

**206 and 208 Finch Avenue West - Zoning By-law Amendment and Site Plan Control Applications - Final Report**

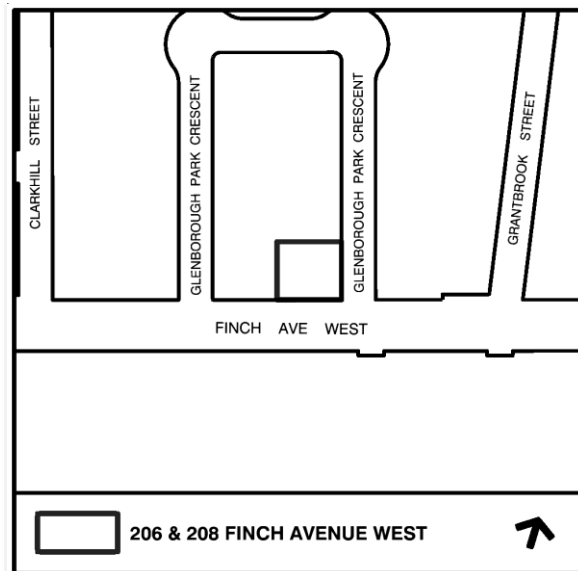
<b>Date:</b>	May 29, 2013
<b>To:</b>	North York Community Council
<b>From:</b>	Director, Community Planning, North York District
<b>Wards:</b>	Ward 23 – Willowdale
<b>Reference Number:</b>	12 114294 NNY 23 OZ & 12 114286 NNY 23 SA

**SUMMARY**

The applicant proposes to amend the former City of North York Zoning By-law No. 7625, to permit the redevelopment of the properties at 206 and 208 Finch Avenue West with eight 3-storey residential townhouse units, with 16 parking spaces served by a shared private rear driveway. There is a concurrent site plan application to implement the proposal.

The proposal provides for a multiple-unit residential use that will enhance the vibrancy and active nature of the Finch Avenue streetscape consistent with the objectives of the Central Finch Area Secondary Plan. The proposed development reinforces the existing and planned built form context along Finch Avenue West and the building design will contribute to and enhance the public realm.

This report reviews and recommends approval of the Zoning By-law Amendment application and approval in principle of the Site Plan Application subject to the conditions outlined in this report.



## **RECOMMENDATIONS**

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### **The City Planning Division recommends that:**

- (1) City Council amend the Zoning By-law 7625 for the former City of North York substantially in accordance with the draft Zoning By-law Amendment attached as Attachment 8 to this report.
- (2) City Council authorize the City Solicitor to make such stylistic and technical changes to the draft Zoning By-law Amendment as may be required.
- (3) City Council approve in-principle the site plan as indicated on the drawings and conditions listed in Attachment 9.
- (4) City Council authorize the Chief Planner or her designate to give final approval to the site plan when the conditions to be satisfied prior to site plan approval as set out in Attachment 9 of this report have been fulfilled.

### **Financial Impact**

The recommendations in this report have no financial impact.

### **Application History**

Staff prepared a Preliminary Report that went before North York Community Council on March 20, 2012, which can be found at the following link:

<http://www.toronto.ca/legdocs/mmis/2012/ny/bgrd/backgroundfile-45569.pdf>

A Community Consultation Meeting was held April 3, 2012.

## **ISSUE BACKGROUND**

### **Proposal**

The applicant proposes to redevelop a site at the northwest corner of Finch Avenue West and Glenborough Park Crescent (eastern portion). The proposal consists of eight, three-storey residential townhouse units, each having one interior and one exterior parking space, for a total of 16 parking spaces. The parking spaces would be located at the rear of the residential units and accessed via a shared private rear driveway from the eastern portion of Glenborough Park Crescent. The proposed townhouses have a building height of 10.15 metres. The proposal has a Floor Space Index (FSI) of 1.1.

The project statistics are included in the Application Data Sheet in Attachment 7.

## **Site and Surrounding Area**

The subject site is located on the north side of Finch Avenue West at the intersection with the eastern portion of Glenborough Park Crescent and presently consists of two single detached dwellings. This portion of Finch Avenue West is undergoing transition, with single detached dwelling lots being redeveloped for mixed use or commercial development. The site has approximately 38.09 metres of frontage on Finch Avenue West. The site has an area of approximately 1,318 m<sup>2</sup> and a maximum depth of approximately 34 metres. The land slopes slightly downward from west/east. The two existing single detached dwellings are to be demolished.

The properties located directly east of the subject site at 210A, 210B, 212A, 212B, 214A, 214B, 216A, and 216B Finch Avenue West were subject to a similar rezoning application, which was approved by the City in 2007. Eight 3-storey residential townhouse units, with 16 parking spaces served by a private rear driveway have been recently constructed. At the time of approval, Council expressed interest in having a reciprocal access agreement between the lands at 210A, 210B, 212A, 212B, 214A, 214B, 216A, and 216B Finch Avenue West and the lands subject to this application, to allow for access to both the east and west side of Glenborough Park Crescent. The concept of a reciprocal access agreement was conveyed to the applicant. However, the applicant advised that an agreement could not be reached with the owners of the townhouse units at 210A, 210B, 212A, 212B, 214A, 214B, 216A, and 216B Finch Avenue West.

Abutting uses are as follows:

North: Single detached dwellings;

South: Single detached dwellings, with some dwellings used for retail-commercial uses;

East: A multi-storey commercial building and a retail commercial site are situated at the intersection of Finch Avenue West and Grantbrook Street; and

West: Eight, recently constructed, three-storey townhouse dwellings.

## **Provincial Policy Statement and Provincial Plans**

The Provincial Policy Statement (PPS) provides policy direction on matters of provincial interest related to land use planning and development. The PPS sets the policy foundation for regulating the development and use of land. The key objectives include: building strong communities; wise use and management of resources; and, protecting public health and safety. City Council's planning decisions are required to be consistent with the PPS.

The Growth Plan for the Greater Golden Horseshoe provides a framework for managing growth in the Greater Golden Horseshoe including: directions for where and how to

grow; the provision of infrastructure to support growth; and protecting natural systems and cultivating a culture of conservation.

City Council's planning decisions are required by the Planning Act, to conform, or not conflict, with the Growth Plan for the Greater Golden Horseshoe.

## **Official Plan**

The Official Plan designates the subject lands as *Mixed Use Areas*. *Mixed Use Areas* consist of a broad range of high quality commercial, residential and institutional uses, in single use or mixed use buildings, as well as parks and open spaces that reduce automobile dependency and meets the needs of the local community.

The Official Plan includes development criteria in *Mixed Use Areas*. Generally, it is the intent that development will:

- create a balance of high quality commercial, residential, institutional and open space uses that reduces automobile dependency and meets the needs of the local community;
- provide for new jobs and homes for Toronto's growing population on underutilized lands;
- locate and mass new buildings to provide a transition between areas of different development intensity and scale, as necessary to achieve the objectives of the Plan, through means such as providing appropriate setbacks and/or a stepping down of heights, particularly towards lower scale *Neighbourhoods*;
- locate and mass buildings so as to adequately limit shadow impacts on adjacent *Neighbourhoods*, particularly during the spring and fall equinoxes;
- locate and mass buildings to frame the edges of streets and parks with good proportion and maintain sunlight and comfortable wind conditions for pedestrians on adjacent streets, parks and open spaces;
- provide an attractive, comfortable and safe pedestrian environment;
- have access to schools, parks, community centres, libraries and childcare;
- take advantage of nearby transit services;
- provide good site access and circulation and an adequate supply of parking for residents and visitors;
- locate and screen service areas, ramps and garbage storage to minimize the impact on adjacent streets and residences, and;
- provide indoor and outdoor recreation space for building residents in every significant multi-unit residential development.

## **Central Finch Area Secondary Plan**

The subject property is also located within the Central Finch Area Secondary Plan, and is designated *Mixed Use Area "B"* on Map 22-1 of the Secondary Plan. This designation

provides for detached and multiple-unit residential, retail and service commercial uses, offices, places of worship, public parks and recreational uses and institutional uses.

The Secondary Plan also encourages redevelopment that ensures compatibility with the surrounding residential areas while contributing to an attractive pedestrian oriented street edge with emphasis on good design and landscaping, buffering and tree features.

For sites with frontage on Finch Avenue West of 30 metres or more, such as the subject lands, the maximum density (FSI) permitted for a solely residential use is 2.0 times the lot area and the maximum height is 4 storeys or 13 metres, whichever is the lesser. For all lands within the Central Finch Area, the height of any part of a building (accept accessory structures for residential uses) will not exceed 70 percent of the horizontal distance separating that part of the building from the nearest residential property line that coincides with the boundaries of the Secondary Plan Area provided that the horizontal setback is not less than 9.5 metres.

## **Zoning**

The site is currently zoned One-Family Detached Dwelling Fourth Density Zone (R4) under By-law 7625; as amended. The R4 zoning permits single detached dwellings and accessory uses.

## **Site Plan Control**

The applicant has submitted a concurrent site plan application (12 114286 NNY 23 SA).

## **Reasons for Application**

An amendment to Zoning By-law No. 7625 for the former City of North York is required as the R4 zoning that currently applies to the lands does not permit the proposed three-storey residential townhouse development.

## **Community Consultation**

A Community Consultation meeting to discuss the proposal was held on April 3, 2012 at the Edithvale Community Centre. The meeting was attended by the Ward Councillor, City Planning staff, the applicant, owner, and approximately 12 members of the public.

Issues raised by area residents in discussion of the proposal, which have been considered in the review of the application, are generally related to the following matters:

- Location of access to the parking spaces for the proposed development;
- Potential for parking and traffic impacts on Glenborough Park Crescent and vehicles turning onto Finch Avenue West;
- Façade and materials.

## **Agency Circulation**

The application was circulated to all appropriate agencies and City divisions. Responses received have been used to assist in evaluating the application and to formulate appropriate by-law standards.

## **COMMENTS**

### **Provincial Policy Statement and Provincial Plans**

The Provincial Policy Statement (2005)(PPS) includes policies to manage and direct land use to achieve efficient development and land use patterns. Municipal planning decisions are required to be “consistent with” the PPS. The PPS requires that a range of land uses be provided and that intensification and redevelopment opportunities are identified and promoted.

The PPS promotes intensification and redevelopment opportunities through a more compact building form, mix of uses and densities that allow for the efficient use of land, infrastructure and public service facilities. The proposal is consistent with the PPS in this regard. The proposed land use and density provides a compact built form that supports an efficient use of land and existing transit infrastructure.

The proposal also conforms to the Growth Plan for the Greater Golden Horseshoe which states that population growth will be accommodated by directing new growth to the built up areas of the community through intensification. As this site is located in a built up area designated for growth in the City’s Official Plan, and the proposal is intensifying the use of land for housing, the proposal conforms to the Growth Plan.

### **Land Use**

The proposed 8-unit residential townhouse development with a shared driveway and parking at the rear complies with the policies of the Central Finch Area Secondary Plan which encourages residential intensification, the consolidation of lots, and a reduction in the number of private driveways directly accessing Finch Avenue. The proposal represents a similar-type development to the property located immediately to the townhouse development located at 210A, 210B, 212A, 212B, 214A, 214B, 216A, and 216B Finch Avenue West.

The proposed built form, with the buildings located close to the front property line will contribute to the definition of the street edge and maintain an attractive pedestrian environment along the public sidewalk. This is an important objective of the Central Finch Area Secondary Plan.

## **Density and Height**

The Central Finch Area Secondary Plan provides for a base density of 2.0 FSI for solely residential uses. The proposed development would have an F.S.I of 1.1 (1,447.4 m<sup>2</sup>).

The Secondary Plan's height limits are intended to protect stable residential neighbourhoods by providing appropriate transitions in height between mixed use areas and adjacent residential communities. For the subject lands, the permitted height is generally the lesser of 13 metres or 4 storeys. The proposed height of 10.15 m meets the Central Finch Area Secondary Plan requirement with respect to height, and the minimum required distance of 9.5 metres from the property line that borders adjacent residential areas.

Since the Community Consultation Meeting, a number of changes have been incorporated in the design of the proposal. These include removing the front-facing doors from the third floor, changing the façade from brick only to a brick-stone combination, and changing the roofline of the covered front porches.

The proposal conforms with the density and height policies of the Secondary Plan.

## **Infill Townhouse Guidelines**

The Infill Townhouse Guidelines, adopted by Council, include criteria to ensure that low-rise infill townhouse developments are compatible within existing residential neighbourhoods. The proposal has regard for these guidelines by:

- Orienting the main facades of the townhouses towards Finch Avenue West with appropriate setbacks, where possible, creating an animated streetscape appropriate for pedestrians along the public sidewalk;
- Locating the garages and parking at the rear of the units in order to provide a more attractive streetscape;
- Providing one common vehicular access and thus eliminating the need for multiple curb cuts, thereby reducing the opportunities for potential pedestrian conflicts;
- The development provides adequate sunlight and sky views from Finch Avenue West or open adjacent parks;
- Adequately transitioning to residential neighbourhoods to the north through landscaping and screening;
- Providing space for an entry, front stoop and landscaping between the public sidewalk and private home, and;
- The development provides adequate setbacks from adjacent residential units.

## **Traffic Impact, Access, Parking**

Vehicular access to the development is proposed via a two-way driveway accessed from Glenborough Park Crescent that leads directly to the individual unit driveways. The

proposed driveway provides access to 16 parking spaces, 2 per unit. Each unit will feature one external and one internal parking space. There will be no driveway access from Finch Avenue West.

## **Streetscape**

Each of the townhouse units front onto Finch Avenue West which will provide overlook and animation. The applicant is also proposing to plant 4 large-growing deciduous trees along the frontage of the site.

Sidewalks with a width of 1.7 metres are proposed along Finch Avenue West. Money will be secured for the future sidewalk upgrades on Finch Avenue West through provisions in the Site Plan Agreement.

## **Road Widening**

A 2.76 m widening will be conveyed on Finch Avenue West to accommodate any future road widening. Additionally, a 6.1 m radius corner rounding at Finch Avenue West and Glenborough Park Crescent will be conveyed to the City. These matters are being secured through the Site Plan Agreement.

## **Servicing**

The applicant has provided a Site Servicing Plan, Preliminary Site Grading Plan, and a Stormwater Management Plan Post Development analysis which has been accepted in principle by Engineering and Construction Services staff.

## **Open Space/Parkland**

The Official Plan contains policies to ensure that Toronto's system of parks and open spaces are maintained, enhanced and expanded. Map 8B of the Toronto Official Plan shows local parkland provisions across the City. The lands which are the subject of this application are in an area with 0.43 – 0.79 hectares of parkland per 1,000 people. The site is in the second lowest quintile of current provision of parkland. The site is in a parkland priority area, as per the Harmonized Parkland Dedication By-law 1020-2010.

The proposed development to construct 8 freehold, 3-storey townhouse units with rear-at-grade parking has a site area of 0.1317 hectares (1,317 m<sup>2</sup>). At the alternative rate of 0.4 hectares per 300 units specified in By-law 1020-2010, the parkland dedication would be 0.0106 hectares (106 m<sup>2</sup>) which equates to 8% of the site.

Parks, Recreation and Forestry staff recommends that the applicant satisfy the parkland dedication through a cash-in-lieu payment. The parkland dedication for the subject site is too small to be functional. The actual amount of cash-in-lieu to be paid will be determined at the time of issuance of the building permit. This parkland payment is



required under Section 42 of the Planning Act, and is required as a condition of the building permit application process.

## **Toronto Green Standard**

On October 27, 2009 City Council adopted the two-tiered Toronto Green Standard (TGS). The TGS is a set of performance measures for green development. Tier 1 is required for new development. Tier 2 is a voluntary, higher level of performance with financial incentives. Achieving the Toronto Green Standard will improve air and water quality, reduce green house gas emissions and enhance the natural environment.

The applicant is required to meet Tier 1 of the TGS. Performance measures for the Tier 1 development features will be secured through the Site Plan Agreement and includes construction activity, stormwater retention and tree protection.

The applicant has indicated they will pursue Tier 2 of the TGS which includes possible refunds against Development Charges payable for the development.

## **Conclusion**

This site's location along Finch Avenue West is appropriate for uses that are more intensive than single family dwellings and the proposal offers an appropriate design compatible with the adjacent residential uses, and completes the block frontage between the two legs of Glenborough Park Crescent.

The proposed Zoning By-law Amendment allows for the townhouse use and implements development standards, such as height, gross floor area and setbacks to regulate the proposed development. This report recommends approval of this application to amend the Zoning By-law. The proposal conforms to the policies of the Central Finch Area Secondary Plan and to the Urban Design Guidelines for Infill Townhouses.

The report also recommends approval in principle of the Site Plan conditions. The approval of this site plan control application will be required prior to the issuance of building permits for the proposed development. The applicant will be required to enter into a Site Plan Control Agreement that will also include a requirement to convey land for road widening purposes.

## **CONTACT**

Jason Brander, Planner  
Tel. No. (416) 395-7124  
Fax No. (416) 395-7155  
E-mail: jbrande@toronto.ca

## **SIGNATURE**

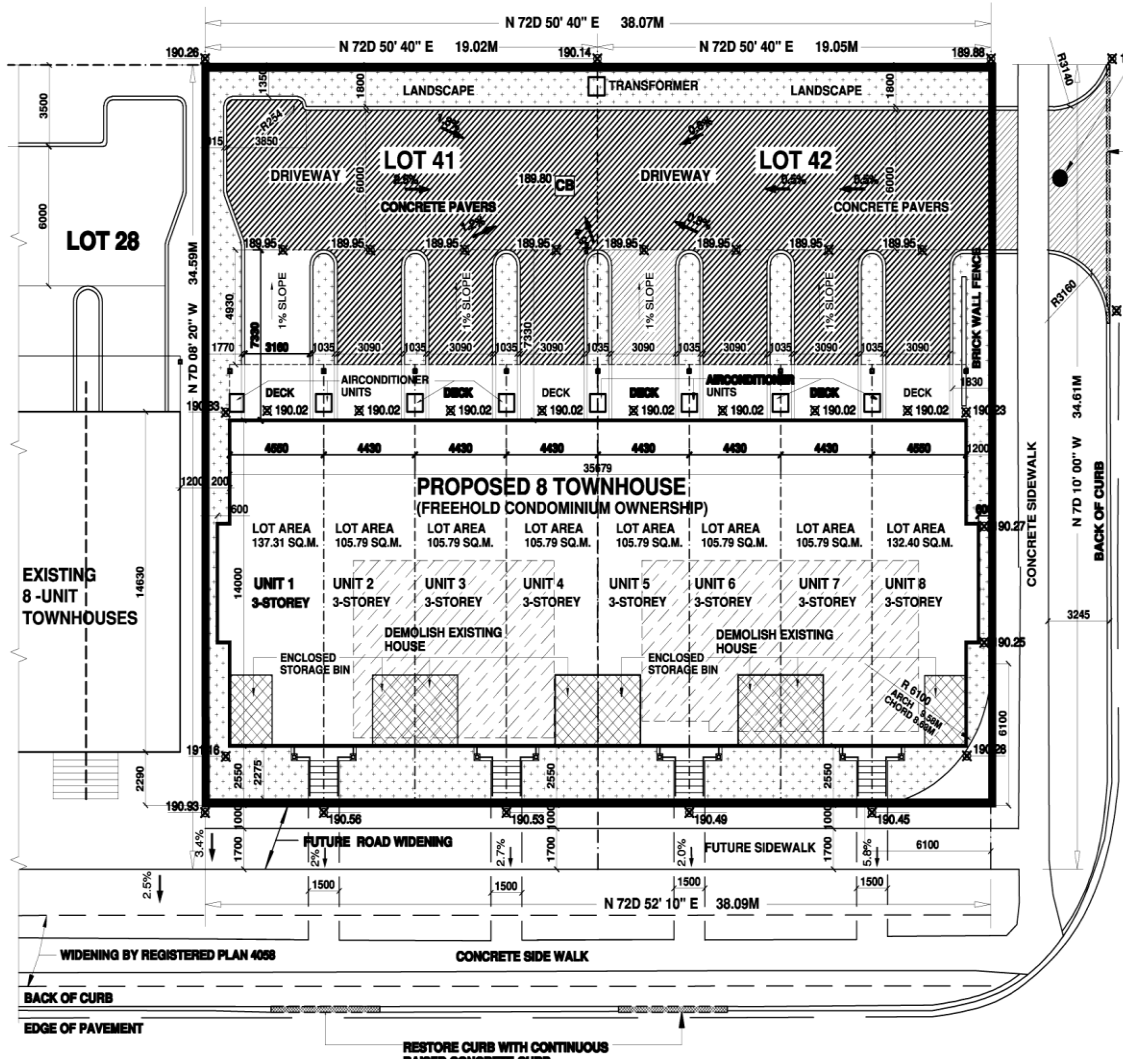
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Allen Appleby, Director  
Community Planning, North York District

## **ATTACHMENTS**

Attachment 1:	Site Plan
Attachment 2:	Landscape Plan
Attachment 3a:	North and South Elevations
Attachment 3b:	East and West Elevations
Attachment 4:	Cross Section
Attachment 5:	Official Plan
Attachment 6:	Zoning
Attachment 7:	Application Data Sheet
Attachment 8:	Draft Zoning By-law Amendment
Attachment 9:	Draft Conditions of Site Plan Approval

# Attachment 1: Site Plan



Site Plan

206 & 208 Finch Avenue West

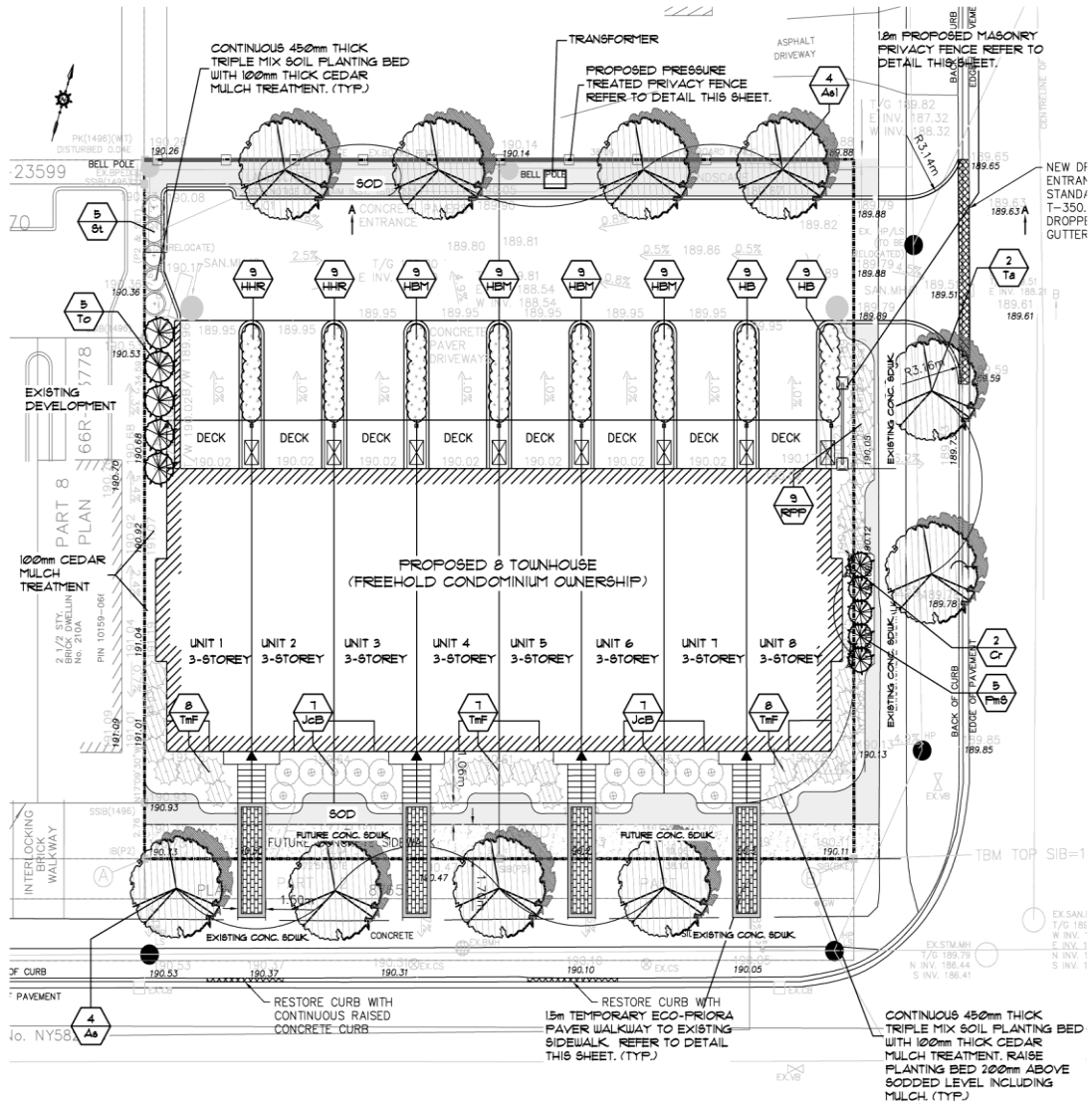
Applicant's Submitted Drawing

File # 12 114294 NNY 23 OZ

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12 114286 NNY 23 SA

## Attachment 2: Landscape Plan



### Landscape Plan

### 206 & 208 Finch Avenue West

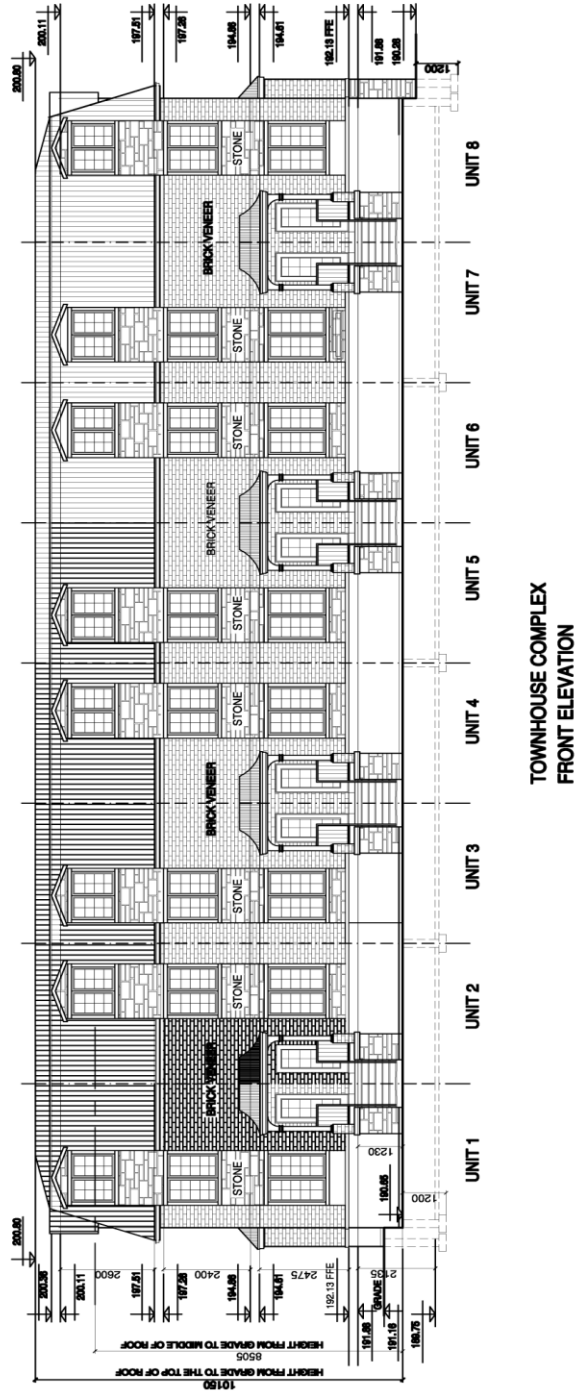
Applicant's Submitted Drawing

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Attachment 3a: North and South Elevations

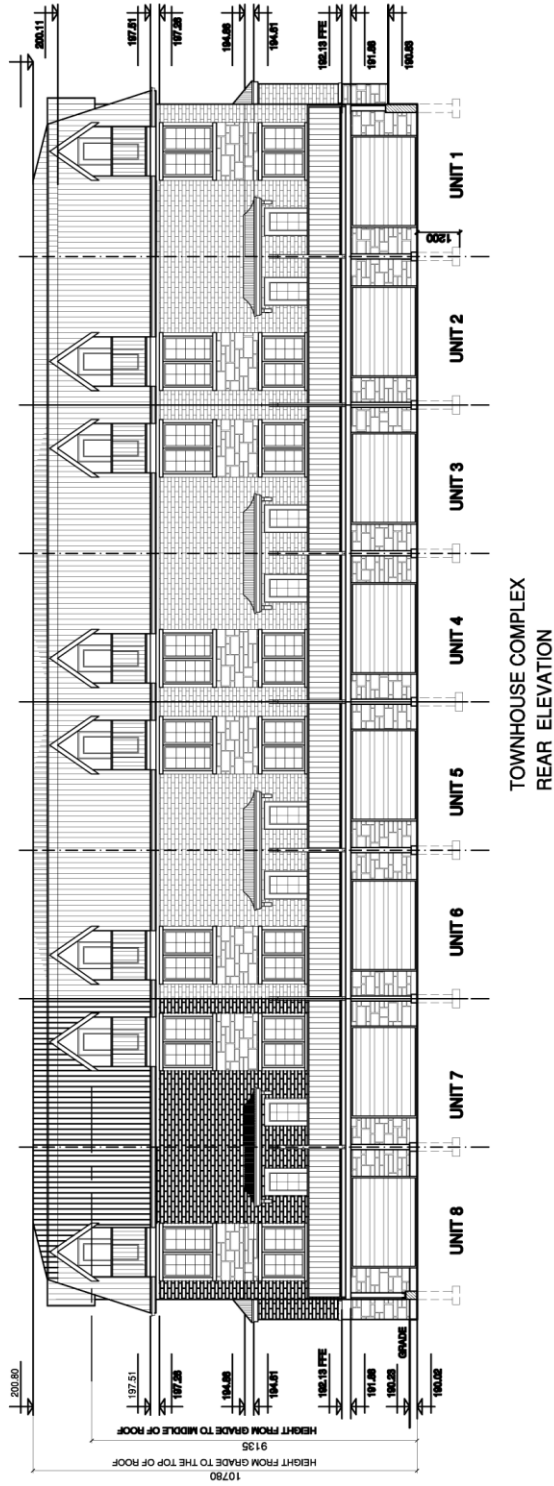


206 - 208 Finch Avenue West

Elevations  
 Applicant's Submitted Drawing

File # 12 114286 NNY SA  
 12 114294 NNY OZ

Not to Scale  
 05/16/2013



**Elevations**

Applicant's Submitted Drawing

Not to Scale  
05/16/2013

206 - 208 Finch Avenue West

File # 12 114286 NNY SA  
12 114294 NNY OZ

### Attachment 3b: East and West Elevations



**TOWNHOUSE COMPLEX  
WEST ELEVATION**



**TOWNHOUSE COMPLEX  
EAST ELEVATION**

## Elevations

206 & 208 Finch Avenue West

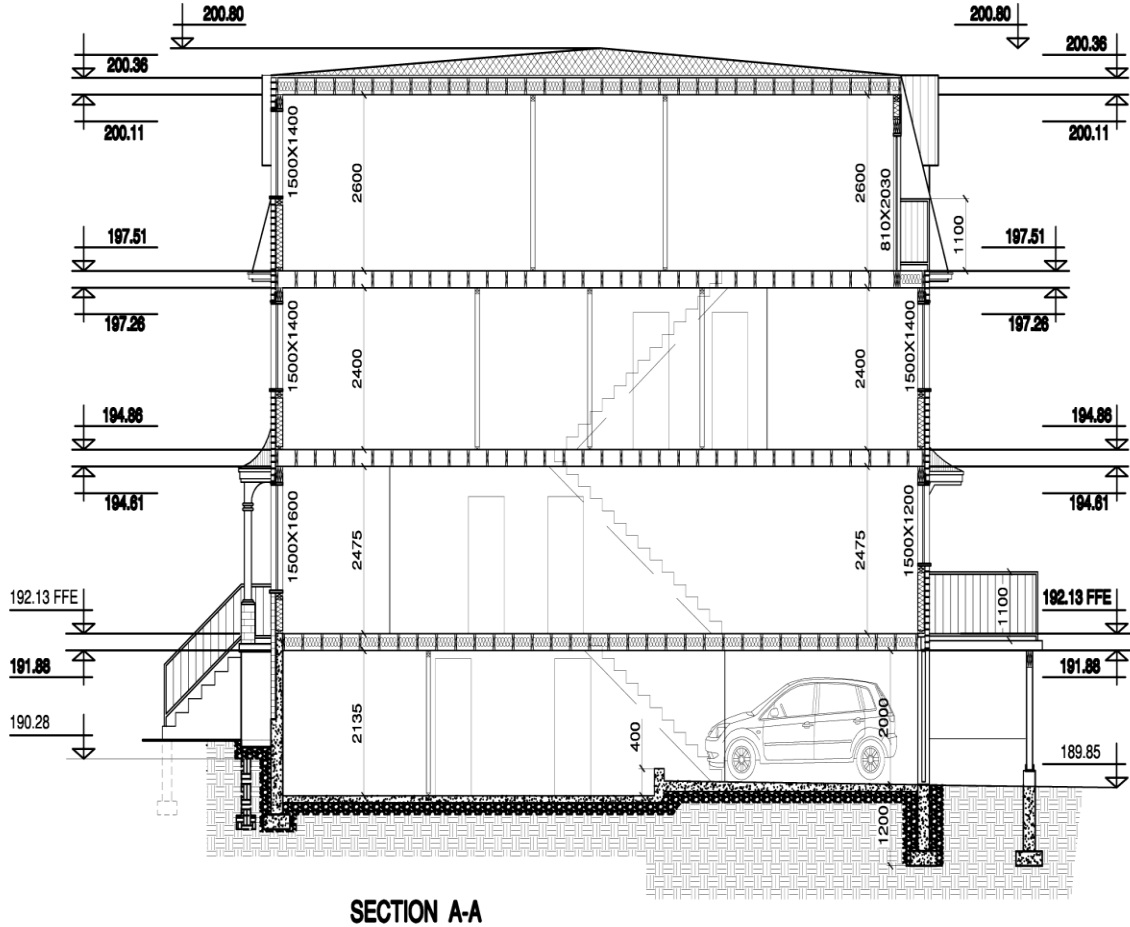
Applicant's Submitted Drawing

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12 114286 NNY 23 SA

### Attachment 4: Cross Section



SECTION A-A

## Cross Section

206 - 208 Finch Avenue West

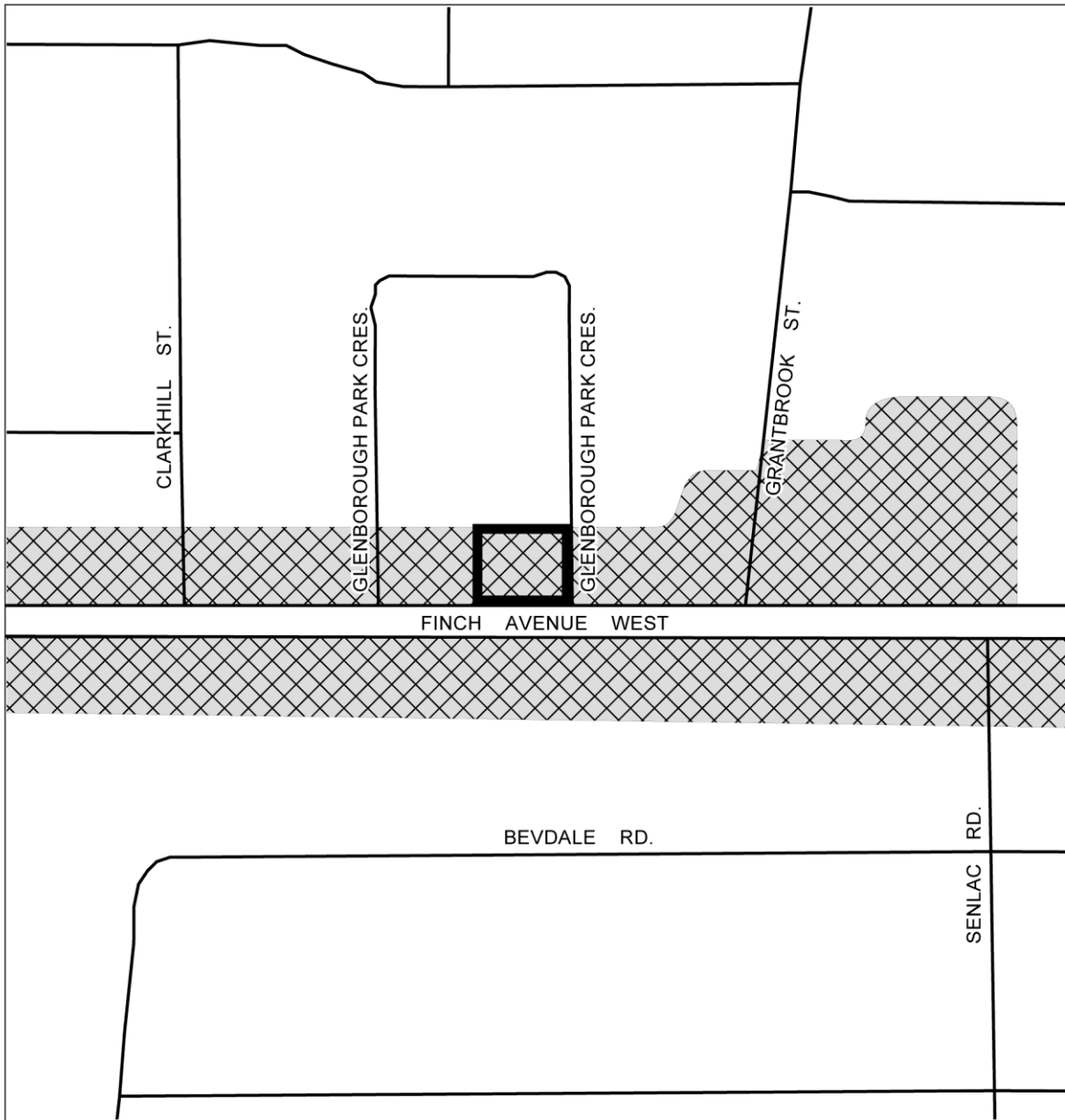
Applicant's Submitted Drawing

File # 12 114286 NNY SA  
12 114294 NNY OZ

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**Attachment 5: Official Plan**



-  Site Location
-  Neighbourhoods
-  Mixed Use Areas



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 02/08/2012



## Attachment 7: Application Data Sheet

### APPLICATION DATA SHEET

Application Type	Rezoning	Application Number:	12 114294 NNY 23 OZ
Details	Rezoning, Standard	Application Date:	January 30, 2012

Municipal Address: 206 and 208 FINCH AVE W  
 Location Description: PLAN 4058 LOT 42 \*\*GRID N2301  
 Project Description: Proposed 8 freehold, 3-storey townhouse units with parking at grade at the rear on common element roadway. Similar to previously approved townhouse development immediately to the west.

<b>Applicant:</b>	<b>Agent:</b>	<b>Architect:</b>	<b>Owner:</b>
ARBEN SHPATI			LULU HOLDINGS INC

#### PLANNING CONTROLS

Official Plan Designation:	Mixed Use Areas	Site Specific Provision:	
Zoning:	R4	Historical Status:	
Height Limit (m):		Site Plan Control Area:	Y

#### PROJECT INFORMATION

Site Area (sq. m):	1317.53	Height:	Storeys:	3	
Frontage (m):	38.09		Metres:	10.15	
Depth (m):	34.59				
Total Ground Floor Area (sq. m):	505.94				<b>Total</b>
Total Residential GFA (sq. m):	1447.4		Parking Spaces:	16	
Total Non-Residential GFA (sq. m):	0		Loading Docks	0	
Total GFA (sq. m):	1447.4				
Lot Coverage Ratio (%):	39.4				
Floor Space Index:	1.1				

#### DWELLING UNITS

#### FLOOR AREA BREAKDOWN (upon project completion)

			Above Grade	Below Grade
Tenure Type:	Freehold			
Rooms:	0	Residential GFA (sq. m):	1447.4	0
Bachelor:	0	Retail GFA (sq. m):	0	0
1 Bedroom:	0	Office GFA (sq. m):	0	0
2 Bedroom:	0	Industrial GFA (sq. m):	0	0
3 + Bedroom:	8	Institutional/Other GFA (sq. m):	0	0
Total Units:	8			

<b>CONTACT:</b>	<b>PLANNER NAME:</b>	<b>Jason Brander, Planner</b>
	<b>TELEPHONE:</b>	<b>(416) 395-7124</b>

## **Attachment 8: Draft Zoning By-law Amendment**

Authority: North York Community Council Report No. ~, Clause No. ~,  
as adopted by City of Toronto Council on ~, 2013  
Enacted by Council: ~, 2013

### **CITY OF TORONTO**

**Bill No. ~**

### **BY-LAW No. ~-2013**

**To amend former City of North York Zoning By-law No. 7625, as amended,  
with respect to the lands municipally known as,  
206 and 208 Finch Ave West**

WHEREAS authority is given to Council by Section 34 of the Planning Act, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the Planning Act;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. Schedules “B” and “C” of By-law 7625, as amended, are hereby amended in accordance with Schedule “1” attached hereto.
2. Section 64.16 of By-law 7625 of the former City of North York is amended by adding the following subsection:

#### **64.16 (91) RM1(91)**

#### **PERMITTED USES**

- a. The only permitted use shall be a multiple attached dwelling.

#### **EXCEPTION REGULATIONS**

- b. The maximum number of dwelling units shall be 8.
- c. The maximum Gross Floor Area of the overall development shall be 1,448 m<sup>2</sup>
- d. The minimum lot area shall be 105 m<sup>2</sup> per dwelling unit.
- e. The minimum yard setbacks shall be as shown on Schedule RM1(91).

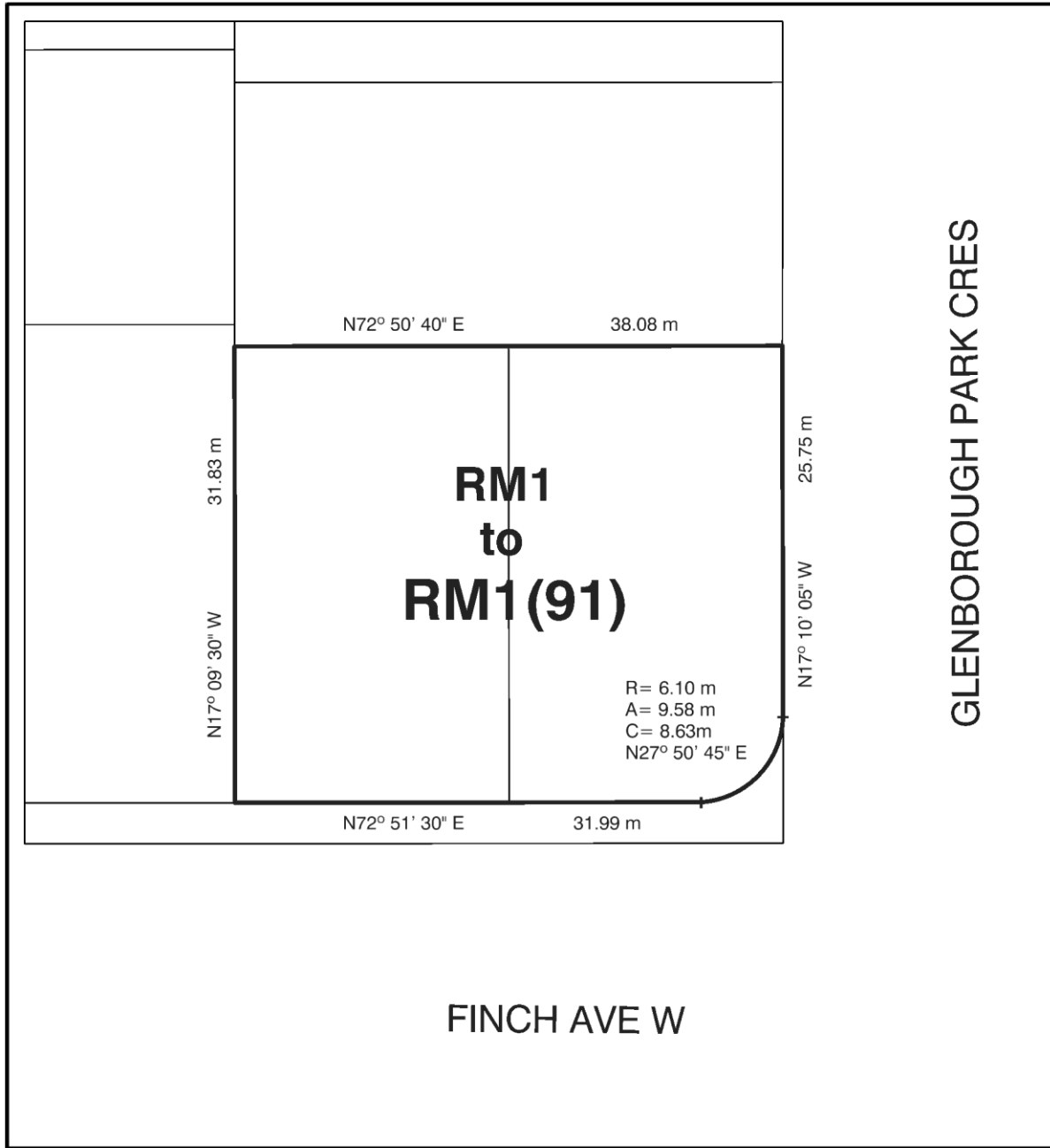
- f. The finished floor elevation of the front door sill for a multiple attached dwelling shall not be greater than 1.5 metres above established grade.
  - g. A front porch and steps may project up to 2.25 m into the front yard setback but shall not encroach beyond the front property line.
  - h. A minimum of two parking spaces shall be provided for each residential unit.
  - i. The maximum building height shall be 3 storeys and/or 10.15 metres, whichever is the lesser.
  - j. An opaque 1.8 m high fence shall be provided along the entirety of the rear lot line.
  - k. The provisions of Section 15.8 (Landscaping) and of Sections 16.2.1, 16.2.2, 16.2.4, 16.2.6, shall not apply.
- 3.** Section 64.16 of By-law 7625 is amended by adding Schedule "RM1(91) attached to this By-law.
- 4.** Except as provided herein, By-law No. 7625 of the former City of North York shall continue to apply.
- 5.** Despite any existing or future severance, partition or division of the lot, the provisions of this by-law shall apply to the whole lot as if no severance, partition or division occurred.

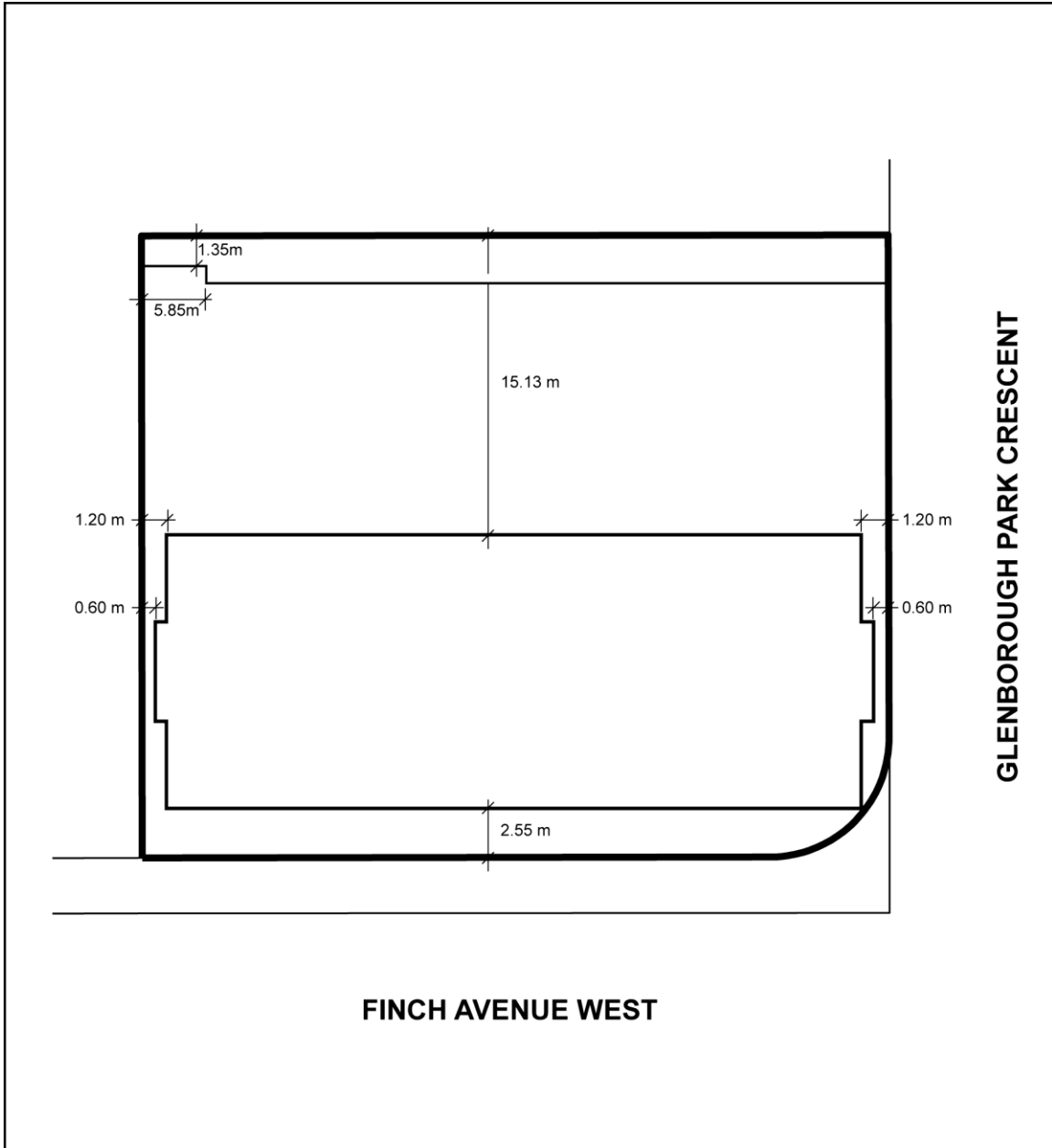
ENACTED AND PASSED this ~ day of ~, A.D. 20~.

ROB FORD,  
Mayor

ULLI S. WATKISS,  
City Clerk

(Corporate Seal)





## Attachment 9: Draft Conditions of Site Plan Approval

### Site Plan Application File No.: 12 114286 NNY 23 SA Residential Development – 206 and 208 Finch Avenue West

Proposal for a residential development consisting of eight (8), 3-storey residential townhouse units, with 16 parking spaces served by a private rear driveway. All plans stamped received on February 22, 2013 - City of Toronto Planning North York Civic Centre.

Plan Number	Plan Title	Author / Date
A1	Site Plan	Enar Associates – Engineering & Building Consultants, plot date October 2011.
A2	Ground Floor	Enar Associates – Engineering & Building Consultants, plot date October 2011.
A3	First Floor	Enar Associates – Engineering & Building Consultants, plot date October 2011.
A4	Second Floor	Enar Associates – Engineering & Building Consultants, plot date October 2011.
A5	Third Floor	Enar Associates – Engineering & Building Consultants, plot date October 2011.
A6	Roof Plan	Enar Associates – Engineering & Building Consultants, plot date October 2011.
A7	Front Elevation	Enar Associates – Engineering & Building Consultants, plot date October 2011.
A8	Rear Elevation	Enar Associates – Engineering & Building Consultants, plot date October 2011.
A9	Side Elevation	Enar Associates – Engineering & Building Consultants, plot date October 2011.
LP 1 of 1	Landscape Plan	John D. Bell Associates Ltd, revised February 19, 2013 (rev. 4)



## **A. DRAFT PRE-APPROVAL CONDITIONS**

### **LEGAL SERVICES**

1. Enter into the City's standard site plan agreement to and including registration of the site plan agreement on title to the subject lands by the City at the Owner's expense.

### **CITY PLANNING**

2. Prior to final Site Plan Approval, the Owner shall submit revised Site, Landscape and Elevation Plans, as well as a proposed cladding materials list for the proposed development, for review and approval by the Director, Community Planning, North York District.
3. The Owner shall submit a letter of credit or certified cheque in the amount of \$23,048.95 which represents 75% of the value for the on-site landscaping, including but not limited to any plantings, fencing, decorative paving, retaining walls, terraces, lighting and/or other landscape features as detailed on the approved landscape plan.

### **ENGINEERING AND CONSTRUCTION SERVICES**

4. The owner is required to amend and/or provide reports and/or Studies and/or Drawings to address the following comments and resubmit for the review and acceptance by the Executive Director of Engineering and Construction Services prior to the issuance of Notice of Approval Condition:
  - a. Site Plan (A1) - revise to show the future 1.7 metre wide concrete sidewalk located at the standard location of 1.0 metre from the widened property line on Finch Ave. W. It currently indicates that the sidewalk is 1060 mm from the future property line.
  - b. Site Servicing Plan, by Pearson Engineering Ltd., dated February 7, 2013  
Site Servicing Plan & Profiles, by Pearson Engineering Ltd., dated February 7, 2013  
Site Grading Plan, by Pearson Engineering Ltd., dated February 7, 2013  
Stormwater Management Plan Post Development, by Pearson Engineering Ltd., dated February 7, 2013:
    - Be advised that the 5.0% slope on the proposed storm service connection would create a supercritical condition and is not acceptable and that a 2% slope is desirable. Revise accordingly and be advised that in the case of a deep sewer, a vertical riser is required and should be shown on the drawing and that any proposed drop structures must be located on private property. Revise all pertinent drawings accordingly.

- Be advised that the consultant engineer should consider upsizing the proposed internal 125 mm sanitary sewer and 125 mm sanitary service connection to the standard size diameters of 150 mm, since a 150 mm sanitary service connection is typically installed for individual single family dwellings. Revise all pertinent drawings accordingly.
  - Be advised that the preferred service connection figuration is a service connection with a riser above the obvert of the main sewer. Connecting above the springline should be done only if the above noted figuration is not possible. Revise the sectional drawings accordingly.
  - Be advised that the existing boulevard grades are not 5-6% based on elevations shown in the topographical survey prepared by Dino Astri Surveying Ltd. The consultant engineer must ensure that existing grading within the boulevard remains unchanged and is shown accurately on the revised grading plan. Any grade difference required to match the private lands into the municipal rights-of-way is to be accommodated within the private development. Any grade elevations within the private lands are to be accommodated with the assistance of retaining walls, steps and modification of building first floor elevations, if required. In completing this work, the consultant engineer is to clearly show elevations from the future property lines to tops of curb, including corresponding slope percentages.
  - Indicate on the drawing that the trench will be installed at the end of the development construction; and smearing of the native material at the interface with the trench must be avoided and/or corrected by raking/roto-tilling; and compaction of the trench during construction must be minimized.
  - As indicated in previous comments; show a future 1.7 metre wide concrete sidewalk located at the standard location of 1.0 metre (and not 1.06 m) from the widened property line on Finch Ave. W.
  - The drawings should be revised in accordance with changes to the SWM report.
- c. Stormwater Management Report, by Pearson Engineering Ltd., dated February 7, 2013. requires the following revisions:
- As indicated in previous comments, be advised that the volume of uncontrolled flow that will be released from the site in post-development conditions must be shown and accounted for when determining the allowable release rate into the municipal storm sewer and required storage volume. Based on what is shown on the drawings and appears to be indicated in the report, there is a portion along the entire frontage of the homes that will discharge uncontrolled to the road allowance. Therefore, the volume of post-development uncontrolled overland flow that will be released from the above noted area to the road allowance during a 100-year storm event must be calculated and deducted from the allowable release rate to determine

- the actual allowable release rate into the municipal sewer. Revise the entire report accordingly and provide orifice release calculations.
- Confirm in the revised report that the bottom of the trench is more than one meter from bedrock and groundwater as per WWFM guidelines.
  - Be advised that trenches should be installed at the end of the development construction; and smearing of the native material at the interface with the trench must be avoided and/or corrected by raking/roto-tilling; and compaction of the trench during construction must be minimized.
  - The report should be revised in accordance with changes to the Servicing & Grading Plans.
5. Prepare all documents and convey to the City, at nominal cost, a 2.76 metre wide road allowance widening along the Finch Ave. W. frontage and a 6.1 metre radius corner rounding at the northwest corner of Finch Ave. W. & Glenborough Park Cres. in fee simple, such lands to be free and clear of all physical and title encumbrances, and subject to a right-of-way for access in favour of the Grantor until such time as said lands have been dedicated as a public highway, all to the satisfaction of the Executive Director of Technical Services and the City Solicitor;
6. Submit a draft Reference Plan of Survey to the Executive Director of Technical Services, for review and approval, prior to depositing it in the Land Registry Office. The plan should:
- a. be in metric units and integrated with the Ontario Co-ordinate System (3<sup>rd</sup> MTM. Zone 10, NAD 27, 1974 Adjustment);
  - b. delineate by separate PARTS the lands to be conveyed to the City. The remainder of the site and any appurtenant rights-of-way and easements; and,
  - c. show the co-ordinate values of the main corners of the subject lands in a schedule on the face of the plan;
7. The owner shall remove all existing accesses; pay all costs for registration and preparation of reference plan(s).

## **ENERGY EFFICIENCY OFFICE**

8. Submit proof of registration for the EnerGuide Rating System or the ENERGY STAR for New Homes program from an Authorized Service Provider for Natural Resources Canada (NRCan), to the satisfaction of the Executive Director, Facilities Management Division.

## **PARKS, FORESTRY, AND RECREATION**

9. The applicant is required to satisfy the parkland dedication through a cash-in-lieu payment. The parkland dedication for the subject site is too small to be functional. The actual amount of cash-in-lieu to be paid will be determined at the time of issuance of the building permit. This parkland payment is required under Section 42 of the Planning Act, and is required as a condition of the building permit application process.

## **URBAN FORESTRY**

10. Submission of Amenity Value to the amount of \$10,799.00 for Trees Nos. 1 and 10.
11. Submission of a City tree permit application and a fee of \$900.00 for removal of Tree Nos. 1,6 and 10.
12. Submission of a Private tree permit application and a fee of \$1,800.00 for removal of 6 trees.
13. Submission of a Tree Planting Deposit of \$3,498.00 for the planting of six (6) new trees on City property.
14. Submission Agreement for Contractors to Perform Arboricultural Services on City Owned Street Trees.
15. Urban Forestry requires a sum of \$10,494.00 as "Cash in Lieu" for 18 trees that cannot be planted on private property of the subject site

## **CANADA POST**

16. The owner shall include in all offers of purchase and sale a statement that advises the prospective purchaser that mail delivery will be from a designated Community Mailbox.
17. The owner agrees to determine and provide a suitable temporary Community Mailbox location(s), which may be utilized by Canada Post until curbs, sidewalks and final grading have been completed at the permanent Community Mailbox locations.

## **TORONTO DISTRICT SCHOOL BOARD**

18. The applicant developer enter into an agreement to erect and maintain signs, at points of egress and ingress of the development site, advising that:

"The Toronto District School Board makes every effort to accommodate students at local schools. However, due to residential growth, sufficient accommodation

may not be available to all students. Students may be accommodated in schools outside this area until space in local schools becomes available."

19. These signs shall be to the Board's specifications and erected prior to registration or the issuance of any building permit.

## **B. DRAFT POST-APPROVAL CONDITIONS**

In addition to the above draft pre-approval conditions, the following draft post-approval conditions are to be fulfilled by the Owner following site plan approval and will be incorporated into a site plan agreement:

### **ENGINEERING AND CONSTRUCTION SERVICES**

1. The owner shall remove all existing accesses, curb cuts, traffic control sign, etc. along the development site frontage that are no longer required and reinstate the boulevard within the right-of-way, in accordance with City standards and to the satisfaction of the Executive Director of Technical Services.
2. The proposed driveway on City property must be graded downward towards the roadway and have a 2% to 6% slope.
3. Any encroachments within Municipal Road Allowances will not be permitted unless they are explicitly approved by the Right-of-Way Management section of Transportation Services Division. The applicant is required to contact the section through the permit approval process to obtain the exact particulars of these requirements. For further information, please contact the Right-of-Way Management Section, North York District at (416) 395-7112.
4. The owner must provide and maintain off-street vehicular loading and parking facilities and access driveways in accordance with the approved plans and drawings, to the satisfaction of the Executive Director, Technical Services.
5. All on-site driveways and parking areas must be surfaced and maintained with asphalt, concrete, or interlocking stone.
6. The owner must install and maintain appropriate signage and pavement markings onsite directing such as but not limited to: vehicle stopping and circulation, designated disabled parking, loading, and pedestrian walkways, to the satisfaction of the Executive Director, Technical Services.
7. Driveway curbs must be flush on either side of the sidewalk for a minimum of 0.45 metres.
8. The owner must construct and maintain all facilities necessary to permit the City to collect solid waste and recyclable materials in accordance with Chapter 841, Solid

Waste of the City of Toronto Municipal Code, Waste Collection for Residential Properties.

9. Existing drainage patterns on adjacent properties shall not be altered and stormwater runoff from the subject development shall not be directed to drain onto adjacent properties.
10. The owner is required to certify that the unit owners and their successors in title will be responsible for the provision, construction, maintenance and repair of the common elements through the provisions of the Common Elements Condominium Act.
11. The owner shall maintain the sod covered portion including any walkways within the City Right-of-Way fronting and/or flanking the site in accordance with the approved plans and drawings to the satisfaction of the City;

#### **CITY PLANNING**

12. The owner shall provide and maintain the landscaping for the lands in accordance with the approved landscape plan to the satisfaction of the Director of Community Planning, North York District.

#### **TORONTO DISTRICT SCHOOL BOARD**

13. That the applicant / developer agree in the Servicing and/or Development Agreement, or in a separate agreement between the School Board and the Developer, to include the following warning clauses in all offers of purchase and sale of residential units (prior to registration of the plan and for a period of ten years following registration), that:

"Despite the best efforts of the Toronto District School Board, sufficient accommodation may not be locally available for all students anticipated from the development area and that students may be accommodated in facilities outside the area, and further, that students may later be transferred. Purchasers agree for the purpose of transportation to school, if bussing provided by the Toronto District School Board in accordance with the Board's policy, that students will not be bussed home to school, but will meet the bus at designated locations in or outside the area."