



City Planning Division
Jennifer Keesmaat, MESA MCIP RPP
Chief Planner and Executive Director

North York Civic Centre
5100 Yonge Street
Toronto, Ontario
M2N 5V7

CITY OF TORONTO
COUNCILLOR JOHN FILION
or OCCUPANT
NORTH YORK CIVIC CENTRE SANDI
PENWARDEN
5100 YONGE ST

Phone (416) 395-7500
Fax (416) 395-7200

Wednesday, October 9, 2013

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A614/13NY	Zoning	RD(f12.0; a370) / R6 [Z2C]
Owner(s):	BIJAN BARATI	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP		
Property Address:	139 PARKVIEW AVE	Community:	North York
Legal Description:	PLAN 1790 LOT 601		

Notice was given and a Public Hearing was held on Wednesday, October 9, 2013, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral two car garage. The existing dwelling and shed would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.5.100.1 (1), By-law No. 569-2013 and Section 14-A(6), By-law No. 7625**
Proposed driveway width of 5.54m
WHEREAS the maximum permitted driveway width is 3.2m, which is the width of a single parking space behind the front main wall;
- Section 10.20.30.40.(1), By-law No. 569-2013**
Proposed coverage of 32% of the lot area
WHEREAS the maximum permitted lot coverage is 30% of the lot area;
- Section 10.5.40.70.(1), By-law No. 569-2013**
Proposed front yard setback of 5.88m
WHEREAS the minimum required front yard setback is 6.17m;
- Section 10.20.40.70.(3), By-law No. 569-2013 and Section 14-A(5)c, By-law No. 7625**
Proposed east side yard setback of 0.92m
WHEREAS the minimum required east side yard setback is 1.2m;
- Section 14-A(4) & Section 6(8), By-law No. 7625**
Existing lot frontage and width of 10.67m
WHEREAS the minimum required lot frontage and width is 12m;
- Section 14-A(8), By-law No. 7625**
Proposed building height of 9.10m
WHEREAS the maximum permitted building height is 8.8m

7. **Section 14-A(9), By-law No. 7625**
Proposed building length of 15.39m
WHEREAS the maximum permitted building length is 15.3m;
8. **Section 6(30)a, By-law No. 7625**
Proposed finished first floor height of 1.74m
WHEREAS the maximum permitted finished first floor height is 1.5m; and
9. **Section 6(24)(d)(ii), By-law No. 7625**
Proposed east side yard setback of 0.92m for the unexcavated deck in the rear yard
WHEREAS the minimum required east side yard setback is 1.2m for the unexcavated deck in the rear yard.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

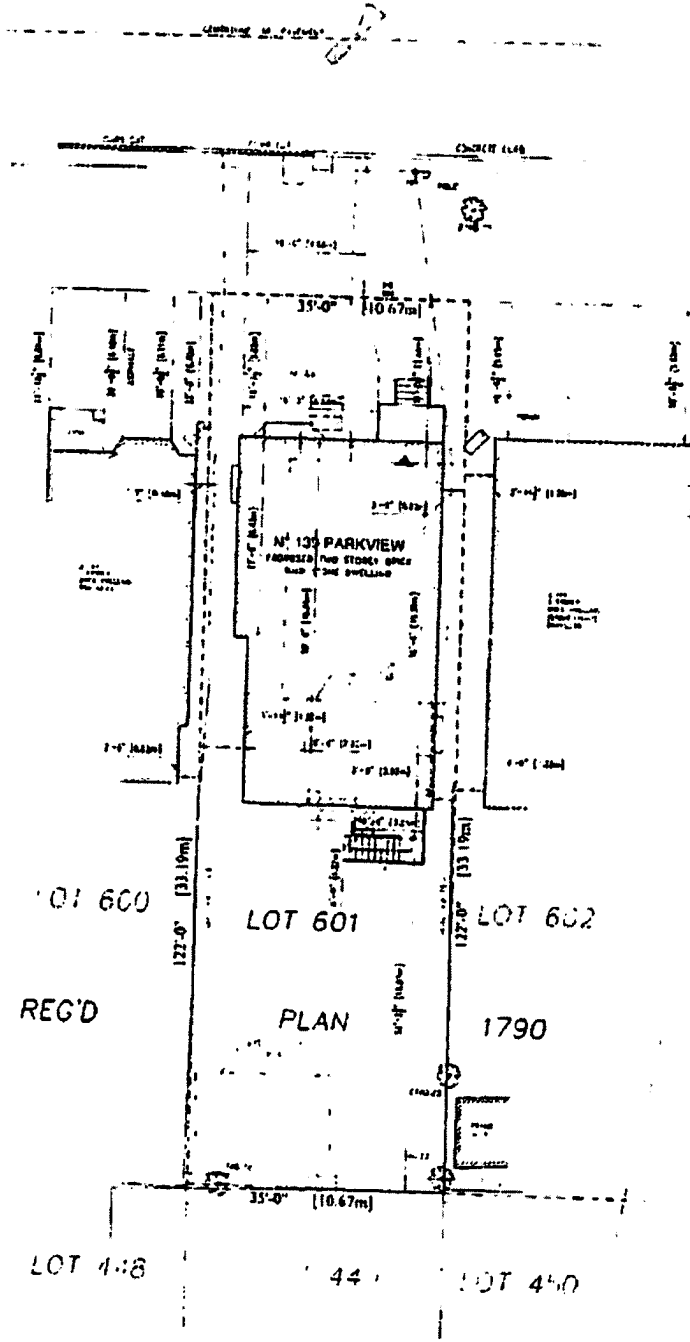
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The owner shall satisfy the City of Toronto Municipal Code Chapter 813, Article III, with respect to privately owned trees, to the satisfaction of the Urban Forestry Division.
2. The owner shall submit a Tree Security Deposit (in the form of a certified cheque or letter of credit only) and sign a Tree Preservation Agreement to the satisfaction of the Urban Forestry Division.
3. The property being developed essentially in accordance with site plan attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
4. The applicant to satisfy the requirements of the Transportation Services Division with respect to the driveway width which is to be reduced to 3.20m wide for the portion within the Public Right-of-way.
5. The proposed rear deck be built in accordance with the submitted revised site plan, dated October 2, 2013.

PARKVIEW AVENUE



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO PLANNING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
 REQUIRED UNDER REG. 216.11 OF THE PLANNING CODE
 G. RUBINOFF
 22570
 REG'D

REGISTRATION INFORMATION
 REQUIRED UNDER REG. 216.11 OF THE PLANNING CODE
 G. RUBINOFF DESIGN GROUP
 27293
 REG'D

SITE STATISTICS : (No. 139)	
LOT AREA = 4276 m ² (398,70m ²)	
FRONT YARD AREA = 875.5 m ² (82.8m ²)	
PORCH & STEPS AREA = 81.5 m ² (7.6m ²)	
DRIVEWAY = 341 m ² (31.8 m ²)	
FRONT YARD HARD SURFACE AREA = 422.5 m ² (128.8m ²)	
= 82.5% (36% MAX PERMITTED)	
FRONT YARD SOFT LANDSCAPED AREA = 253 m ² (23.5m ²)	
= 75.0%	
FRONT YARD - DRIVEWAY = 334.5 m ² (31.1m ²)	
COVERAGE = 1308 m ² (127.1 m ²) (32%)	
GFA = 2736 m ² (254.2 m ²)	

Rubinoff Design Group
 3281 A Yonge St. Toronto, Ontario M4M 2W5
 TEL 416 667-4322 FAX 416 667-6781 EMAIL info@rubinoffdesign.com


DESIGNER G. RUBINOFF	DATE OCTOBER 2 2013	SCALE 1/16" = 1'-0"
CLIENT S. BARCLAY	A	
DRAWN BY G. RUBINOFF		


PRIVATE RESIDENCE


SITE PLAN
 139 PARKVIEW AVE.
 TORONTO, ONTARIO

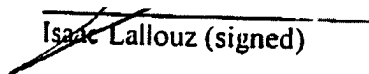
SIGNATURE PAGE

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Arthur Forer (signed)


Richard Ross (signed)



Edwin (Ted) Shepherd
(signed)


Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, October 17, 2013

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, October 29, 2013

CERTIFIED TRUE COPY


Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$125.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.