

148 Finch Avenue West – Zoning By-law Amendment and Site Plan Control Applications – Final Report

Date:	December 20, 2012
To:	North York Community Council
From:	Director, Community Planning, North York District
Wards:	Ward 23 – Willowdale
Reference Number:	04 164364 NNY 23 OZ & 07 265021 NNY 23 SA

SUMMARY

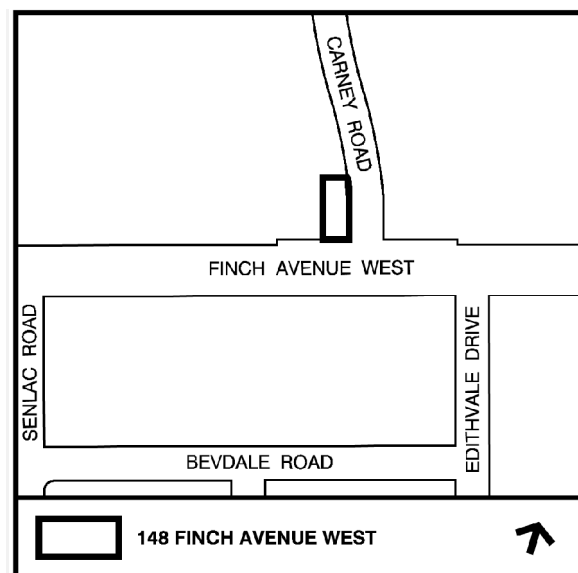
The rezoning application proposes to amend former City of North York Zoning By-law No. 7625 for 148 Finch Avenue West to permit the construction of a three storey mixed use building, with commercial office uses at grade, and four residential units on the second and third floors. The application proposes nine surface parking spaces at the rear of the building accessed from Carney Road.

This report reviews and recommends approval of the application to amend the Zoning By-law and to approve in principal the associated Site Plan Control application.

RECOMMENDATIONS

The City Planning Division recommends that:

1. City Council amend former City of North York Zoning By-law No. 7625 for the lands at 148 Finch Avenue West substantially in accordance with the draft Zoning By-law Amendment attached as Attachment No. 6.



2. City Council authorize the City Solicitor to make such stylistic and technical changes to the draft Zoning By-law Amendment as may be required.
3. City Council approve in principle the Site Plan as indicated on the drawing in Attachment No. 1, subject to the Draft Conditions of Site Plan Approval listed in Attachment No. 7.
4. City Council delegate back to the Chief Planner and Executive Director, City Planning, or her designate the authority to issue final Site plan Approval.

Financial Impact

The recommendations in this report have no financial impact.

APPLICATION HISTORY

The rezoning application to permit a mixed-use building was originally filed on August 9, 2004. Staff encouraged the applicant to also submit for Site Plan Approval so the applications could be reported concurrently and allow for required conditions and securities to be secured through the Site Plan Approval process. The applicant subsequently applied for Site Plan Control Approval on September 26, 2007.

In September 2008, the applicant indicated he wished to explore the possibility of adding additional lots to the north of the site to the proposal. As the additional lands are outside the Central Finch Area Secondary Plan, the applicant was advised an Official Plan Amendment would be required. The applicant subsequently indicated they would proceed with the original proposal, but continue to consider other development scenarios.

During the review of the proposal a number of issues were identified by the City's Technical Services Division with the proposed Stormwater Management, Site Servicing and Grading for the site. These issues were eventually addressed by the applicant and their consultants in late December of 2010. Revised plans and updated survey were provided to the City for review in August 2011.

Further revised plans and reference plan of survey were submitted in late 2011 and spring of 2012. At a meeting in October 2012, the applicant and the owner of the site confirmed with City Planning Staff that they were no longer assessing other development scenarios, and instead wished to proceed to finalize the application as submitted as soon as possible, which is the subject of this report.

ISSUE BACKGROUND

Proposal

The application proposes to redevelop the site with a 3-storey (11 metres) mixed use building with commercial office uses at grade and four residential units on the second and third floors. The proposed building would have a commercial gross floor area of 183 m² and residential gross floor area of 389 m², for a total gfa of 572 m². The proposed mixed use development would have a Floor Space Index (FSI) of 1.0.

A total of nine at-grade parking spaces are proposed to be located to the rear of the building, accessed via a driveway off the west side of Carney Avenue. The proposed parking spaces would be used by both the commercial office and residential portions of the proposed mixed use building.

Site and Surrounding Area

The site is located on the northwest corner of Finch Avenue West and Carney Avenue, midway between Senlac Road to the west and Yonge Street to the east.

The subject lands have a frontage of 15.9 metres along the north side of Finch Avenue West and a depth of approximately 36.6 metres along the west side of Carney Avenue. The subject lands have a total area of 574 m². A two storey single detached residential dwelling presently exists on the site.

The surrounding land uses are as follows:

- North: single-detached residential dwellings in a residential neighbourhood;
- South: on the south side of Finch Avenue are found single detached residential dwellings, with some conversions to permit commercial office uses; to the southeast is located the Edithvale Community Centre;
- East: immediately across Carney Avenue are located two, one storey residential dwellings, beyond which is a two storey mixed use building at 140 Finch Avenue West approved by City Council in 2011. Further east is a 73 unit townhouse development; and
- West: a 4 unit townhouse complex is immediately adjacent followed by one storey, residential dwellings and St. Antoine Daniel Catholic School.

Provincial Policy Statement and Provincial Plans

As the Zoning By-law Amendment application was submitted before March 1, 2005, the currently in-force Provincial Policy Statement does not apply to the proposed mixed use development. The proposed mixed use development is also not subject to the current Growth Plan for the Greater Golden Horseshoe as the application was submitted before June 16, 2006.

Official Plan

The Official Plan designates the subject lands as *Mixed Use Areas*. *Mixed Use Areas* consist of a broad range of commercial, residential and institutional uses, in single use or mixed use buildings, as well as parks and open spaces. Development in *Mixed Use Areas* is intended to create a balance of commercial, residential, institutional and open space uses that reduces automobile dependency and meets the needs of the local community.

Buildings in *Mixed Use Areas* are to be located and massed to provide a transition between different development intensity and scales, particularly towards lower scale *Neighbourhoods*. Development in *Mixed Use Areas* is intended to frame streets and provide an attractive, comfortable and safe pedestrian environment to take advantage of nearby transit services.

The subject lands are also designated *Mixed Use Area “B”* within the Central Finch Area Secondary Plan. This designation provides for detached and multiple-unit residential, retail and service commercial uses, offices, places of worship, public parks and recreational facilities, and institutional uses.

For sites with frontage on Finch Avenue West of less than 30 metres, such as the subject lands, the maximum density permitted is 1.0 times the lot area provided that the maximum height of a mixed use project is 3 storeys or 11 metres, whichever is less, and provided that the amount of gross floor area devoted to commercial uses does not exceed 0.75 times the lot area. The Plan also requires that retail uses are located only on the ground floor of mixed use projects.

To buffer abutting residential neighbourhoods from the effects of development on Finch Avenue, the Secondary Plan also requires that the height of any part of a building not exceed 70% of the horizontal distance separating that part of the building from the nearest residential property line, provided that the setback is not less than 9.5 metres. In addition, the plan also requires fencing and a minimum 1.5 metre landscaping strip along property lines abutting adjacent residential neighbourhoods.

Zoning

The subject lands are zoned “Residential Fourth Density Zone (R4)” in Zoning By-law No. 7625 for the former City of North York, which permits single-detached dwellings and accessory buildings.

Site Plan Control

The applicant has submitted a concurrent Site Plan Control application which has been reviewed concurrently with the rezoning application.

Reasons for Application

The proposal to permit commercial office uses on the first floor and residential uses above is not permitted in the Residential Fourth Density Zone (R4). An amendment to the

Zoning By-law is required to implement appropriate development standards for the proposal.

Community Consultation

A Community Consultation meeting was held on March 2, 2005, at the Edithvale Community Centre. The meeting was attended by the Ward Councillor's representative, City Planning staff, the property owner and the applicant. There were approximately 10 members of the public in attendance.

Issues raised by area residents, which have been considered in the review of the application, were generally related to the following matters:

- vehicular access to the subject site and traffic infiltration into the residential neighbourhood to the north;
- amount of parking proposed for the development and potential issues created by overflow street parking;
- appropriate lighting of the subject lands to ensure a safe environment;
- design of the proposed mixed use building; and
- that the building not include a medical office.

Since the Community Consultation meeting, City Planning staff have not received any further inquiries or correspondence from the public or interested parties regarding the proposed mixed use development.

Agency Circulation

The application was circulated to all appropriate agencies and City divisions. Responses received have been used to assist in evaluating the applications and to formulate appropriate By-law standards and draft Conditions of Site Plan Approval.

COMMENTS

Provincial Policy Statement and Provincial Plans

As noted above, the rezoning application for a proposed mixed use development predates the implementation of both the PPS and Growth Plan. However, the proposed mixed use development is consistent with the intent of the PPS, to provide for a range of land uses and that intensification and redevelopment opportunities are identified and promoted. The proposal is also in conformity with the Growth Plan for the Greater Golden Horseshoe which provides a framework for where growth should occur.

Land Use

The Central Finch Area Secondary Plan designates the lands at 148 Finch Avenue West as *Mixed Use Area "B"*. This designation provides for a broad range of uses including detached and multiple-unit residential, retail and service commercial uses, offices, places of worship, public parks and recreational facilities, and institutional uses.

The proposed commercial office uses are similar to other small commercial and professional office uses within existing and purpose-built buildings that have been approved in the Finch Avenue West corridor. Concerns of area residents that the proposal would negatively impact the community have been addressed by limiting the type of commercial uses that can be operated from the premises. In this regard, the applicant has agreed that commercial schools, day nursery, fitness centre, place of worship, professional medical office, restaurant or take-out restaurant will not be permitted. The Draft Zoning Bylaw (Attachment No. 6) excludes the above listed uses, and in accordance with the Secondary Plan, restricts the commercial uses to the ground floor of the proposed mixed use development.

The residential component of the proposed development is compatible with neighbouring residential uses to the west and north of the site. As encouraged by the Plan, the proposed development also presents a similar built form as the residential townhouses immediately to the west of the site.

The proposal for a mixed commercial and residential project complies with the Secondary Plan policies, which seeks development compatible with adjacent residential uses, and which will encourage pedestrian activity along Finch Avenue.

Density, Height, and Massing

Along this portion of Finch Avenue, and for lots with less than 30 metres of frontage, the Secondary Plan provides for a maximum FSI of 1.0 for mixed commercial-residential projects, provided that the commercial portion does not exceed a gross floor area of .75 times the lot area. The proposed 3-storey mixed use project will have a total density of 1.0 FSI (572 m²), of which 389 m² (0.67 FSI) is for residential use and 183 m² (0.33) is for commercial purposes. This conforms to the Secondary Plan.

The Secondary Plan provides for a maximum height limit of 3-storeys or 11 metres and requires that the height of any part of the building not exceed 70% of the horizontal distance separating that part of the building from the nearest residential property line, provided the setback is not less than 9.5 metres. These provisions ensure that new development is stepped back proportionately to minimize potentially negative impacts on the privacy and views of adjacent lower density residential properties.

The proposed mixed use building is designed such that at the rear, a portion of the second floor projects approximately 1.8 metres over the parking area (see West Elevations, Attachment No. 2). A terrace amenity of approximately 10 m² would be located on the third floor for two of the proposed residential units. As designed, the proposed building would have a height of 11 metres to the mid-point of the roof, and a rear yard setback of 18 metres from the furthest projection of the rear wall to the north property line. The angular plane provision of the Secondary Plan would also be maintained. Given the modest size of the proposed third floor terrace, and the distance to the rear property line, it is not anticipated that any negative impact will occur on the privacy, light penetration or personal enjoyment of the residential property owners to the north.

Site Plan

As noted above, the applicant has applied for Site Plan Control Approval. This report recommends approval in principle of the drawings and conditions as listed in the Draft Conditions of Site Plan Approval (Attachment No. 7). The applicant will be required to enter into a Site Plan Agreement which will also include a requirement to convey land for future corner rounding purposes.

The applicant has proposed a 1.5 metre wide landscape strip, with shrubbery and 1.8 metre high privacy fence along the north property line, which abuts the adjacent residential designation and privacy fencing along the east property line to screen the parking area. This will address the requirements of the Central Finch Area Secondary Plan for landscaping and screening where proposed development abuts lower density residential uses. To ensure a safe environment at the rear of the proposed development, a lighting plan will also be required from the applicant, and this will be secured through the Site Plan Approval process.

Streetscape

The applicant has proposed landscaping and two additional private trees at the front of the subject lands which would result in an attractive street-edge on Finch Avenue, and assist to create a comfortable and safe pedestrian environment.

Five new street trees are also proposed on the Carney Avenue frontage. The proposed landscaping and tree additions will create a pleasant pedestrian oriented landscape and street edge at this entry into the residential community to the north along Carney Avenue, and will be secured in the Site Plan Agreement.

Traffic Impact, Access, and Parking

The proposed development would have vehicular access via a driveway from Carney Avenue, providing access to 9 parking spaces at the rear of the building. City Transportation Services Staff are satisfied with the proposed parking supply, layout and access. Given the proposed on-site parking supply and relatively small size of the commercial component for the proposed development, traffic infiltration into the residential neighbourhood to the north is not considered a significant concern.

Road Widening and Encroachments

Transportation Services Staff have determined that a 4.5 metre radius corner rounding at the corner of Finch Avenue West and Carney Avenue is required. This will be secured in the Site Plan Agreement for the development and will be required to be conveyed to the City prior to final Site Plan Approval.

Servicing

Technical Services Staff are satisfied that the stormwater management, site servicing and grading for the lands complies with the Best Management Practices for Stormwater Management and the City of Toronto's Wet Weather Flow Management Guidelines,

which requires grades that provide for overland water flow away from adjacent properties.

Open Space/Parkland

City Parks, Forestry and Recreation Staff have recommended cash-in-lieu of parkland for the proposal. At the parkland dedication rate of 5% as specified in By-law 1020-2010, the parkland dedication for the residential component of the proposed development would be 0.0039 hectares while the non-residential component of 2% would generate a parkland requirement of 0.000367 ha. In total, the parkland dedication requirement would be 0.0043 hectares. The actual amount of cash-in-lieu to be paid will be determined at the time of issuance of the building permit.

Toronto Green Standard

This rezoning application was submitted prior to January 31, 2010 and is not subject to the Toronto Green Standard. However, the applicant is proposing additional landscaping for the lands and new street trees along both Finch and Carney Avenues.

CONTACT

Ben DiRaimo, Planner
Tel. No. (416) 395-7119
Fax No. (416) 395-7155
E-mail: bdiraimo@toronto.ca

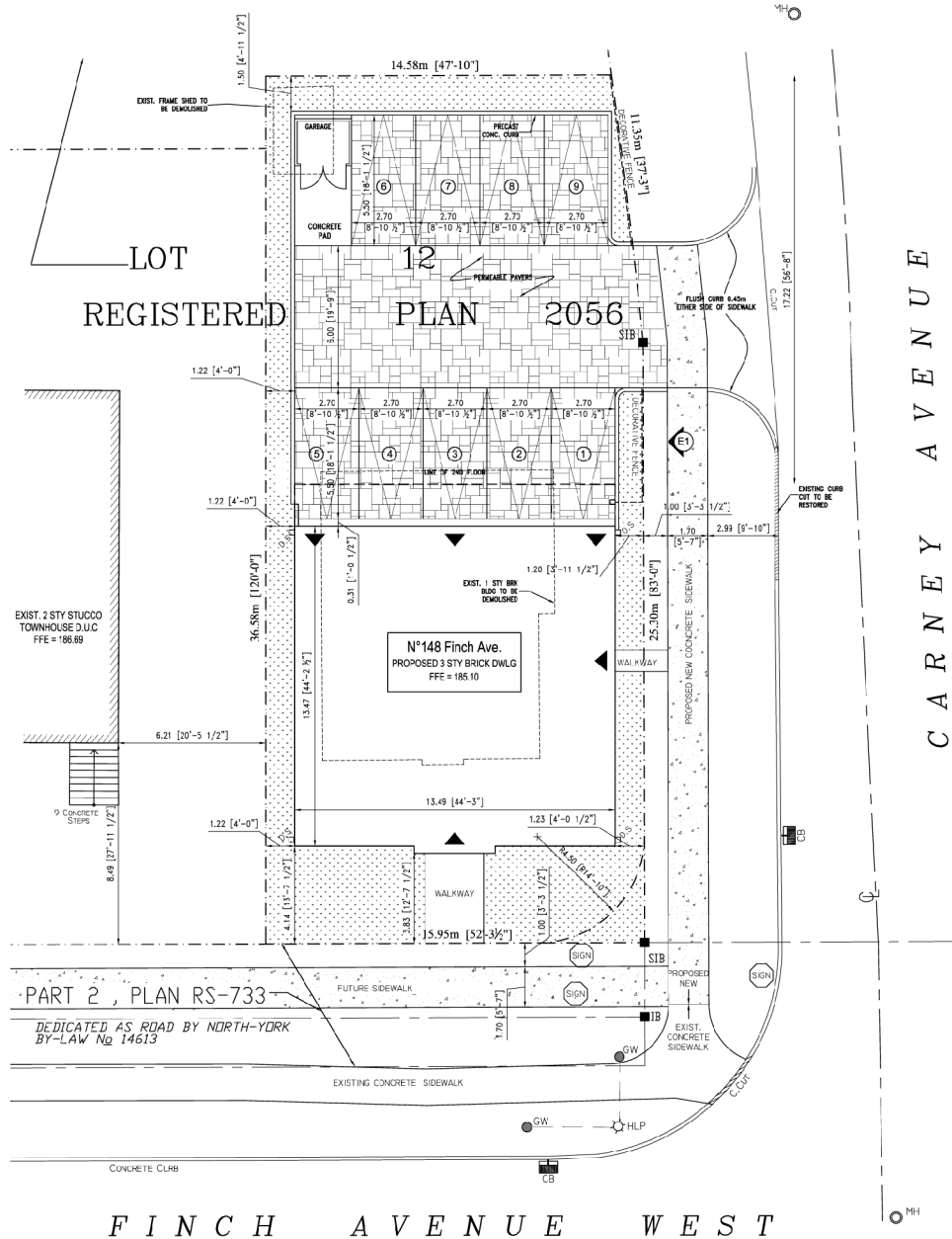
SIGNATURE

Allen Appleby, Director
Community Planning, North York District

ATTACHMENTS

Attachment 1: Site Plan
Attachment 2: South and West Elevations
Attachment 3: North and East Elevations
Attachment 4: Zoning
Attachment 5: Application Data Sheet
Attachment 6: Draft Zoning By-law Amendment
Attachment 7: Draft Conditions of Site Plan Approval

Attachment 1: Site Plan



Site Plan

148 Finch Avenue West

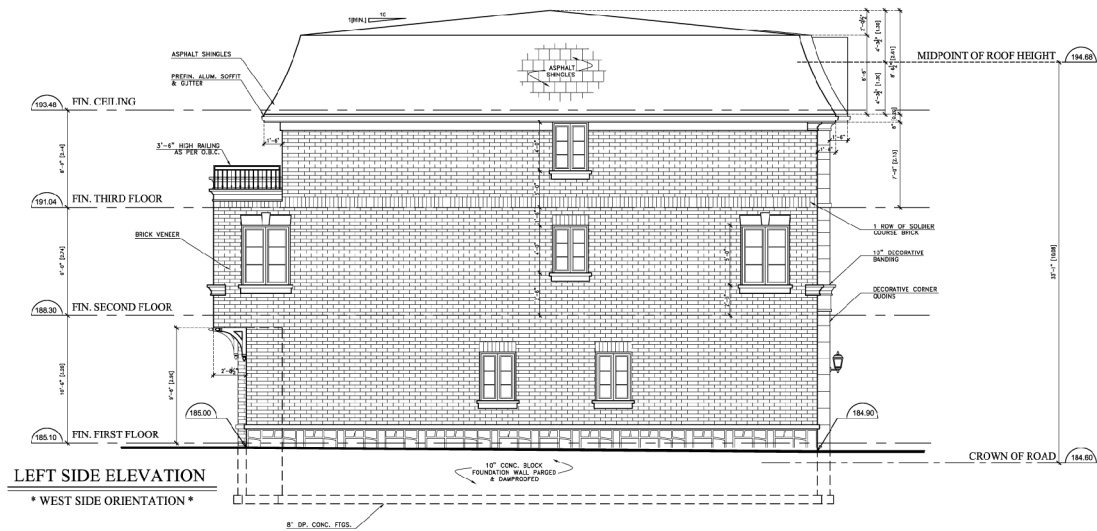
Applicant's Submitted Drawing

Not to Scale
11/26/2012



File # 04 164364 NNY 23 02

Attachment 2: South and West Elevations



Elevations

Applicant's Submitted Drawing

Not to Scale
 11/26/2012

148 Finch Avenue West

File # 04 164364 NNY 23 0Z

Attachment 3: North and East Elevations



Elevations

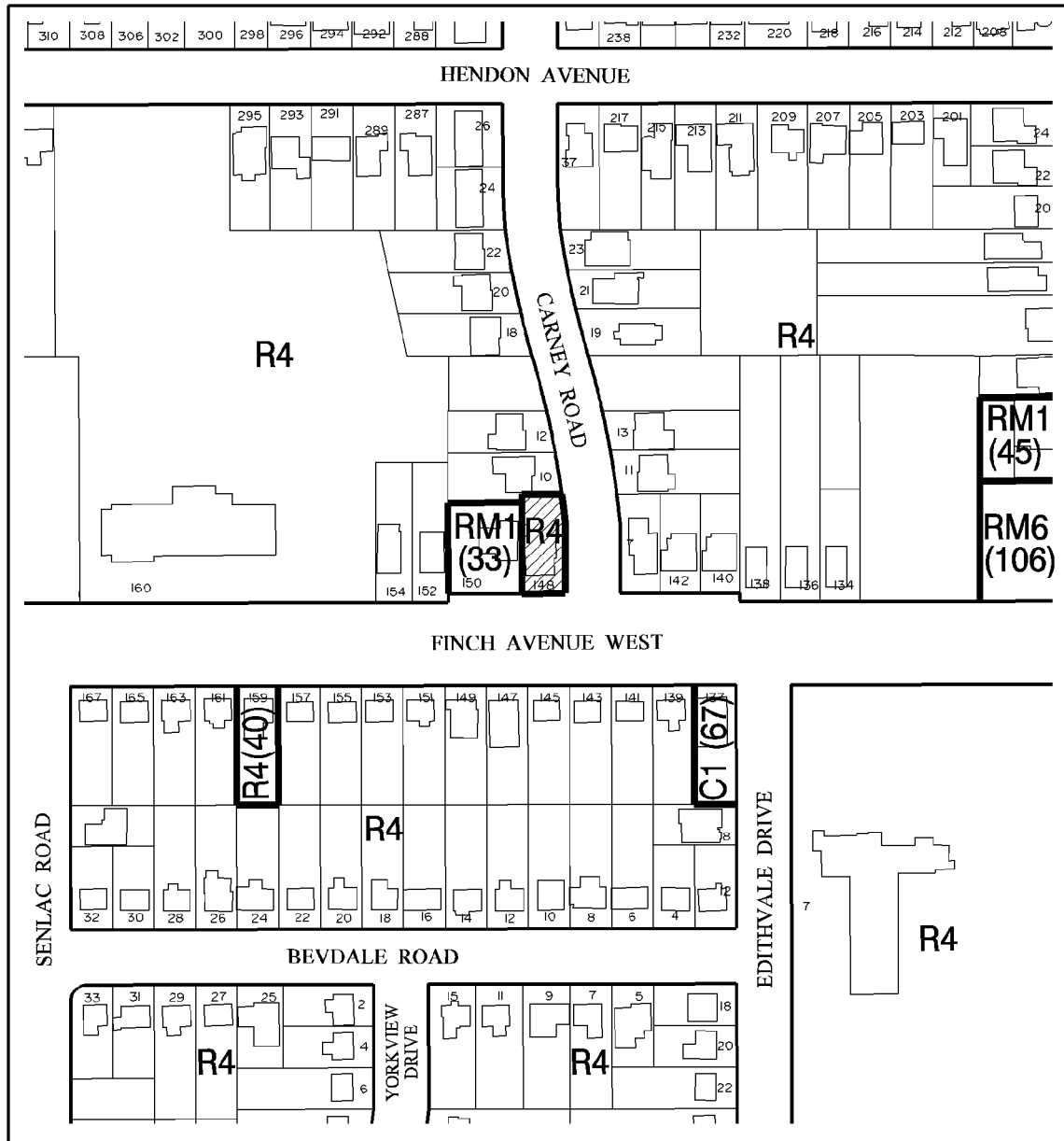
148 Finch Avenue West

Applicant's Submitted Drawing

Not to Scale
11/26/2012

File # 04 164364 NNY 23 02

Attachment 4: Zoning



Toronto Urban Development Services
Zoning

148 Finch Avenue West

File # 04_164364

R4 One-Family Detached Dwelling Fourth Density Zone
RM1 Multiple-Family Dwellings First Density Zone
RM6 Multiple-Family Dwellings Sixth Density Zone
C1 General Commercial Zone
NOTE: Numbers in Brackets Denote Exceptions to the Zoning Category

↑
Not to Scale
Zoning By-law 7625
Extracted 8/12/04

Attachment 5: Application Data Sheet

Application Type	Rezoning	Application Number:	04 164364 NNY 23 OZ
Details	Rezoning, Standard	Application Date:	August 9, 2004

Municipal Address:	148 FINCH AVE W, TORONTO ON
Location Description:	PLAN 2056 PT LOT 12 **GRID N2301
Project Description:	Proposed three storey mixed use building, with commercial/office on ground floor and 4 residential units on floors 2 & 3.

Applicant:	Agent:	Architect:	Owner:
RUBINOFF DESIGN GROUP			THE MEDICAL GROUP INC

PLANNING CONTROLS

Official Plan Designation:	CFMU-1	Site Specific Provision:	
Zoning:	R4	Historical Status:	
Height Limit (m):	8.8	Site Plan Control Area:	N

PROJECT INFORMATION

Site Area (sq. m):	574	Height:	Storeys:	3	
Frontage (m):	15.95		Metres:	11	
Depth (m):	36.66				
Total Ground Floor Area (sq. m):	206.2				Total
Total Residential GFA (sq. m):	388.9		Parking Spaces:	9	
Total Non-Residential GFA (sq. m):	182.7		Loading Docks	0	
Total GFA (sq. m):	571.6				
Lot Coverage Ratio (%):	35.92				
Floor Space Index:	1.0				

DWELLING UNITS

Tenure Type:	Condo
Rooms:	0
Bachelor:	0
1 Bedroom:	2
2 Bedroom:	2
3 + Bedroom:	0
Total Units:	4

FLOOR AREA BREAKDOWN (upon project completion)

	Above Grade	Below Grade
Residential GFA (sq. m):	388.9	0
Retail GFA (sq. m):	0	0
Office GFA (sq. m):	182.7	0
Industrial GFA (sq. m):	0	0
Institutional/Other GFA (sq. m):	0	0

CONTACT:	PLANNER NAME:	Ben DiRaimo, Planner
	TELEPHONE:	(416) 395-7119

Attachment 6: Draft Zoning By-law Amendment

CITY OF TORONTO

Bill No. ~

BY-LAW No. ~-2013

**To amend former City of North York Zoning By-law No. 7625, as amended,
with respect to the lands municipally known as,
148 Finch Avenue West**

WHEREAS authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. Schedules “B” and “C” of By-law 7625 of the former City of North York are amended in accordance with Schedule “1” of this By-law.
2. Section 64.26 of By-law 7625 is amended by adding the following subsection:

“64.26 (9) C4 (9)

DEFINITIONS

- | | | |
|-----|-------------------|--|
| (a) | Established Grade | Means the geodectic elevation of 184.6 metres taken at the centre line of Finch Avenue West at the mid-point of the abutting lot. |
| (b) | Net Site | For the purposes of this exception, Net Site means the gross site area minus any lands conveyed to the City of Toronto for road widening purposes. |

PERMITTED USES

- | | |
|-----|--|
| (c) | All of the uses permitted in a C4 zone are permitted with the exception of a commercial school, day nursery, fitness centre, place of worship, professional medical office, restaurant or take-out restaurant. |
|-----|--|

EXCEPTION REGULATIONS

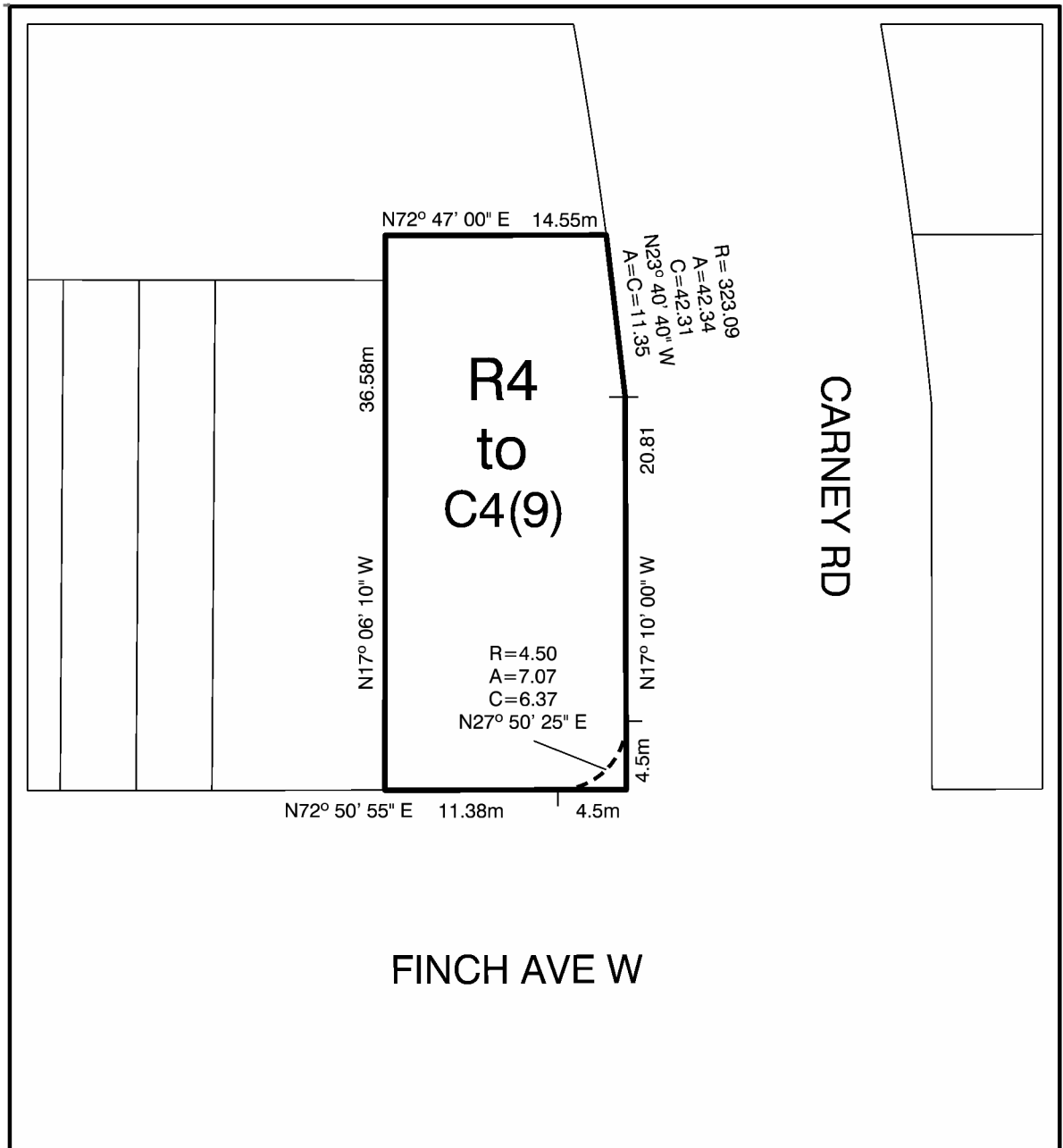
- (d) The maximum total gross floor area on the Net Site shall be 572m², of which a maximum of 183 m² shall be used for commercial purposes and which shall be located wholly on the ground floor.
 - (e) No portion of any building or structure erected and used above established grade shall be located other than wholly within the maximum potential building envelope unless otherwise identified on Schedule "C4 (9)".
 - (f) Notwithstanding (e), a second storey may project into the rear yard setback to a maximum of 2 metres.
 - (g) The building height shall not exceed 11 metres or 3 storeys measured from established grade to the mid-point of the roof.
 - (h) The minimum number of parking spaces shall be 9.
 - (i) A landscape area shall be provided as shown on Schedule "C4 (9)", and a 1.8 metre high opaque fence shall be provided along the north property line.
 - (j) The provisions of Sections 26 (2), (3), (4), (5), (6), (7) of By-law 7625 as amended, shall not apply.
- 3.** Within the lands shown on Schedule "C4 (9)" attached to this By-law, no person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:
- (a) all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway, and
 - (b) all water mains and sanitary sewers, and appropriate appurtenances, have been installed and are operational."
- 4.** Section 64.26 (9) of By-law 7625 is amended by adding Schedule "C4 (9)".

ENACTED AND PASSED this ~ day of ~, A.D. 2013.

ROB FORD,
Mayor

ULLI S. WATKISS,
City Clerk

(Corporate Seal)



Attachment 7: Conditions of Draft Site Plan Approval

1. Site Plan (A), prepared by Rubinoff design Group, revised November 21, 2012 and stamped received November 28, 2012, City of Toronto Planning North York Civic Centre.
2. Ground Floor Plan (A1), Site Plan, prepared by Rubinoff design Group, revised November 27, 2012 and stamped received November 28, 2012, City of Toronto Planning North York Civic Centre.
3. Second Floor Plan (A2), Site Plan, prepared by Rubinoff design Group, revised November 27, 2012 and stamped received November 28, 2012, City of Toronto Planning North York Civic Centre.
4. Third Floor Plan (A3), Site Plan, prepared by Rubinoff design Group, revised November 27, 2012 and stamped received November 28, 2012, City of Toronto Planning North York Civic Centre.
5. Front and Left Side Elevations (A4), Site Plan, prepared by Rubinoff design Group, revised November 27, 2012 and stamped received November 28, 2012, City of Toronto Planning North York Civic Centre.
6. Rear and Right Side Elevations (A5), Site Plan, prepared by Rubinoff design Group, revised November 27, 2012 and stamped received November 28, 2012, City of Toronto Planning North York Civic Centre.
7. Landscape Plan & Tree Protection Plan, prepared by msla Landscape Architects, revised 05/24/11 and stamped received November 15, 2011, City of Toronto Planning North York Civic Centre.

A. PRE-APPROVAL CONDITIONS

LEGAL SERVICES – Stephanie Morrow, Supervisor of Law Clerks, Phone #416-397-5379

Enter into the City's standard site plan agreement to and including registration of the site plan agreement on title to the subject lands by the City at the Owner's expense.

TECHNICAL SERVICES – Eddy Bologna, Development Technologist, Phone #416-395-6233

1. Widening of Highways that abut on the Land

- 1.1 Prepare all documents and convey to the City, at nominal cost, a 4.5 metre radius corner rounding at the corner of Finch Ave. W. and Carney Rd in fee simple, such lands to be free and clear of all physical and title encumbrances, and subject to a right-of-way for access in favour of the Grantor until such time as said lands have been dedicated as a public highway, all to the satisfaction of the Executive Director of Technical Services and the City Solicitor;

- 1.2 Submit a draft Reference Plan of Survey to the Executive Director of Technical Services, for review and approval, prior to depositing it in the Land Registry Office. The plan should:
 - a) be in metric units and integrated with the Ontario Co-ordinate System (3° MTM, Zone 10, NAD 27, 1974 Adjustment);
 - b) delineate by separate PARTS the lands to be conveyed to the City, the remainder of the site and any appurtenant rights-of-way and easements; and
 - c) show the co-ordinate values of the main corners of the subject lands in a schedule on the face of the plan;
- 1.3 Pay all costs for registration and preparation of reference plan(s).

2. Walkway and Walkway Ramps

- 2.1 The owner shall deposit with Technical Services the following:
 - a) Construction of a 1.7 metre wide sidewalk to the standard location of 1.0 metre from the Carney Ave. property line. The new sidewalk must commence at the north limit of the driveway entrance, extend across the driveway entrance as per City of Toronto Engineering Design Standard No. T-350.01, and connect with the existing sidewalk on Finch Ave. W. The cost of this work is estimated to be \$7,150.00.
- 2.2 The owner shall deposit with the Technical Services Division prior to Site Plan Approval, certified cheques, for the following:
 - a) \$357.50 representing the 5% Engineering & Inspection Review Fee of the sidewalk construction works.
 - b) The above works shall be constructed by the owner any time after Site Plan approval, provided the owner contacts Technical Services to confirm that:
 - i) A Technical Services' representative has approved the proposed location of the above sidewalk.
 - ii) The owner has applied for and Transportation Services has issued the necessary Right-of-Way permit.

CITY PLANNING – Ben DiRaimo, Phone #416-395-7119

1. Prior to Site Plan Approval, the Owner shall submit revised plans as required for the proposed development, for review and approval by the Director, Community Planning, North York District.

2. The Owner shall provide a landscape cost estimate for the approved landscape plan for review and approval by the Director, Community Planning, North York District.
3. The Owner shall submit a letter of credit or certified cheque which represents 75% of the value for the on-site landscaping, including but not limited to any plantings, fencing, decorative paving, retaining walls, terraces, lighting and/or other landscape features as detailed on the approved landscape plan.

URBAN FORESTRY, Tree Protection and Plan Review – Bruce Gordon, Phone # 416-395-6686

- 1 Submission of a completed permit application for injury and removal of private trees denoted as Tree Nos. 4, 6 and 8 as well as a permit fee of \$900.00
- 2 Submission of a tree planting security deposit of \$2,915.00 for five (5) new trees
- 3 Submission of tree security guarantee of \$1,255.00 for two city trees denoted as Tree Nos. 1 and 2.

B. POST APPROVAL CONDITIONS

In addition to the above pre-approval conditions, the following post approval conditions are to be fulfilled by the Owner following site plan approval and will be incorporated into a site plan agreement:

The proposed development shall be carried out and maintained in accordance with the plans and drawings referred to herein, to the satisfaction of the City of Toronto.

TECHNICAL SERVICES

1. Facilities to Provide Access to and from the Land

- 1.1 Remove all existing accesses, curb cuts, traffic control sign, etc. along the development site frontage that are no longer required and reinstate the boulevard within the right-of-way, in accordance with City standards and to the satisfaction of the Executive Director of Technical Services.
- 1.2 All site access driveways must be at least 1.0 metre from existing utilities. If required, the relocation of any public utilities (utility poles, guy wires, etc.) would be at the cost of the developer and shall be subject to the approval of the applicable governing agencies;
- 1.3 The proposed driveway on City property must be graded downward towards the roadway and have a 2% to 6% slope.
- 1.4 Any encroachments within Municipal Road Allowances will not be permitted unless they are explicitly approved by the Right-of-Way Management section of Transportation Services. The applicant is required

to contact the section through the permit approval process to obtain the exact particulars of these requirements. For further information, please contact the Right-of-Way Management Section, North York District at (416) 395-7112.

2. Off-street Vehicular Loading and Parking Facilities and Access/Driveways

- 2.1 Provide and maintain off-street vehicular loading and parking facilities and access driveways in accordance with the approved plans and drawings, to the satisfaction of the Executive Director, Technical Services;
- 2.2 All on-site driveways and parking areas must be surfaced and maintained with asphalt, concrete, or interlocking stone; and
- 2.3 Commercial and residential parking spaces must be individually signed with commercial visitor parking identified. This shall be accomplished with the use of on-site signage to be installed on-site;
- 2.4 In this site specific instance, we can accept turnaround area dimensions of 2.69 m deep by 2.43 m wide. “No Parking” signage and hatched pavement marking must be installed on-site for this turnaround area in front of the garbage enclosure;
- 2.5 The owner must install and maintain appropriate signage and pavement markings on-site directing such as but not limited to: vehicle stopping and circulation, designated disabled parking, loading, and pedestrian walkways, to the satisfaction of the Executive Director, Technical Services.

3. Walkway and Walkway Ramps

- 3.1 Provide and maintain a walkway on the private side from the principal entrance of the building to a sidewalk on the public street or to a driveway that provides access to a public street.
- 3.2 Driveway curbs must be flush on either side of the sidewalk for a minimum of 0.45 metres.

4. Facilities for the Storage of Garbage and Other Waste Material

- 4.1 Construct and maintain all facilities necessary to permit the City to collect solid waste and recyclable materials in accordance with Chapter 841, Solid Waste of the City of Toronto Municipal Code, Waste Collection for Residential Properties.

5. Grading and Provision for the Disposal of Storm, Surface and Wastewater from the Land

- 5.1 Construct and maintain stormwater management measures/facilities as recommended in the accepted Stormwater Management Report, prepared by Eaglebrooke Engineering, and dated May 24, 2011.

- 5.2 Construct and maintain site servicing and grading indicated on the accepted Site Servicing & Grading Plan, Drawing No. 09050-SSG-1, prepared by Eaglebrooke Engineering, and dated May 24, 2011.
 - 5.3 Provide certification to the Executive Director of Technical Services by the Professional Engineer who designed and supervised the construction that the stormwater management facilities have been constructed in accordance with the accepted Stormwater Management Report.
 - 5.4 Provide certification to the Executive Director of Technical Services by the Professional Engineer who designed and supervised the construction, that the site servicing and grading facilities have been constructed in accordance with the accepted drawing.
 - 5.5 Existing drainage patterns on adjacent properties shall not be altered and stormwater runoff from the subject development shall not be directed to drain onto adjacent properties.
- 6. Other Conditions**
- 6.1 The owner shall maintain the grass covered portion including the walkways within the City's Right-of-Way fronting and/or flanking the site in accordance with the approved plans and drawings to the satisfaction of the City.

CITY PLANNING

Provide and maintain the landscaping for the lands in accordance with the approved landscape plan to the satisfaction of the Director of Community Planning, North York District.

SITE PLAN ADVISORY COMMENTS

The owner is advised that the following approvals and/or permits are required for this development:

1. Right-of-Way Permit

- 1.1 The owner will be required to obtain approval from the Transportation Services Division for any work within the public right-of-way. For further information, please contact the Right-of-Way Management Section, North York District at 416-395-6221. The fee schedule can be found at http://www.toronto.ca/developing-toronto/darp_otherfees.htm for information purposes.

2. Site Servicing Connections

- 2.1 The owner will be required to make an application to Toronto Water Division for the installation of any proposed services within the right-of-way after acceptance of the stormwater management report and site servicing plan. For further information, please contact District Operations, Toronto Water at 311 or 416-392-CITY (2489).

- a) For single entity development such as a condominium, co-operative or rental property to be held under separate ownership and/or under its address, only one sanitary and one water service connection will be permitted for the entire development.

The owner is responsible to provide for the installation of the water, sanitary and storm service connections from the building to City services at the property line.

Please note that servicing on private property requires plumbing approval under the Ontario Building Code, and accordingly, application for the necessary permits should be made to the Building Division.

3. Construction Management Plan

3.1 The Owner will be required to provide the City with a Construction Management Plan outlining the following:

- a) Dust/mud control on and offsite;
- b) Location of truck loading points, trailer parking;
- c) Location of temporary material storage areas;
- d) Access/truck routing;
- e) Provision of hoarding, temporary fencing & covered walkways;
- f) Location and extent of aerial crane operations; and
- g) Parking for construction trades;

for any work within the public right-of-way. For further information, please contact the Right-of-Way Management Section, North York District, at 416-395-6221. The fee schedule can be found at http://www.toronto.ca/developing-toronto/darp_otherfees.htm for information purposes.

4. Streetscaping

4.1 The owner's contractor will be required to make an application for a ROW permit from the Transportation Division for any work within the public-right-of-way. For further information please contact the Right-of-Way Management Section at 416-395-6221.

5. Toronto Hydro Approval

5.1 The applicant must obtain approval from Toronto Hydro Street Lighting Incorporated before removing and/or relocating any utility with attached municipal street lighting.