The current church was completed in 1912 and dedicated the following year as Deer Park Presbyterian Church. In 1925 the majority of the congregation elected to join the newly-formed United Church of Canada.

As Deer Park United Church, the congregation continued the mission work, musical interests and social services for which it is known. It provided outreach and employment programs during the depression of the 1930s, welcomed displaced British women and children during World War II, offering English classes for new immigrants in the 50s and 60s, and sponsored Vietnamese refugees in the 1970s. Deer Park United Church was a founding member of "Churches-on-the-Hill", a group of local churches representing different Christian denominations that serve the community through joint programs, including food banks and affordable housing. Located on St. Clair Avenue West for nearly a century, the congregation of Deer Park United Church celebrated its 125th anniversary in 2006.

Deer Park United Church also has design value as a well-crafted example of the Neo-Gothic style, which was popular in the early decades of the 20th century for ecclesiastical and educational buildings. Displaying a distinctive corner tower and stone facing, the designs for the church were profiled in the September 1911 issue of *Construction* magazine, and featured at the Toronto Society of Architects' exhibition in 1912. Alterations to the complex over time, including the expanded Sunday School wing dating to 1931, have respected the original fabric and style of the church.

Contextually, Deer Park United Church is a landmark in St. Clair Avenue West in the Deer Park community. The church anchors the southeast corner of St. Clair Avenue West and Foxbar Road, one block east of Avenue Road, where its iconic architecture is highly visible. The church's location and setting are complemented by the city parks on the northeast and northwest corners of St. Clair Avenue West and Avenue Road, opposite. Amsterdam Square Park, located near the northeast corner of the intersection, features a replica fountain from the Peace palace at The Hague, which dates to 1929 and is designated under the *Ontario Heritage Act*. Glenn Gould Park, near the northwest corner of St. Clair Avenue West and Avenue Road, contains the Peter Pan Statue (1929) which is recognized on the City's heritage inventory. With its placement on the south side of St. Clair Avenue West, Deer Park United Church adjoins the residential



neighbourhood where the Foxbar Apartments at 54 Foxbar Road also date to the pre-World War I era and are listed on the City's heritage inventory.

Heritage Attributes

The Heritage attributes of Deer Park United Church related to its cultural heritage value as a representative example of Neo-Gothic styling associated with a significant institution in the Deer Park Neighbourhood where it is a local landmark are:

- The scale, form and massing.
- The materials, including Credit Valley Stone, Indiana Limestone, terra cotta, slate, metal, glass and wood.
- The long rectangular plan with shallow transepts and low side aisles on the east and west elevations.
- The steeply-pitched cross-gable roof with brick and stone chimneys, and the shed roofs over the side aisles.
- At the northwest corner, the square tower with a flat roof, finials and a pinnacle.
- The main entrance, which is placed in a shallow porch on the north facade, with pairs of paneled wood doors and multi-paned transoms.
- The detailing on the entries, with pointed arch surrounds, mouldings, quoins, carvings and on the tower, a roundel.
- The window openings, with Tudor-arched, pointed-arched, flat-headed, lancet and clerestory windows.
- The window detailing, with stone mullions, tracery, labels and continuous sills.
- The applied detailing, with smooth courses, buttresses, coping along the gables and, on the north facade, a niche with quoins.
- The cornerstones from the second Deer Park Presbyterian Church (1888) and the current church (1911).
- -The collection of stained glass windows, including commissions by artists Peter Haworth and Yvonne Williams and memorial windows in the sanctuary, transepts and chapel (excluding 13 small panels along the east and west side walls and the lower west transept, and the three-part memorial window on the south wall of the chapel).
- -The Sunday School wing at the south end of the church, which compliments it with the stone cladding and trim, Neo-Gothic detailing, and combinations of flat-headed and pointed-arched openings.
- The interior is not included in the reasons for designation



3.1 PROPERTY DESCRIPTION

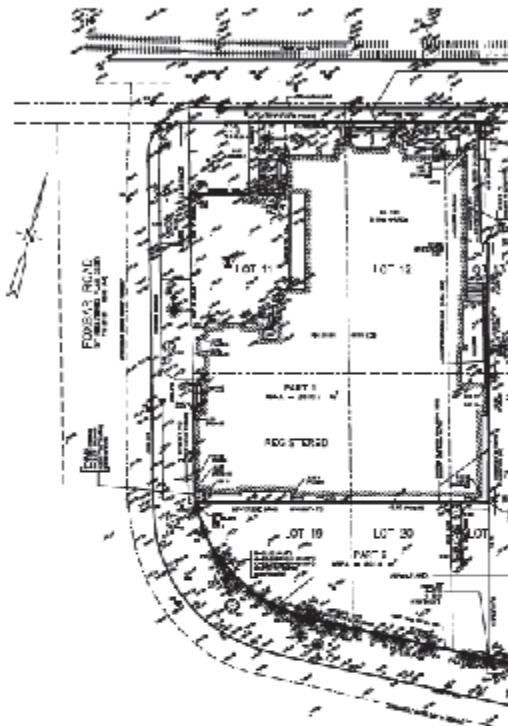


Fig 4. Site survey.

The subject property is located in the Deer Park neighbourhood at 129 St. Clair Avenue West and a portion of 111 St. Clair Avenue West on the south east corner of St.Clair and Foxbar Road. The property includes a 1912 Neo-Gothic church building with a later rear and side additions; 1931 and 1961 respectively.

The church faces onto St. Clair Avenue West and is set back from Foxbar Road to the west. A paved parking area is located on the west side of the church and is accessed off Foxbar Rd. To the rear of the property is a wedge shaped asphalt covered parcel previously owned by Imperial Oil, the adjacent property, which is enclosed by a chain link fence. This parcel has been included as part of the present Zoning by-law amendment application by Diamond Corp.

The church, commonly known as the Deer Park United Church, is designated in the City of Toronto inventory of heritage properties for its cultural heritage value and meets the criteria for municipal designation prescribed by the Province of Ontario under the three categories of design, associative and contextual value.



3.2 COMMENTARY ON STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

In addition to those attributes laid out in By-Law No. 1052-2010 we believe the following elements should be added/ amended:

- The two light standards located on the north porch and part of the original design should be added to the list of heritage attributes.
- The use of terra cotta for window surround, and the elaborate entrance porch on the north facade should be added to the list of heritage attributes.
- The window detailing has been noted as stone but in fact much of the window detailing is terra cotta.
- The designation By-law lists the collection of stained glass windows found in the church (excluding 13 small panels along the east and west side walls and the lower west transept, and the three-part memorial window on the south chapel wall). However, all stained glass in the church belongs to the congregation and will therefore be removed.
- In 1931 the original octagonal Sunday School wing was replaced with a larger structure which extends west past the building envelope of the main church, this addition partially obscures the west transept.
- The east narthex was added to the structure in 1961, this wing obscured the original east elevation.



Fig 5. View south east from St. Clair and Avenue Road, circa 1930. (Deer Park United Church)



4.0 RESEARCH AND ANALYSIS

4.1 CONTEXT

The name of the community dates back to the mid 1800s when the property extending from Avenue Road to Yonge Street and St. Clair Avenue up to Heath Street, was purchased by Mrs. Heath. Her son Charles Heath used the property as a deer park. The land was later divided to accommodate the expanding community and became known as Deer Park. Deer Park was annexed to the City of Toronto in 1908.

The Deer Park United Church, previously the Deer Park Presbyterian Church was an important institution in the history of the Deer Park neighbourhood. The beginnings of the church date back to the early 1880s when a house was used to provide a Sunday school and place for prayer meetings for the local community. In 1882 the organization was established as the Deer Park Presbyterian Church. The first church, a small wooden structure located near the north-west corner of Yonge Street and St. Clair Avenue, was opened for services January 30th 1881. In 1888, a larger brick church was erected on the site, the earlier wooden structure was moved to the rear of the site for use as a Sunday School.

The present Deer Park United Church was designed and built by architects Sharp & Brown for the congregation of the Deer Park Presbyterian Church when they chose to relocate to the present site in 1912. In 1925 the congregation joined the United Church, becoming the Deer Park United Church.

The church has acted as a social center to the community with the congregation also providing outreach and social services in the community and elsewhere. The Deer Park United Church was a founding member of The Churches-on-the-Hill, where the congregation now resides. This organization, a group of local churches of assorted Christian denominations, formed to serve the community with social programs including food banks and housing services. After 96 years at this location, the congregation joined the Churches on the Hill and vacated the site. The property was then sold to Diamond Corp and has since remained vacant.

The context for the building has been significantly altered over time. The semi rural community has become a mixed used neighbourhood, with commercial development along the arterial routes. The most significant alteration was the erection of two office towers; the 22 story Imperial Oil Building, completed in 1957, to the east and the 14 storey Government of Ontario building to the west, completed in 1964. Though overshadowed by the adjacent office towers, the Deer Park United Church remains a landmark building in the Deer Park neighbourhood.

4.2 HISTORICAL OCCUPANCY

The Deer Park United Church was constructed in 1911-12 as the new home for the congregation of the Deer Park Presbyterian Church. The congregation remained at the site until joining the Churches-on-the-Hill and vacating the site in 2008. The building was de-sanctified in June of 2008, remained vacant and was subsequently sold to Diamond Corp in 2010.



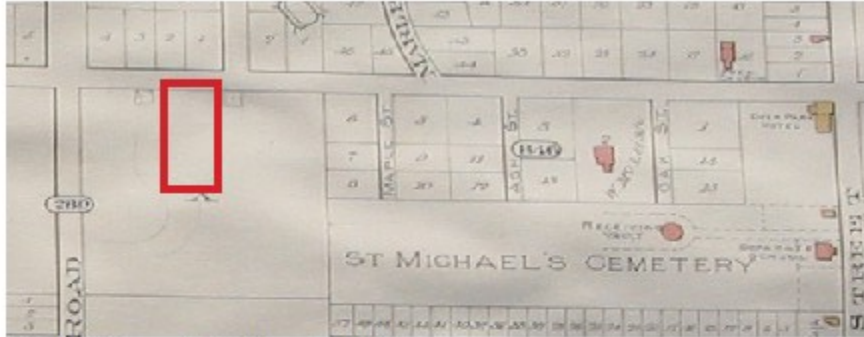


Fig 6. 1894 Fire Insurance Plan, Goad. (annotated by ERA)

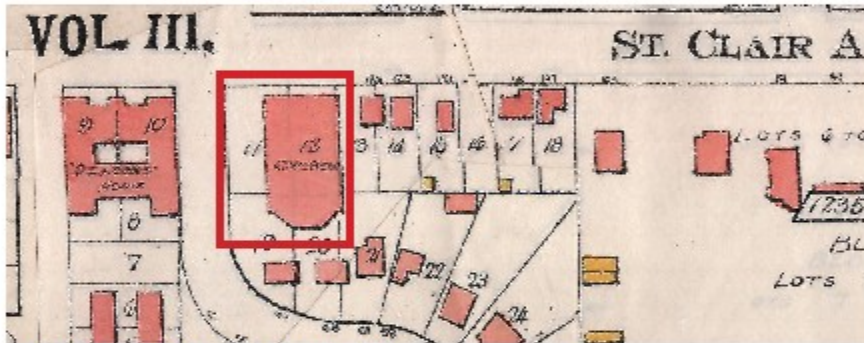


Fig 7. 1923 Fire Insurance Plan, Goad. (Annotated by ERA)



Fig 8. 1959 Fire Insurance Plan, Underwriters Insurance. (Annotated by ERA)



4.3 ARCHITECTURAL DESCRIPTION



Fig 9. North elevation. (ERA)



Fig 10. East elevation. (ERA)



Fig 11. West elevation, front. (ERA)



Fig 12. West elevation, rear. (ERA)

Exterior

The 1912 church, designed by Sharp & Brown architects, is a credit valley stone Neo-Gothic building with terra cotta detailing, and a cross-gabled red slate roof. The structure faces onto St. Clair Avenue and is marked with a tall square tower at the north-west corner. The building is cruciform in plan with a large sanctuary including balcony at the north end, shallow side aisles on the east and west side, east and west transept, and an altered chancel at the south end. The church has two corner stones, one from the second Deer Park Presbyterian Church (1888) found to the east of the main entry, and the corner stone from this current structure (1911) to the west of the main entry.

The principal entrance is located on the north facade, a wide straight stair leads to the projected round-arched entry porch decorated with terra cotta relief panels. The entryway is comprised of a pair of double wooden doors with multiple leaded lights above. Over the entry porch is a large stained glass window in a terra cotta surround. A secondary entrance on the north facade is located just east of the principal entryway in the east narthex addition, in the form of a double entry door within a pointed stone arch. The gable end is decorated with four horizontal bands of terra cotta and a central louvered terra cotta roof vent opening.

The west facade has the original church structure to the north with the 1931 rear addition to the south. At the northern end of the west facade is the tower, a straight run of stone stairs leads to an entrance in the ground level of the tower. The entrance, two single wood doors, is surrounded with a pointed



arch, decorated with Indiana Limestone panels including a trefoil motif above the entry. The tower is followed by the sanctuary section to the south and the west end of the transept. On the ground level there are sets of three rectangular casement windows within each of the three bays below the copper roof for the side aisle, and three large coloured glass windows with pointed-arch terra cotta surrounds and tracery in the sanctuary above. The large steeply pitched roof above is covered with red slates.

The west transept is partially obscured by the 1931 addition in this area. The transept follows a similar fenestration pattern as the sanctuary with a three small rectangular casement windows on the main level, and a large stained glass window with a pointed-arch terra cotta surround and tracery. The gable end features a vent opening with terra cotta surround. Three large steel hopper style windows are found in the basement level of the transept. The west transept is partially obscured by the addition in this area. A set of three vertical paneled, double vision lighted solid wood doors are found in the middle of the elevation with a large nine unit rectangular window above.

The east side of the building features the narthex addition and a below grade well towards the rear of the property. The narthex has three sets of casement windows following the rhythm of the bays in the sanctuary above. The openings of the west transept have been enclosed. The rear addition is comprised of brick on this and the south elevation. Four pairs of casement windows can be found on each level, a small decorative red slate mansard transitions into a flat roof above. The basement well provides access to an egress stair on the north face of the rear addition. Three large hopper style windows are found in the basement level of the transept.

Interior

The basement in the front 1912 portion of the church is partially finished, with a rectangular room under the front narthex. A long hall leads from this room down the center of the basement to the area below the transept. The areas to the west of the front room and hall are unfinished crawl spaces with exposed exterior walls, brick piers on concrete pads, and exposed soil with a low undulating grade. A partially finished fan room is located in the north east portion of the basement, south of the narthex. Each of these areas is finished with concrete floors, paperboard walls on stud framing and paperboard ceilings. At the south end of the hall north east of the transept is a large finished room with high ceilings. The walls and ceiling are finished in plaster, and the flooring is vinyl tile. The brick pier has been replaced with a metal post, and a straight run of stairs lead from this area to the basement of the east narthex addition. At the south end of the corridor, under the transept is a large banquet hall with a kitchen space to the east. Both areas are finished with plaster walls, acoustic tile ceilings with articulated beams running north south. The banquet hall has a raised plywood floor and three metal frame hopper windows. The kitchen, adjacent to the banquet hall has three large hopper windows on the east wall, the north and south windows are metal framed and the central opening is wood frame, with deep wood sills.

The rear, Sunday School section of the complex, is accessed through the kitchen and banquet hall areas. An egress door hall and stair to the gymnasium are located in the basement off the kitchen. South of the banquet hall is a corridor connecting the east and west ends of the building. Stairs to the sub basement are located on the east end of this hall, and the stair hall leading to the rear exit and the upper floors is found at the west end of the corridor.. The south west portion of this level contains two reception rooms, a lounge and the church office. These rooms are finished with plaster walls and ceilings, wood flooring, and the windows are metal casements with terra cotta tile sills. The lounge has an electric fireplace with a stone surround and wooden mantle on the north wall. A closet safe is located in the northeast corner of the office.. To the north of the east west hall are two washrooms and a utility room, all of which are finished with plaster walls and ceilings and tile floors.



The sub-basement, accessed from either the east or west stair is a gymnasium with a stage at the east end. The gym has painted brick walls with metal frame windows high on the south wall and wood floors, storage space is provided under the stage and on the north wall under the hall/gallery above. To the east is a boiler room and utility room. Both rooms have concrete floors, and the ceiling in the boiler room is formed concrete with articulated beams.

The basement in the east narthex contains a series of rooms leading off a north south hall including a music office, and men's and women's change rooms with washrooms in each. The walls and ceilings in this area are plaster with vinyl tile floors. A half turn metal stair leads up to grade level off the south end of the hall.

Ground Floor

The principal entrance off St. Clair Avenue West leads into the north narthex which runs east west and connects to the west entrance in the tower and the east narthex addition. The narthex has a set of central doors leading into the sanctuary, two stairs to the gallery, and two small rooms on either side of the entry doors, this area has lightly textured plaster walls and ceiling, and red terra cotta tile floors.

The sanctuary with a center aisle, and narrow side aisles, is divided into three bays. Articulated plaster ribs springing from decorative plaster brackets are found along the east and west walls. Each bay has a set of three casement windows, with some coloured glass and some stained glass on ground level and large fixed coloured glass with tracery openings in the clerestory above. There is an upper balcony at the north end which extends south to end of the second bay, with a large traced decorative window is at the north end of the balcony.

The wood flooring slopes towards the transept and chancel at the south end of the sanctuary. The window openings in the east transept are in-filled to accommodate the organ and remain closed. The west transept has three evenly spaced casement windows on the ground level and a large decorative glass window with tracery above. Each transept has a set of wooden doors leading to the Sunday School addition to the south.

The chancel is marked by a large pointed arch with plaster decoration to mimic stone units. A similar application is found around all upper windows. The shallow chancel has a raised wooden platform and wood paneling running one third of the way up the wall. A set of doors lead from the south east end of the sanctuary to the east narthex addition.

The east narthex runs north from the east transept to the front of the church where a secondary north entrance is located. The walls and ceiling in this area are drywall and the flooring is red tile to match the flooring in the north narthex. A hall is found off the south end of the east narthex leading to a side entrance and half turn metal stair to the level below.

The Sunday School addition can be accessed from either transept or from the south west entry off Foxbar Road. A wide hall runs east west connecting the two sides of the building. Metal quarter turn stairs are found on each end leading to the upper level, and to the west entrance on that end. The pastor's office, is found in the north west corner with a window bay on the west wall, and fireplace on the north wall. The floors are wood, and the walls are plaster on lath. To the south of this room is a small carpeted office, and a large reception area to the east. To the south of the hall, running from west to east, is a small chapel, two classrooms, and a large reception room with offices along the east wall. The chapel has deco-



rative woodwork including a chair rail with paneling below and a coffered wooden ceiling above. The walls are finished plaster, with wood floors. Three small, pointed stained glass windows run along the west wall and a larger opening is found on the south wall. Both classrooms have vinyl tile floors, acoustic tile ceilings and casement windows on the south wall. The west classroom has metal casements, and the east classroom has wood frame casement windows that are possible replacements. The reception room has wood casement windows on the south wall and vinyl replacement windows on the east wall within the offices, the floor is carpeted, ceilings are plaster with expressed beams, and the walls are plaster.

Second Floor

The second level has an east west wood floored corridor connecting the two stair halls. The east stair hall has a double coloured glass opening with terra cotta surround which appears to have been salvaged from the earlier structure. A large room is found in the north west corner of the building, with metal casement windows on the north and west walls. Off the hall at the south east and south west corners of the building are large rooms which have been divided into office spaces with modern finishes.

Access to the upper levels of the tower is accessed through a roof hatch in the second floor washroom above the narthex. Above the second level the tower is unfinished. The floors are built up roofing materials with copper flashing found around the perimeter, and the walls are exposed stone with large terra cotta framed open fenestration. A steep wooden stair leads from the third level to the roof. The roof of the tower has a similar floor surface, stone parapet walls capped with terra cotta, three terra cotta finials (north east and west, and south west) and an octagonal masonry spire with an octagonal copper cap.

4.4 ALTERATIONS

The structure is comprised of three parts, the original 1912 church, the 1931 rear addition, and the 1961 east narthex addition.

The Deer Park Presbyterian Church was completed in 1912 to the plans of Sharp & Brown Architects. The original church is cruciform in plan with narthex at the north end, shallow side aisles, an east west transept, and chancel at the south end. The church Sunday school was located to the south of the sanctuary and was semi-octagonal in plan, with radiating classrooms around a central hall on the main floor, washrooms and the primary room in the basement, and a large hall with gallery seating on the second level.

In 1931, construction began on a new Sunday School addition involving the demolition of the earlier Sunday School. The new development, designed by Mackenzie Bryden Architects was for a flat roofed, two story plus two basement levels structure and included, classrooms, a gymnasium, banquet hall and chapel. The addition was rendered in a similar style and material to the original church on the west side, and buff brick on the south and east sides. The decorative elements on the addition were rendered in stone rather than terra cotta. A reorganization of the chancel space occurred at this time as well. The organ pipes were divided and placed on the east and west walls. The projecting, semicircular elevated stage was removed and replaced with a slightly raised square stage and an elevated pulpit on the east side. A partial ceiling collapse in 1944 prompted further alterations. The remaining ceiling was deemed unstable, and was replaced and the entire sanctuary was redecorated at that time.

The East Narthex designed by Mollard & Whaley Architects was added in 1961 and provided direct access to parking at the Imperial Oil Building adjacent to the site. The addition consisted of one story, with a basement level running along the length of the sanctuary on the east side. The chancel underwent ad-



ditional alterations at this time. New windows were added to either side of the central chancel window and walls were erected to enclose the organ pipes on the east and west sides of the chancel.

The last major alteration to the structure occurred in 1967 when a new organ was donated to the church. It was decided to place the organ in the east transept rather than in the chancel for acoustic reasons. As a result, the windows in the east transept were filled in, and the memorial window that was in the clerestory was moved into the north sanctuary window at this time.

Some conservation work was undertaken by Quadrangle Architects in 1994 which included roof and masonry repair.



Fig 13. Deer Park United Church from the south showing original Sunday School ,circa 1920 (D.P.U.C)



4.5 ARCHITECTS

Sharp, Andrew

(1875-1966) was born in Scotland on 25 May 1875 and articulated in Glasgow with John Hutchison (in 1891-96). He studied at the Glasgow School of Art and was employed as assistant to Sir John J. Burnet, one of Glasgow's leading architects, from 1896 to 1900. In that year he emigrated to Canada and settled in Montreal where he was chief assistant to Robert Findlay (in 1900-02). In late 1902 Sharp moved to Toronto to join Darling & Pearson and remained with them until 1910. It was there that he met James H. Brown; both left the firm in 1910 to form a partnership which continued until 1919.

Brown, James Hodge

(1881-c. 1956), a native of Dundee, Scotland, was born on 14 January 1881 and attended the Technical School there. He emigrated to Canada in 1904 and spent the next six years as draftsman with Darling & Pearson, the leading firm in Toronto. It was there that he met Andrew Sharp, another Scottish native, and they formed a partnership in 1910 (see list of works under Sharp & Brown). Their collaboration ended in 1919 and Brown returned to the office of Darling & Pearson and remained until 1923, and later worked for John M. Lyle and for Chapman & Oxley from 1923-26. From late 1926 he was employed as assistant staff architect by the Sun Life Assurance Co. of Canada in Montreal. After 1945 he moved to Ottawa to work in the Construction Division of Central Mortgage & Housing Corporation. Brown resigned from the Ontario Assoc. of Architects in 1956.

Other projects designed by Sharp & Brown Architects include:

- Riverdale Presbyterian Church, Pape Avenue at Harcourt Avenue, Sunday School, 1912.
- St. Clement's Anglican Church, Jones Avenue near Sproat Avenue, 1913-14.
- St. Barnabas Anglican Church, Danforth Avenue at Hampton Avenue, 1910.



Fig 14. Deer Park United Church. (Construction)





Fig 15. St Barnabas Anglican Church, Sharp & Brown Architects, 1910. (Construction)

Brydon, Arthur Mackenzie

(1881-1971) was born in Howick, Roxboroughshire, Scotland on 11 January 1881 and articulated with William Leiper, FRIBA, a prominent architect in Edinburgh. After emigrating to Canada in 1907 he worked in a number of offices in Toronto including Cumy, Sproatt & Rolph (in 1908), Wickson & Gregg (in 1910, 1913, and 1921-25), with Chapman & Oxley (in 1926), with W. & W.R.L. Blackwell (in 1928), with Page & Steele (in 1931), with Craig & Madill (1938-41) and with W.L. Somerville (in 1946). When commissions were available to him he maintained an office under his own name in 1911-12 and 1932-48, and also working in partnership with Peter W. Lindsay and John W.D. Greig in 1914-16 (see list of works under Lindsay & Brydon), and with Charles Brooks in 1929-30. He took a particular interest in ecclesiastical architecture, and was sought out by John Pearson to assist him in Ottawa with the reconstruction of the Parliament Buildings in 1917-20. Brydon's designs for churches displayed his own personal interpretation of modernism and stand out in contrast to the more eclectic and ornate work of other ecclesiastical designers such as Arthur W. Holmes or Gordon & Helliwell.

Other works by Mackenzie Brydon include:

- Bonar Presbyterian Church, St. Clarens Avenue near College Street, 1909
- Manor Road United Church, Manor Road at Redpath Avenue, 1927

Mollard, William Albert

(1897-1975), born in Toronto, Ont. on 14 June 1897, and he studied architecture at the Dept. of Architecture at the University of Toronto from 1914 to 1919. He trained under John Lyle in 1919-22 and 1923-25, and with S.B. Coon & Son in 1922-23. In 1925 he joined the staff of Mathers & Haldenby, remaining with them for more than twenty years, working as project architect on the David Dunlap Observatory in Richmond Hill (1932-33) and on the Globe & Mail Building (1937-38). He moved to London, Ont. to assist in the office of O. Roy Moore during WWII, then returned to Toronto to form a partnership with Wilfrid Whaley as Mollard & Whaley.



5.0 ASSESSMENT OF EXISTING CONDITION

Andrew Pruss and Sydney Martin of ERA Architects Inc. conducted a preliminary interior investigation of the property at 129 St. Clair Avenue West on November 30th, 2010, followed by a preliminary exterior investigation on December 3, 2010. No destructive testing was administered, and all exterior investigations were from ground level. A review of the attic space was conducted by Andrew Pruss of ERA Architects Inc. in January 2010. The building is currently vacant but is heated, secured and maintained by the current owner.

The building components were graded using the following assessment system:

- **Excellent:** Superior aging performance. Functioning as intended; no deterioration observed.
- **Good:** Normal Result. Functioning as intended; normal deterioration observed; no maintenance anticipated with in the next five years.
- **Fair:** Functioning as intended; Normal deterioration and minor distress observed; maintenance will be required with in the next five years to maintain functionality.
- **Poor:** Not functioning as intended; significant deterioration and distress observed; maintenance and some repair required with in the next year to restore functionality.
- **Defective:** Not functioning as intended; significant deterioration and major distress observed, possible damage to support structure; may present a risk; must be dealt with without delay.

5.1 Exterior

5.1.1 Foundations

The foundations of the 1911-12 structure are rubble stone below grade, and ashlar above, and are generally in good condition. There are selective areas where the condition is considered fair due to recessed/eroded joints and obvious re-pointing. This condition is the result of normal wear and erosion. Selective re-pointing with a lime based mortar is recommended in these areas.

A damp proof layer was noted on the west foundation of the sanctuary as well as a bond break between the asphalt and the building.

The north west corner of the transept has been parged 3' above grade, and the parging is spalling from the masonry. The masonry behind appears to be in stable condition. It is recommended that the parging be removed, and the masonry foundation re-pointed with a lime based mortar.

The foundations on the north wall of the east narthex addition has a drainage layer around its perimeter.



Fig 16. Recessed joints in foundation.(ERA)



Fig 17. Damp proof layer on west foundation. (ERA)



We were unable to inspect the foundations on the south and east sides of the rear addition due to hoarding.

5.1.3 Masonry

The Credit Valley Stone masonry on the 1911-12 structure is in good condition throughout the buildings with selective areas showing recessed and/or cracked joints. Varied levels of environmental staining is evident. The environmental staining is a character defining element and is considered to be normal wear. Selective re-pointing with a lime based mortar is recommended.

There are eroded stones on the east facade but they appear to be in good condition. No repair is recommended at this time.

On the east narthex, hard pointing mortar was used resulting in a poor bond between the units. Significant cracking in the mortar joints is evident. This condition is most evident 1' below the parapet for the length of the building. The upper portion of the east door surround on the north facade needs 100% re-pointing, and the parapet cap above has no drip edge, allowing water to run down the face of the masonry.

While bulging at the mid section of the north and west tower wall was noted, there was no structural cracking noted in this area and the condition may have slowly formed over time. Further investigation will be needed to determine the condition of this element.

The masonry on the west and south west sides of the rear addition are in similar condition, and selective re-pointing with lime based mortar is recommended.

The lintel in the basement level of the west transept is cracked.

The east, south east, and north east portions of the rear addition are comprised of buff brick. Assessment of the south and east portions could not be made at this time as hoarding blocks access to these areas. The north east wall is in fair condition with heavy environmental staining, and spalling bricks are located above the egress doors.

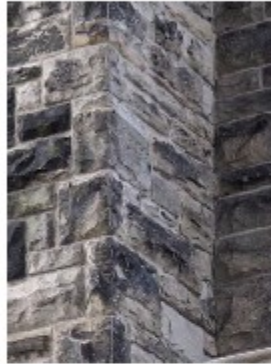


Fig 18. Eroded stones, east facade. (ERA)



Fig 19. Bulging stone, north face of tower. (ERA)



Fig 20. Cracked and recessed joints found in upper portion of east door. (ERA)



5.1.4 Terra Cotta

Terra cotta tile was used in the 1912 structure for most of the decorative elements including but not limited to; door and window surrounds, finials, parapet caps, and frieze.

The condition of the terra cotta is generally fair to good with selected areas in poor condition. Typical issues include; mechanical damage from cutting out of joints, surface coating, broken joints, efflorescence, black staining, ironoxide staining, and selective minor spalling.

The buttress cap at the north east corner of the building is in poor condition. There is a large spall and mortar repair to the middle south unit and a large spall on the north middle unit.

There is fracturing and some displacement of the terra cotta units in the front entry arch, and heavy spalling and fractures are located on the west side of the frieze above. The large window surround has a fractured unit just west of the apex of the arch.

The finials on the tower have been partially coated in a nonporous material causing spalling of the terra cotta surfaces in this area. The parapet cap on the tower is also in poor condition, including a broken unit on the south side.

Wide joints with dark coloured mortar can be found on the upper portion of the west tower windows, on the two north clerestory windows located on the west side of the sanctuary and on the west transept window. This is due to an earlier repair where the joints were chipped out, causing chips and spalling in the adjacent units resulting in irregular wide joints.

The south fenestration on the west side of the tower has a heavily degraded terra cotta unit.

The gable cap on the north east corner of the west transept is fractured throughout and has been repaired with caulking and there are two fractured units in the adjacent buttress. The upper vent has a large spall at the upper south side.



Fig 21. Spall and mortar repair on NE buttress cap. (ERA)

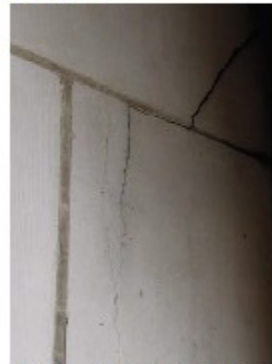


Fig 22. Fractured terra cotta units in entry arch. (ERA)



Fig 23. Black staining and ironoxide staining on east transept surround. (ERA)



5.1.4 Windows and Doors

Doors

The principal entry has two pairs of paneled, solid wood, doors with leaded lights above. All other doors are solid wood, vertical paneled doors with two vision lights. All doors are in good condition but are showing weathering.

The hardware from the front entry doors, east narthex doors, and tower doors has been removed.

The front entry door have some whitish areas believed to be discoloration due to moisture.

Windows

Window types in the building include fixed decorative/coloured glass with leaded divisions in steel frames, metal casement, wood/or metal hopper, and vinyl replacement windows. All windows have exterior storms with the exception of the vinyl replacement windows.

The fixed decorative or coloured glass clerestory, and transept windows are generally in good condition. However, the exterior storms are not vented which may cause condensation and heat gain within the unit, leading to rapid deterioration of the joints. The sealant in these areas is deteriorated and not sympathetic to the building.

The south clerestory window on the west facade has a broken storm and a deformation in the lower section of the coloured glass window.

The metal casement windows found in the side aisles are in fair condition. Exterior storms are caulked to the window surround, and are un-vented creating issues of heat and moisture within the unit. There is some distortion of these window units. The operable casement windows have a similar storm arrangement, with the storm affixed to the inner window with caulking. There is a broken storm on the south chapel window.

The metal casement and hopper windows are all in good condition with small areas of surface corrosion.



Fig 24. Dark mortar and widened joints in window surrounds. (ERA)



Fig 25. Discolouration found on front entry doors. (ERA)



Fig 26. Exterior storms on casement windows. (ERA)



Fig 27. Broken storm on south clerestory window. (ERA)



There are two broken openings on the basement level, one on the north face of the rear addition, and one on the south face.

There are large gaps between the framing and the wall on the hopper windows in the east well, and the sills are at grade allowing moisture into the building.

The vinyl replacement windows are in good condition but are unsympathetic to the building.

The second level steel frame coloured glass window with terra cotta surround located in the south east stair hall is original to the building and was likely salvaged from a demolished area.

5.1.5 Rainwater system

The rainwater system is comprised of copper gutters, downspouts and flashing which appear to be recent replacements and are in good condition. Roof to wall flashings are fair with gaps observed in the attic. Heat tracing is visible.

There were a few areas where the condition was poor to fair; the lower portion of the north downspout over the east side aisle is damaged and should be repaired/replaced, and the downspout to the west of the principal entry appears to be backing up causing efflorescence and organic blooms on the surrounding stone. This condition should be further investigated.

Efflorescence and discolouration of the stone was noted to the south of the south west clerestory window, this is likely due to insufficient gutter overlap at the groin of the roof and associated water overflow.

The stepped flashing at the east stair bay is wrinkled which may reduce its performance level.

5.1.6 Roof

Slate

The steeply-pitched cross-gabled roof over the main church is primarily slate, and the south facing roof over the transept has been replaced with red asphalt shingles, as has the gabled roof over the eastern stair bay.



Fig 28. Gaps around basement hopper window. (ERA)



Fig 29. Efflorescence, organic blooms on masonry.(ERA)



Fig 30. Efflorescence, discoloured stone at gutter.(ERA)



Fig 31. Poorly matched replacement slates on roof. (ERA)



The slate roof is in fair condition, however there are a few poorly matched replacement slates in either colour or size. There are also a few chipped, slipped and/or missing slates.

Built-up Roofing System

The built-up roofing system located on the Sunday School addition could not be adequately assessed as roof access was unavailable.

Metal

The western side aisle has a batten seam copper roof which was found to be in good-excellent condition.

Asphalt

The red asphalt roof(s) were found to be in good condition.

5.1.7 Landscape

The landscaping is limited to the front and west side of the property including a raised bed, and asphalt parking area along the west side aisle, a retaining wall at the north end of the parking area with a straight stair and curved path leading to the tower entrance, and the wide principal entry stair on the north facade. The design for the principal stair included the light standards on either side of the stair. The east side of the building has a large well below grade with an egress stair. All elements of the landscape were found to be in good condition except where further noted.

The concrete retaining wall found in the egress well on the east side is in poor condition with severe cracking.

The front entry stair is in poor condition the stone units have shifted and settled. The hand rails are badly corroded at the contact points with the stone and have shifted, staining the stone at its present location. The adjacent light standards are in fair condition, there is some surface corrosion on both. The west light has a broken glazed panel.



Fig 32. Severe cracking in east retaining wall. (ERA)

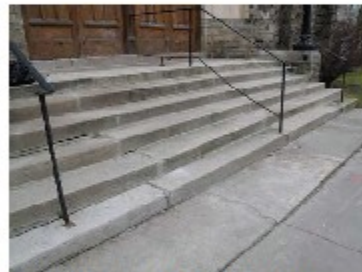


Fig 33. Shifted and settled front stairs. (ERA)



Fig 34. Light standard at main entrance. (ERA)



The west stair was found to be in fair condition. There is a large crack in the upper tread caused by the corrosion of imbedded metal elements. The stone has been stained with years of salting.

The retaining wall, and west side raised bed are in poor condition, both having shifted and settled possibly due to frost heave. The grade of the east bed is slightly high.

5.2 Interior

5.2.1 Basement

The rubble stone foundations are exposed in the unfinished areas of the basement. They are in good condition and have a bituminous felt damp proof layer above grade on the east and west sides, and are heavily pointed below grade in all exposed areas.

There are selected areas of efflorescence on the north exterior wall and on the south west corner of the tower.

There have been rough openings pierced through the paperboard walls in the north west stair hall and on the south wall of the room under the north narthex. The masonry cross wall between the narthex and the sanctuary has been exposed and was found to be in good condition with heavy pointing.

Exposed concrete floors in all areas are in good condition.

All elements of the large room in the southeast portion under the sanctuary area are in good condition, a rough opening has been pierced through the ceiling exposing the joists above.

The condition of the basement in the east narthex is in poor condition, and moisture damage was found in all areas indicated by the presence of mould and peeling paint. Deterioration of the plaster at grade was noted on the east wall of the men's washroom.

The flooring in the banquet room is in fair condition, with exposed sub-floor.

The kitchen floor is in poor condition, and is heavily



Fig 35. West tower entrance, and cracked retaining wall. (ERA)



Fig 36. Damp proof layer in foundations. (ERA)



Fig 37. Efflorescence on foundations, SW corner of tower. (ERA)



Fig 38. Mould found in the east narthex basement. (ERA)



buckled from moisture. Window sills also display signs of moisture damage but no moisture is presently evident.

Moisture damage was noted in both washrooms on the basement level with peeling and bubbled paint.

There are two broken windows found on this level, located in the office at the south end which has been ineffectively capped with a plywood board, and a second in the mens washroom on the north side of the building.

All other areas are in good condition

5.2.3 Sub-basement

Floors in the gymnasium have buckled from water damage and are in very poor condition. No present moisture was noted.

Efflorescence was noted on the south wall in the stage area.

Two capped vents on the south wall of the boiler room are allowing water to penetrate the building.

5.2.4 Main floor

Water damage was noted in the north east corner of the reception room at the east end of the Sunday school addition.

All other elements in the Sunday School addition are in good condition.

There is some moisture damage noted on the north side on the west transept rib and on the west side of the first rib north of the transept.

Bowing glass was noted at the bottom of the south west clerestory window, on the first ground level casement window on the west side, and on the north casement window on the west side.

Hairline cracks were noted above the south arches on the east side of the Sanctuary.

The west tower entrance is in poor condition with



Fig 39. Kitchen. (ERA)



Fig 40. Moisture damage in basement washroom. (ERA)



Fig 41. Gymnasium. (ERA)



Fig 42. Efflorescence located on S wall in stage area. (ERA)



a medium size hole in the ceiling, cracked plaster throughout, and peeling and bubbled paint as a result of moisture penetration.

The north west wall of the narthex is in poor condition with heavy cracking in the plaster, with evidence of earlier repairs.

Some fine cracking was found in the ceiling of the north east stair, and is in fair condition.

All other elements in this area were found to be in good condition.

5.2.5 Second floor

Signs of water damage were noted on the wood floor in the tower. The cause is undetermined, and there are no other signs of moisture in this area.

The north east window is in fair condition with some warping and a dropped pane. Buckling was also found in the north west window.

All other areas of the second level appear to be in good condition.

5.2.6 Tower

The tower is exposed masonry on the interior with small vent openings at the first level and large terra cotta openings at the upper level.

There is a build up of spalled material at the base of the roof levels. There is spalling, staining, organic growth and efflorescence on the terra cotta at the interior and exterior.

At the roof level there are low stone parapet walls with terra cotta caps and finials. The stonework has been repointed in hard mortar and there is a vertical crack through the north parapet. Most of the terra cotta has been coated with a paint finish. The terra cotta is spalling and cracked extensively and is in poor condition.



Fig 43. Leaking vent cap in sub-basement. (ERA)



Fig 44. Moisture damage to plaster in sanctuary. (ERA)



Fig 45. West tower entrance. (ERA)





Fig 46. NE window with warped glass and slipped pane. (ERA)



Fig 47. Mortar debris built up in corners of tower interior. (ERA)



Fig 48. Painted coating and related spalling on tower parapet. (ERA)



Fig 40. Efflorescence and organic growth inside tower. (ERA)



Fig 50. Painted coating on tower finial. (ERA)



6.0 CONSERVATION APPROACH (REVISED)

In order to protect the heritage resources of 129 St. Clair Avenue West, the following conservation approach has been prepared, addressing the cultural heritage value and heritage attributes outlined in the *Statement of Significance*. The revised conservation strategy for 129 St. Clair Avenue West was developed through a number of consultation meetings involving a community working group as well as the Foxbar Neighbourhood Association. The strategy balances the city's strategic planning goals regarding heritage preservation, intensification along major avenues in the city, and protection of stable neighbourhoods.

6.1 PROPOSED SITE DEVELOPMENT (REVISED)

The current proposal is a revision of the plans submitted in support of the zoning by-law amendment application dated 13 December 2010. Similar to the previous proposal, the current proposal involves the selective removal of portions of the Deer Park United Church with construction of a high-rise residential tower and a row of townhouses facing south on Foxbar Road. The changes to the scheme were made pursuant to the concerns raised through multiple consultations with a community working group as well as the Foxbar Neighbourhood Association. Changes to the redevelopment proposal include moving the location of the tower seven metres north, encroaching onto the original 1912 structure of the church building. This separates the tower from the proposed townhouses and increases the buffer between the high-rise development and the adjacent low-rise neighbourhood to the south. The revised scheme proposes the creation of an outdoor courtyard by removing a portion of the church roof to create a publically accessible, privately maintained courtyard, and the remaining portions of the church will be programmed for commercial use.



Fig 51. Initial concept rendering of proposed development (DSAI)



6.2 IMPACT OF THE PROPOSED CONSERVATION STRATEGY (REVISED)

1. The principal elevation at St. Clair Ave West will be retained in situ. The stained-glass windows on the principal facade, which was commissioned by the Deer Park United Church to commemorate the contribution of its members to the Second World War effort, will also be retained.



Fig 52. Existing view of principal St. Clair St W elevation.

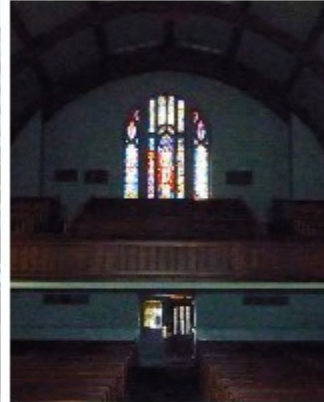


Fig 53. Interior view of stained-glass window.

2. The 1930s Sunday school wing addition will be removed. The 1961 east addition is to be retained.



Fig 54. East elevation.



3. The original church structure will be retained to the extent of the transept. This scheme was devised in order to respect the character of the low-rise stable neighbourhood to the south of the site - the location of the point tower is set further north on the site to reinforce a buffer from high-rise development along St. Clair Ave West.

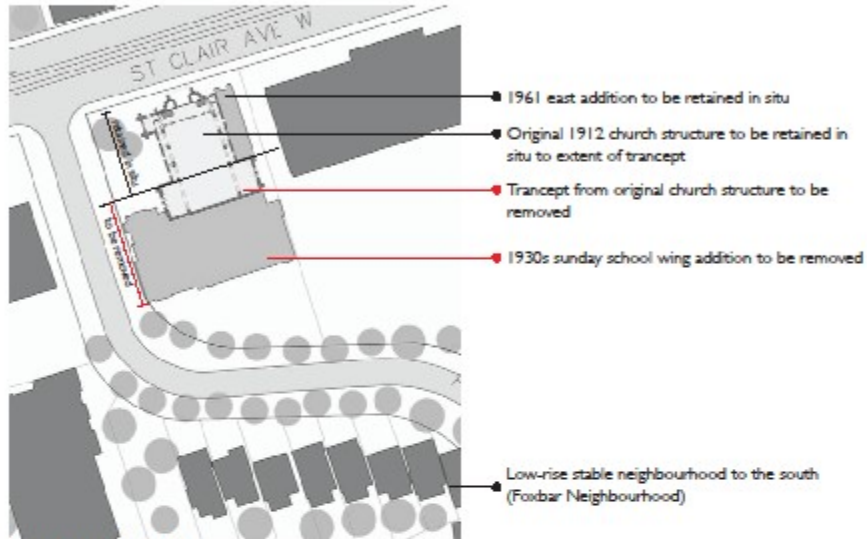


Fig 55. Context Plan (OSAI).



Fig 56. West elevation of Deer Park United Church.



Fig 57. Aerial of context area



4. The scale and massing of the remaining church will be maintained. A portion of the roof will be removed to create an outdoor courtyard amenity. Similar strategies have been successful elsewhere in the city, including the Artscape Wychwood Barns and Evergreen Brickworks to frame outdoor amenity space with the remaining structure of a heritage building.



Fig 58. Rendering of proposed courtyard (DSAI).



Fig 59. Similar strategy created Koerner Gardens at the Evergreen Brickworks which accommodates successful events like "Picnic at the Brick Works" (left) and seasonal ice skating (right) (Source: Spotlight Toronto, flickr:briankchan).



Fig 60. Roof structure was removed on Barn 5 at the Wychwood Barns, which now accommodates The Stop's urban agriculture program and weekend farmer's markets (Source: The Stop, JB Smith Photography)



-
5. Weather-proofing of interior materials which will be exposed by the new courtyard will be required, the details of which will be included in a future conservation plan. The tower and front portion of the church will be enclosed to create indoor commercial/retail space. This semi-public programming invites a broader public to enjoy the heritage resources of the site.

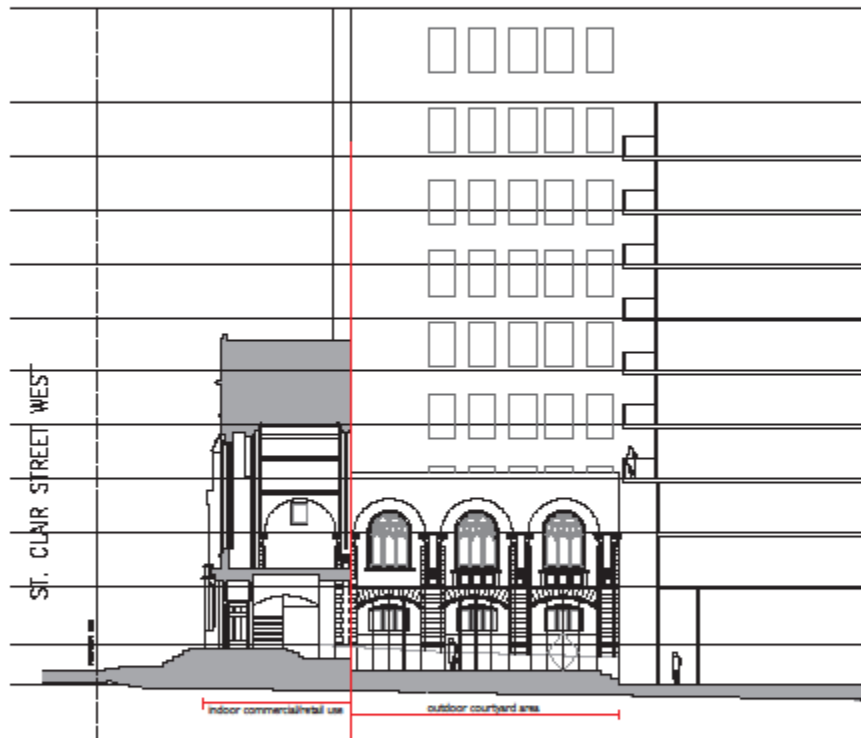


Fig 61. Longitudinal section of courtyard scheme (ERA).



7. The proposed townhouses along Foxbar Rd will be clad in salvaged stone from portions of the original church structure that will be removed.



Fig 65. Rendering of proposed townhouses along Foxbar Road (USA1).

8. The new residential tower is offset from the southeast corner of the adjacent Imperial Oil heritage building to avoid obstruction of views to and from the building from St. Clair Ave West. The new tower is materially distinguishable from the Imperial Oil Building and its simple rectangular massing complements the heritage building (see fig. 51).



Fig 66. Landscape Plan by Janet Rosenberg & Associates. Site planning and landscaping was done in conjunction with the adjacent redevelopment site with the Imperial Oil heritage building.



7.0 CONCLUSION

The proposed conservation strategy effectively incorporates new development with the traditional fabric of the site. The adaptive re-use of the church for commercial/retail use and the creation of a publically accessible outdoor courtyard amenity that will allow a broader public to enjoy this heritage resource. Maintaining the walls of the existing church will frame the outdoor courtyard amenity space, preserving the scale and massing of the remaining church and the volume of its interior.

Although the revised proposal involves the removal of 1930s Sunday school wing addition and the transept of the original 1912 church structure, this report finds that the scheme ultimately achieves heritage preservation goals as well as the city's strategic planning and urban design goals.

It is recommended that an interpretation plan and a heritage lighting plan be included within a Conservation Plan to be submitted prior to building permit application. These additional recognitions of the heritage building will further mitigate the impact of the alterations.

All heritage work will be completed in accordance with the Parks Canada *Standards and Guidelines for the Conservation of Historic Places*, the Ministry of Culture's *Ontario Heritage Tool Kit* procedures and the *Burra Charter*.



City of Toronto Inventory of Heritage Properties

The Deer Park Presbyterian Church, Toronto. Construction, September, 1911.

Canadian Architecture. *The Builder*, November 12, 1915.

Mangel, Ralph. *200 Years Yonge- A History*. Natural Heritage, 1997.

Kinsella, Joan C. *A walking Tour of the Old Deer Park Farm Area*. Toronto Public Library, 1984.

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Wallace, W.G. Toronto. *A Half Century of Service, Deer Park United Church*. Toronto: Deer Park United Church, 1932.

Wallace, W.G. Toronto. *A Century of Service, Deer Park United Church*. Toronto: Deer Park United Church, 1981.

Biographical Dictionary of Architects in Canada 1800-1950. www.dictionarofarchitectsincanada.org



PROPOSAL:
 129 St. Clair Avenue West
 Diamond and Schmitt Architects Incorporated, February 8,

ATTACHMENT NO. 5

**DEER PARK CONDOMINIUM
 DIAMONDCORP**



Diamond and Schmitt Architects Incorporated

ARCHITECTURAL DRAWING
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 TORONTO, ONTARIO M5V 3L7
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 DRAWING NO.: 100-1000-0000-0000

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