

Mailed on/before: Wednesday, October 23, 2013

PUBLIC HEARING NOTICE
CONSENT
(Section 53 of the Planning Act)

MEETING DATE AND TIME: Wednesday, November 6, 2013 at 10:00 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	B051/13NY	Zoning	R4/RD (I15.0; a550) (x5) [WAIVER]
Owner(s):	YI FU WANG	Ward:	Willowdale (23)
Agent:	QUICKSILVER DEVELOPMENT SERVICES		
Property Address:	155 CHURCH AVE	Community:	North York
Legal Description:	PLAN 2633 LOT 144 PT LOT 145		

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Retained - Parts 1 and 2

Address to be assigned

The lot frontage is 9.52m and lot area is 368.4m². The property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A636/13NY.

Conveyed - Part 3

Address to be assigned

The lot frontage is 9.52m and the lot area is 368.65m². The property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A637/13NY.

File Numbers: B051/13NY, A636/13NY and A637/13NY will be considered jointly.

THE COMMITTEE OF ADJUSTMENT & CONSENTS

The Committee of Adjustment has the authority to grant consent to sever land and for other related property transactions. To approve a consent request, the Committee of Adjustment must have considered the provisions of section 51(24) of *The Planning Act* and be satisfied that a plan of subdivision is not necessary.

The Committee of Adjustment forms its opinion through its detailed review of all material filed with an application, letters received, deputations made at the public hearing and results of site inspections.

MAKING YOUR VIEWS KNOWN

The notice has been mailed to you, as required by the *Planning Act*, to ensure that, as an interested person, you may make your views known by:

- **Attending the Public Hearing.** Attendant Care Services can be made available with some advance notice.
- **Sending a letter by Mail or Fax.** Information you choose to disclose in your correspondence will be used to receive your views on the relevant issue(s) to enable the Committee to make its decision on this matter. This information will become part of the public record.

If you do not attend the public hearing, or express your views in writing, the Committee may make a decision in your absence, and may recommend changes to the proposal

TO VIEW THE MATERIALS IN THE APPLICATION FILE

Attend the Committee of Adjustment office at the above address Monday to Friday, 8:30 a.m. to 4:30 p.m.

RECEIVING A COPY OF THE COMMITTEE'S DECISION

- The Committee will announce its decision on the application at the Public Hearing.
- To receive a copy of the Decision, fill out the Decision Request Form at our office or at the Public Hearing or write a letter requesting a copy of the Decision and send it to our office.
- If you wish to appeal a Decision of the Committee to the Ontario Municipal Board, you must file your written request for a decision with the Deputy Secretary-Treasurer.
- Be advised that the Ontario Municipal Board may dismiss an appeal of the consent Decision if the person or public body that filed the appeal did not make a submission to the Committee of Adjustment prior to the Decision having been made.

CONTACT

Sarah Ovens, Application Technican

Tel. No.: 416-395-7461

E-mail: sovens@toronto.ca

155 Church Avenue – Proposed Consent

Proposal

The subject lands are located in the former City of North York and are subject to By-law 7625, as amended and By-law 569-2013, as amended. The property is zoned R4 and is located in the Neighbourhood McKee, in District 4 under By-law 7625. The property is zoned RD (f15.0, a550)(x5) under By-law 569-2013. The existing property is identified as Lot 144 and Lot 145, Registered Plan 2633 on a Plan of Survey prepared by Mandarin Surveyors Limited on July 17, 2012 (Job No 2012-049). The existing lot maintains a lot frontage of 19.04m and a lot area of 737.05 square meters.

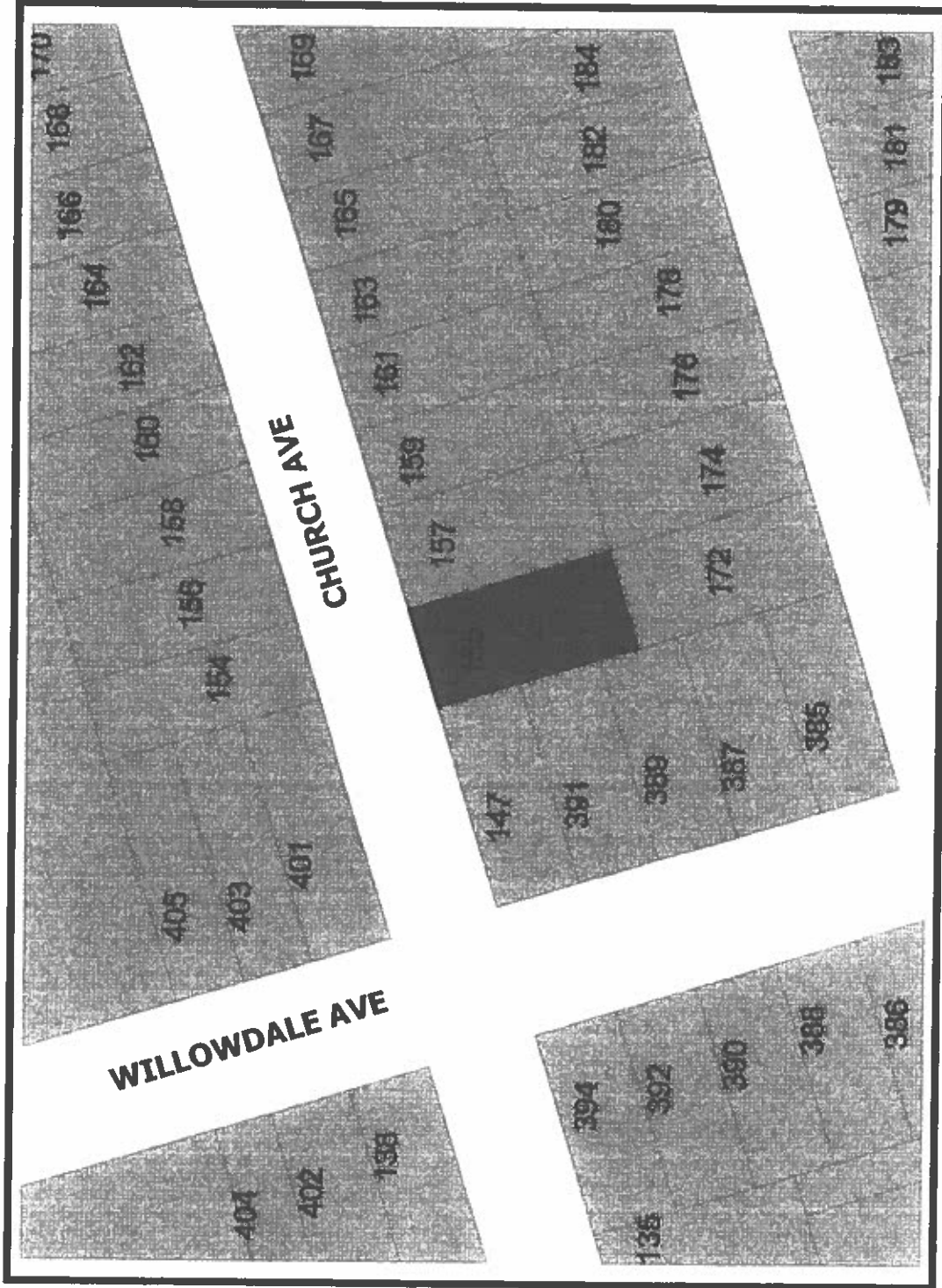
The applicant proposes to sever the property into two equal parts for the purpose of creating a new building lot. Both the retained and severed parcel would be essentially of equal size, both having lot frontage of 9.52m and lot depth of 38.7m. Part 1 (West 9.52m of 155 Church Ave.) would have a lot area of 368.40 sq. m. and Part 2 (East 9.52m of 155 Church Ave.) would have a slightly larger lot area of 368.65m due to a slight irregularity in the lot. It should be noted that severances at 131 [OMB approval January 12, 2012 – PL110630] and 133 Church Avenue [OMB approved October 25, 2012 – PL120739], requesting property dimensions similar in size as those proposed under this application were recently approved by the Ontario Municipal Board.

This proposal also involves the demolition of the existing single detached dwelling and the construction of a new single family detached dwelling with integral at-grade garage on each lot. Variances have been requested under both By-law 7625 and By-law 569-2013 for each parcel under associated variance applications.



155 CHURCH AVENUE

B051/13NY, A636/13NY & A637/13NY



**SKETCH SHOWING ELEVATIONS OF
LOT 144 AND PART OF LOT 145
REGISTERED PLAN 2633
CITY OF TORONTO
(FORMERLY CITY OF NORTH YORK)**

SCALE 1:250



MANDARIN SURVEYORS LIMITED, O.L.S. ©

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

- PN DENOTES PROPERTY IDENTIFIER NUMBER
- D.S. DENOTES FINISHED SILL ELEVATION AT ENTRY
- N.S.E.W. DENOTES NORTH, SOUTH, EAST, WEST
- R.F. DENOTES RAIL FENCE
- B.F. DENOTES BOARD FENCE
- CONC. DENOTES CONCRETE
- W.V. DENOTES WATER VALVE
- M.H. DENOTES MAN HOLE
- C.B. DENOTES CATCH BASIN
- S.S. DENOTES STREET SIGN
- DENOTES CONIFEROUS TREE
- DENOTES DECIDUOUS TREE

BENCHMARK NOTE

ELEVATIONS SHOWN HEREON ARE DERIVED FROM THE CENTRE LINE OF ROAD
HAVING AN ASSUMED ELEVATION OF 99.81m.

SURVEYOR'S CERTIFICATE

THE FIELD OBSERVATIONS REPRESENTED ON THIS PLAN WERE COMPLETED
ON THE 8th DAY OF MARCH, 2013

MARCH 10, 2013
DATE

Z. ZENG
ONTIARIO LAND SURVEYOR

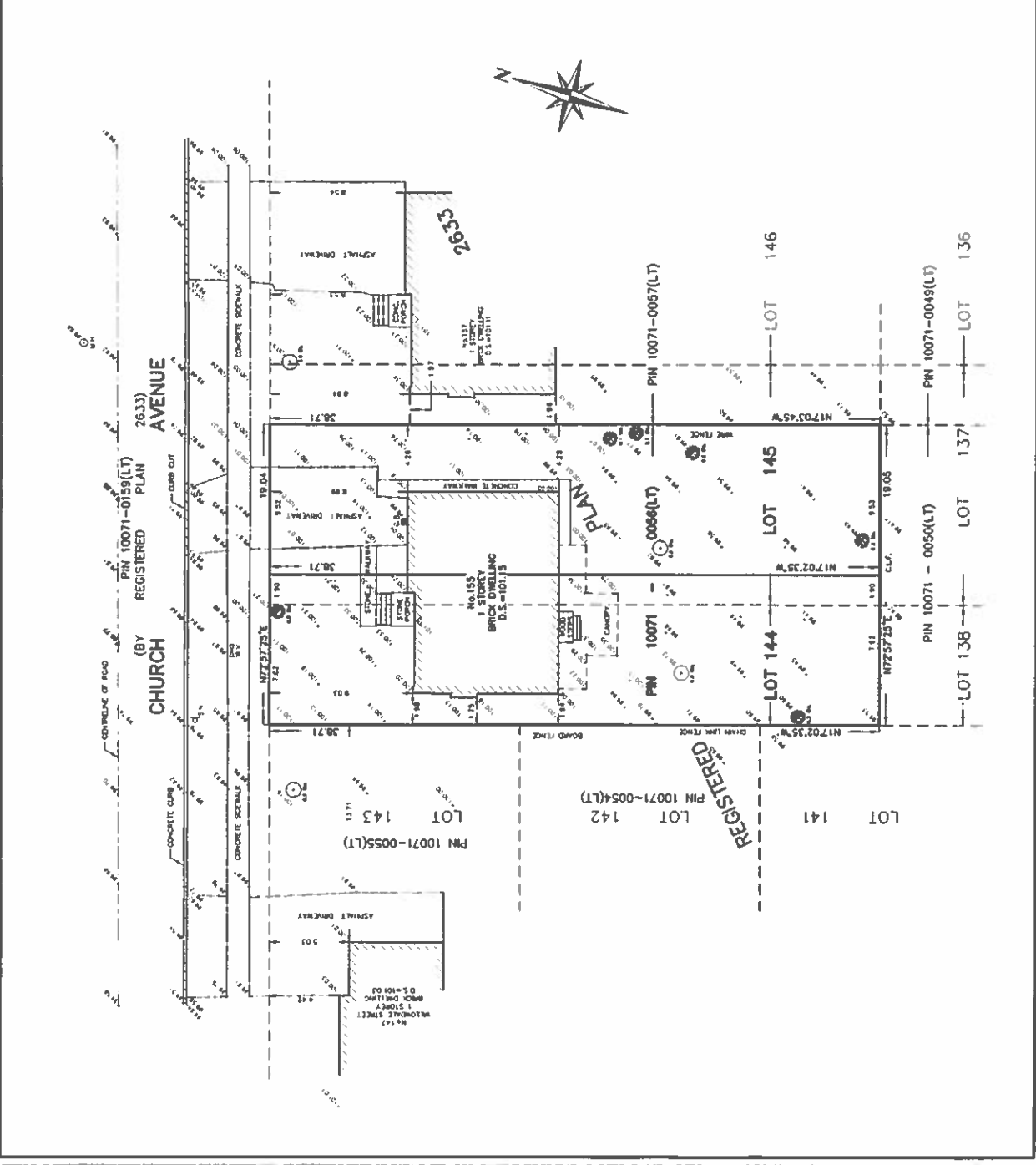
CAUTION

THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR
PURPOSES OF TRANSACTION PURPOSES.



MANDARIN SURVEYORS LIMITED
ONTIARIO LAND SURVEYOR
1100 SHEPPARD AVENUE EAST, SUITE 101
TORONTO, ONTARIO, M1T 1R6
PHONE: (416) 491-1388 FAX: (416) 491-4088
E-MAIL: MANDARINSURVEYORS@GMAIL.COM

REG. NO. 12-0487P REG. NO. 2012-048



PLAN 66R-
RECEIVED AND DEPOSITED

DATE: _____, 2012

REPRESENTATIVE OF LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF
THE TORONTO REGISTRY OFFICE (NO. 66)

Z. ZENG
ONTIARIO LAND SURVEYOR

**PLAN OF SURVEY OF
LOT 144 AND PART OF LOT 145
REGISTERED PLAN 2633
CITY OF TORONTO
(FORMERLY CITY OF NORTH YORK)**

SCALE 1:250

MANDARIN SURVEYORS LIMITED, O.L.S. ©

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

- D DENOTES MONUMENT SET
- DB DENOTES MONUMENT FOUND
- SB DENOTES IRON BAR
- RP DENOTES REGISTERED PLAN 2633
- BA1 DENOTES PLAN BA-2057
- BA2 DENOTES PLAN BA-484
- BA3 DENOTES PLAN BA-484
- P1 DENOTES PLAN OF SURVEY BY W.S. GIBSON & SONS, O.L.S., DATED SEPTEMBER 7, 1955
- MEAS DENOTES MEASURED
- N.S.E.W DENOTES NORTH, SOUTH, EAST, WEST
- C.L.F. DENOTES CHAIN LINK FENCE
- B.F. DENOTES BOUNDARY FENCE
- SOP DENOTES SURVEYOR'S OWN POINT

RECEIVED

SEP 05 2013

Toronto Building
North York District

NOTES
BEARINGS ARE N.T.M. GRID DERIVED FROM SPECIFIED CONTROL POINTS
020844008 AND 020844009, N.T.M. ZONE 10, MAD83 (CSRS)
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING
BY THE COMBINED SCALE FACTOR OF 0.999872

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM
- THE SURVEY WAS COMPLETED ON THE 12th DAY OF JULY, 2012

DATE: JULY 17, 2012

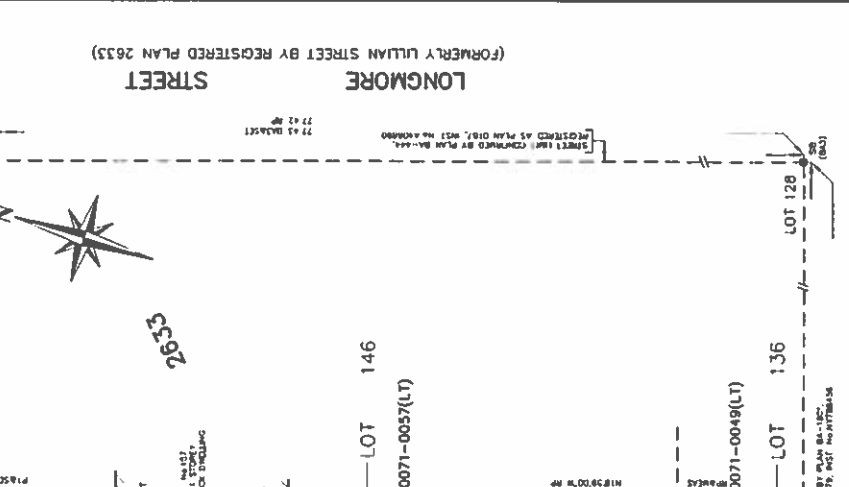
Z. ZENG
ONTARIO LAND SURVEYOR

MANDARIN SURVEYORS LIMITED
42 RAVENHOLT CRESSIDT TORONTO, ONTARIO, M1T 1R8
PHONE: (416) 750-1398 FAX: (416) 750-4088
WWW.MANDARINSURVEYORS.COM E-MAIL: MANDARINSURVEYOR@GMAIL.COM

JOB No. 2011-048

SCHEDULE

PART	PART OF LOT	REGISTERED PLAN	ALL OF PIN	AREA(M ²)
1	ALL OF 144	2633	10071-0056(LT)	294.92
2	145			73.48
3	145			388.63



SPECIFIED CONTROL POINTS (SOP)
N.T.M. ZONE 10, MAD83 (CSRS)

POINT ID	NORTHING	EASTING
SOP 020844008	4848428.751	312488.857
SOP 020844009	4848438.472	312496.396
1	4848430.805	312486.744
2	4848442.143	312525.779
3	4848447.771	312541.928

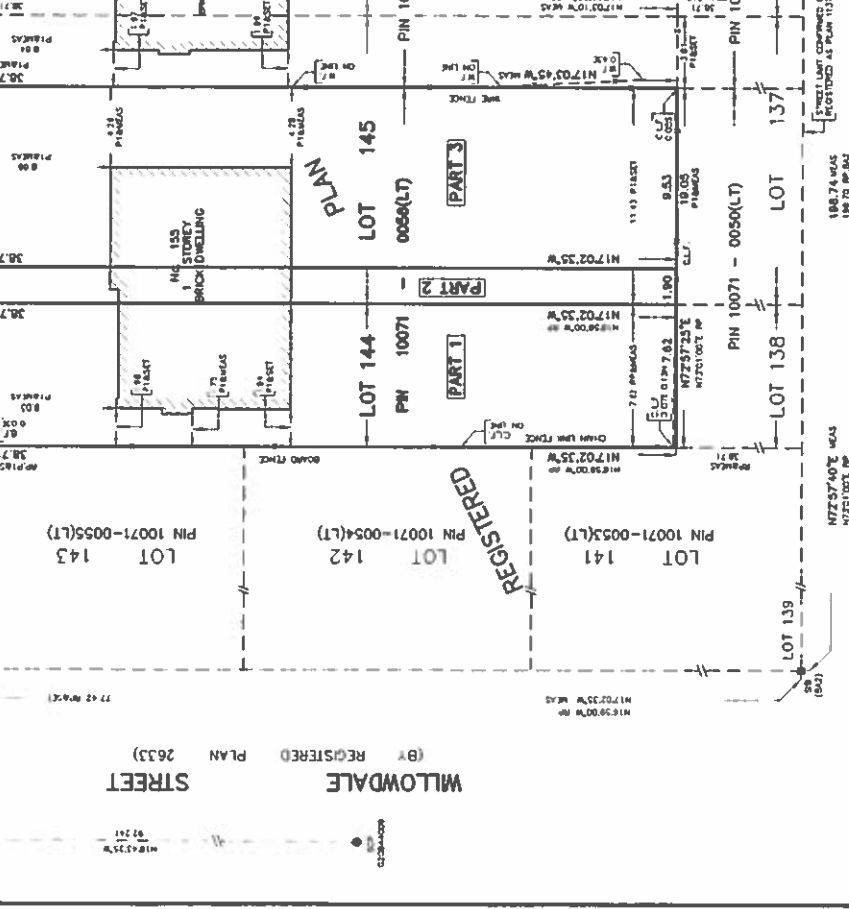
COORDINATES CANNOT BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

REGISTERED PLAN 2633
PIN 10071-0159(LT)
CHURCH AVENUE

REGISTERED PLAN 2633
PIN 10071-0055(LT)
MCKEE AVENUE

REGISTERED PLAN 2633
PIN 10071-0054(LT)
WILLOWDALE STREET

REGISTERED PLAN 2633
PIN 10071-0053(LT)
LONGMORE STREET



REGISTERED PLAN 2633
PIN 10071-0056(LT)
LONGMORE STREET

REGISTERED PLAN 2633
PIN 10071-0049(LT)
MCKEE AVENUE

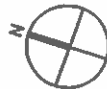
REGISTERED PLAN 2633
PIN 10071-0057(LT)
WILLOWDALE STREET

REGISTERED PLAN 2633
PIN 10071-0058(LT)
LONGMORE STREET

CONTRACTOR MUST CHECK & VERIFY ALL DIMENSIONS ON SITE
DO NOT SCALE DRAWINGS
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THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT

NO.	DATE	BY	DESCRIPTION
1			COMMITTEE OF ADJUSTMENT

TAES Architects Inc.
12 JUPITER ROAD, SUITE 2A
TORONTO, ONTARIO
M9B 7Y3
T. 416.800.3264



RESIDENCE
155 CHURCH AVE.
TORONTO, ON

PROJECT NUMBER: 1201224
DRAWN BY: CHECKED BY:
27 JULY 2013 SCALE: 1:200
DATE: DRAWING NAME:

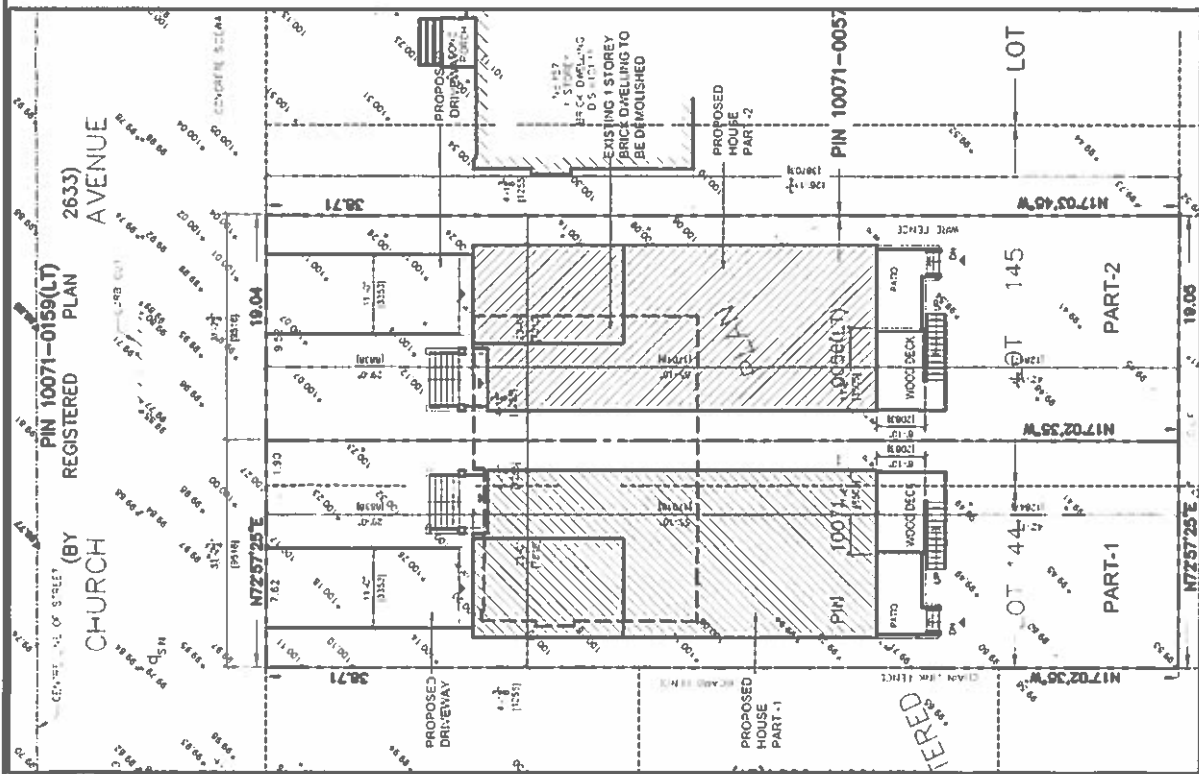
SITE PLAN

DRAWING NUMBER A-01

DESCRIPTION	REQUIRED	EXISTING	PROPOSED PART-1	PROPOSED PART-2
ZONING	R4 (BYLAW 7625) RD (BYLAW 569-2013)			
PLAN NO.	2633			
LOT NO.	144 & PART OF 145	144 & PART OF 145	144 & PART OF 145	PART OF 145
LOT AREA	550m ² (MIRL LOT AREA)	7926.74ft ² (737.8m ²)	3966.6ft ² (368.55m ²)	3966.6ft ² (368.55m ²)
LOT FRONTAGE	15.0m	62'-5 1/2" (19.03m)	31'-2 1/2" (9.52m)	31'-2 1/2" (9.52m)
LOT DEPTH		126'-11 1/2" (38.7m)	126'-11 1/2" (38.7m)	126'-11 1/2" (38.7m)
MAX. BUILDING LENGTH	16.5m	9.61m	55'-10" (17.02m)	55'-10" (17.02m)
BUILDING HEIGHT PER BY LAW 7625	9.1m	9.1m	29'-10" (9.1m)	29'-10" (9.1m)
BUILDING HEIGHT PER BY LAW 569-2013	10 m	31'-10" (9.7m)	31'-10" (9.7m)	31'-10" (9.7m)
NO. OF STORIES	2	1	2	2
BUILDING WIDTH		42'-0" (12.8m)	23'-0" (7.01m)	23'-0" (7.01m)
DRIVEWAY WIDTH	6.0 m	14'-0" (4.26m) (TO BE VERIFIED)	11'-0" (3.35m)	11'-0" (3.35m)
LOT COVERAGE	MAX. LOT COVERAGE	30%	1266.6ft ² (117.775m ²)	1266.6ft ² (117.775m ²)
GROSS FLOOR AREA			2,533.6 SF (235.5m ²)	2,533.6 SF (235.5m ²)
FRONT YARD LANDSCAPING		50%	44.57m ² (479.33sf)	44.57m ² (479.33sf)
FRONT YARD SOFT LANDSCAPING		75%	462.54m ² (457.7sf)	462.54m ² (457.7sf)
FIRST FLOOR ELEVATION	1.5m		4'-11" (1.50m)	4'-11" (1.50m)

SETBACKS	REQUIREMENT	EXISTING	PROPOSED	REQUIRED
FRONT	7.5m	28'-5 1/2" (8.7m)	29'-0" (8.8m)	29'-0" (8.8m)
SIDE (WEST)	1.8m	6'-0" (1.90m)	4'-1 1/2" (1.26m)	4'-1 1/2" (1.26m)
SIDE (EAST)	1.8m	13'-11 1/2" (4.25m)	4'-1 1/2" (1.26m)	4'-1 1/2" (1.26m)
REAR	9.5m	65'-11" (20.40m)	42'-1 1/2" (12.8m)	42'-1 1/2" (12.8m)

1 SITE STATISTICS
SCALE: 1:200



2 SITE PLAN
SCALE: 1:200

Mailed on/before: Wednesday, October 23, 2013

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Wednesday, November 6, 2013 at 10:00 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A636/13NY	Zoning	R4/RD (f15.0; a550) (x5) [WAIVER]
Owner(s):	YI FU WANG	Ward:	Willowdale (23)
Agent:	QUICKSILVER DEVELOPMENT SERVICES		
Property Address:	155 CHURCH AVE (PART 1 and 2)	Community:	North York
Legal Description:	PLAN 2633 LOT 144 PT LOT 145		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral, above grade, garage. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 13.21 and 6(8), By-law No. 7625**
Proposed lot frontage and width of 9.52m
WHEREAS the minimum required lot frontage and width is 15.0m;
- Section 10.20.30.20(1)(A), By-law No. 569-2013**
Proposed lot frontage of 9.52m
WHEREAS the minimum required lot frontage is 15.0m;
- Section 13.2.2, By-law No. 7625 & Section 10.20.30.10(1)(A), By-law No. 569-2013**
Proposed lot area of 368.4m²
WHEREAS the minimum required lot area is 550.0m²;
- Section 13.2.4(a), By-law No. 7625 & Section 10.20.30.40(1)(A), By-law No. 569-2013**
Proposed lot coverage of 31.97% of the lot area
WHEREAS the maximum permitted lot coverage is 30% of the lot area;
- Section 13.2.3A, By-law No. 7625**

- Proposed west side yard setback of 1.25m
WHEREAS the minimum required west side yard setback is 1.5m;
6. **Section 13.2.3A, By-law No. 7625**
Proposed east side yard setback of 1.25m
WHEREAS the minimum required east side yard setback is 1.5m;
 7. **Section 900.3.10(5), By-law No. 569-2013**
Proposed west side yard setback of 1.25m
WHEREAS the minimum required west side yard setback is 1.8m;
 8. **Section 900.3.10(5), By-law No. 569-2013**
Proposed east side yard setback of 1.25m
WHEREAS the minimum required east side yard setback is 1.8m;
 9. **Section 13.2.5A 1.1(b), By-law No. 7625**
Proposed building length of 20.60m
WHEREAS the maximum permitted building length is 16.8m;
 10. **Section 13.2.6(ii), By-law No. 7625**
Proposed building height of 9.09m
WHEREAS the maximum permitted building height is 8.8m;
 11. **Section 10.20.40.10(2), By-law No. 569-2013**
Proposed main wall height of 7.82m
WHEREAS the maximum permitted main wall height is 7.5m; and
 12. **Section 10.5.40.60(1)(A)(i), By-law No. 569-2013**
Proposed east side yard setback to the front platform of 1.25m
WHEREAS the minimum required east side yard setback to the front platform is 1.8m.

THE COMMITTEE OF ADJUSTMENT & MINOR VARIANCES

The role of the Committee of Adjustment is to provide flexibility in dealing with minor adjustments to zoning by-law requirements. To approve such variances, the Committee must be satisfied that:

- the variance requested is minor;
- the proposal is desirable for the appropriate development or use of the land and/or building;
- the general intent and purpose of the City's Zoning Code and/or By-law are maintained; and
- the general intent and purpose of the Official Plan are maintained.

The Committee of Adjustment forms its opinion through its detailed review of all material filed with an application, letters received, deputations made at the public hearing and results of site inspections.

MAKING YOUR VIEWS KNOWN

The notice has been mailed to you, as required by the *Planning Act*, to ensure that, as an interested person, you may make your views known by:

- **Attending the Public Hearing.** Attendant Care Services can be made available with some advance notice.

- **Sending a letter by Mail or Fax.** Information you choose to disclose in your correspondence will be used to receive your views on the relevant issue(s) to enable the Committee to make its decision on this matter. This information will become part of the public record.

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TO VIEW THE MATERIALS IN THE APPLICATION FILE

Attend the Committee of Adjustment office at the above address Monday to Friday, 8:30 a.m. to 4:30 p.m. The standard fee will apply to any materials photocopied.

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- To receive a copy of the Decision, fill out the Decision Request Form at our office or at the Public Hearing or write a letter requesting a copy of the Decision and send it to our office.
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CONTACT

Sarah Ovens, Application Technician

Tel. No.: 416-395-7461

Email: sovens@toronto.ca

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THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT

NO.	REVISION	DATE	BY
1	COMPLETE UP ADJUSTMENT TO ARCH. SET		

TAES Architects Inc.
 12 SPADINA AVENUE 1A
 TORONTO ONTARIO
 M5S 2N9
 T 416 603 3324

RESIDENCE
 155 CHURCH AVE.
 TORONTO ON

PROJECT NUMBER: T201224

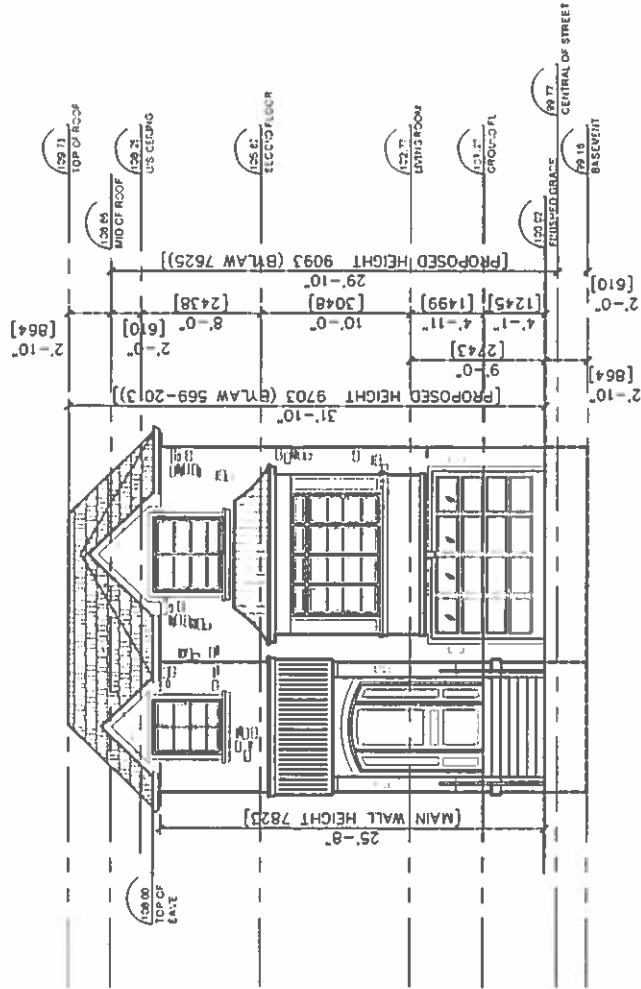
DRAWN BY: _____ CHECKED BY: _____

DATE: _____ SCALE: 1/8" = 1'-0"

DRAWING NAME: NORTH ELEVATION

(PART 1)

DRAWING NUMBER: A-06



1 NORTH ELEVATION
 SCALE 1/8" = 1'-0"

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TO VIEW THE MATERIALS IN THE APPLICATION FILE

Attend the Committee of Adjustment office at the above address Monday to Friday, 8:30 a.m. to 4:30 p.m. The standard fee will apply to any materials photocopied.

RECEIVING A COPY OF THE COMMITTEE'S DECISION

- The Committee will announce its decision on the application at the Public Hearing.
- To receive a copy of the Decision, fill out the Decision Request Form at our office or at the Public Hearing or write a letter requesting a copy of the Decision and send it to our office.
- If you wish to appeal a Decision of the Committee to the Ontario Municipal Board, you must file your written request for a decision with the Deputy Secretary-Treasurer.

CONTACT

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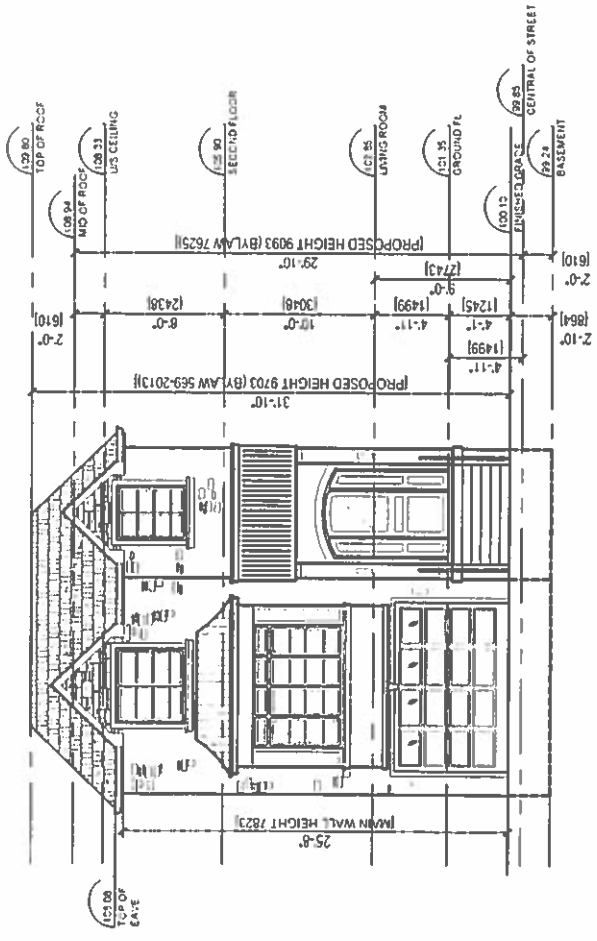
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NO	REVISION	DATE
1	COMMITTEE OF ADJUSTMENT	11-20-2012

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 TEL: 416 800 3284

RESIDENCE
 155 CHURCH AVE.
 TORONTO, ON

PROJECT NUMBER: T201224
 DRAWN BY: _____ CHECKED BY: _____
 DATE: _____ SCALE: 1/4"=1'-0"
 DRAWING NAME: NORTH ELEVATION
 (PART 2)
 DRAWING NUMBER: A-06



1 NORTH ELEVATION
 SCALE 1/4"=1'-0"