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City Planning Division
Jennifer Keesmaat, MES MCIP RPP
Chief Planner and Executive Director

City Planning

North York Civic Centre
5100 Yonge Street
North York, Ontario
Canada, M2N 5V7
Tel.: (416) 395-7100
Fax: (416) 395-7200

Mailed on/before: Friday, September 27, 2013

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Wednesday, October 9, 2013 at 10:00 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A614/13NY	Zoning	RD(f12.0; a370) / R6 [ZZC]
Owner(s):	BIJAN BARATI	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP		
Property Address:	139 PARKVIEW AVE	Community:	North York
Legal Description:	PLAN 1790 LOT 601		

PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling with an integral two car garage. The existing dwelling and shed would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Section 10.5.100.1 (1), By-law No. 569-2013 and Section 14-A(6), By-law No. 7625**
Proposed driveway width of 5.54m
WHEREAS the maximum permitted driveway width is 3.2m, which is the width of a single parking space behind the front main wall;
2. **Section 10.20.30.40.(1), By-law No. 569-2013**
Proposed coverage of 32% of the lot area
WHEREAS the maximum permitted lot coverage is 30% of the lot area;
3. **Section 10.20.40.10.(3), By-law No. 569-2013**
Proposed number of storeys is 3
WHEREAS the maximum permitted number of storeys is 2;
4. **Section 10.5.40.70.(1), By-law No. 569-2013**
Proposed front yard setback of 5.88m
WHEREAS the minimum required front yard setback is 6.17m;
5. **Section 10.20.40.10.(1), By-law No. 569-2013**
Proposed building height of 10.44m
WHEREAS the maximum permitted building height is 10m;

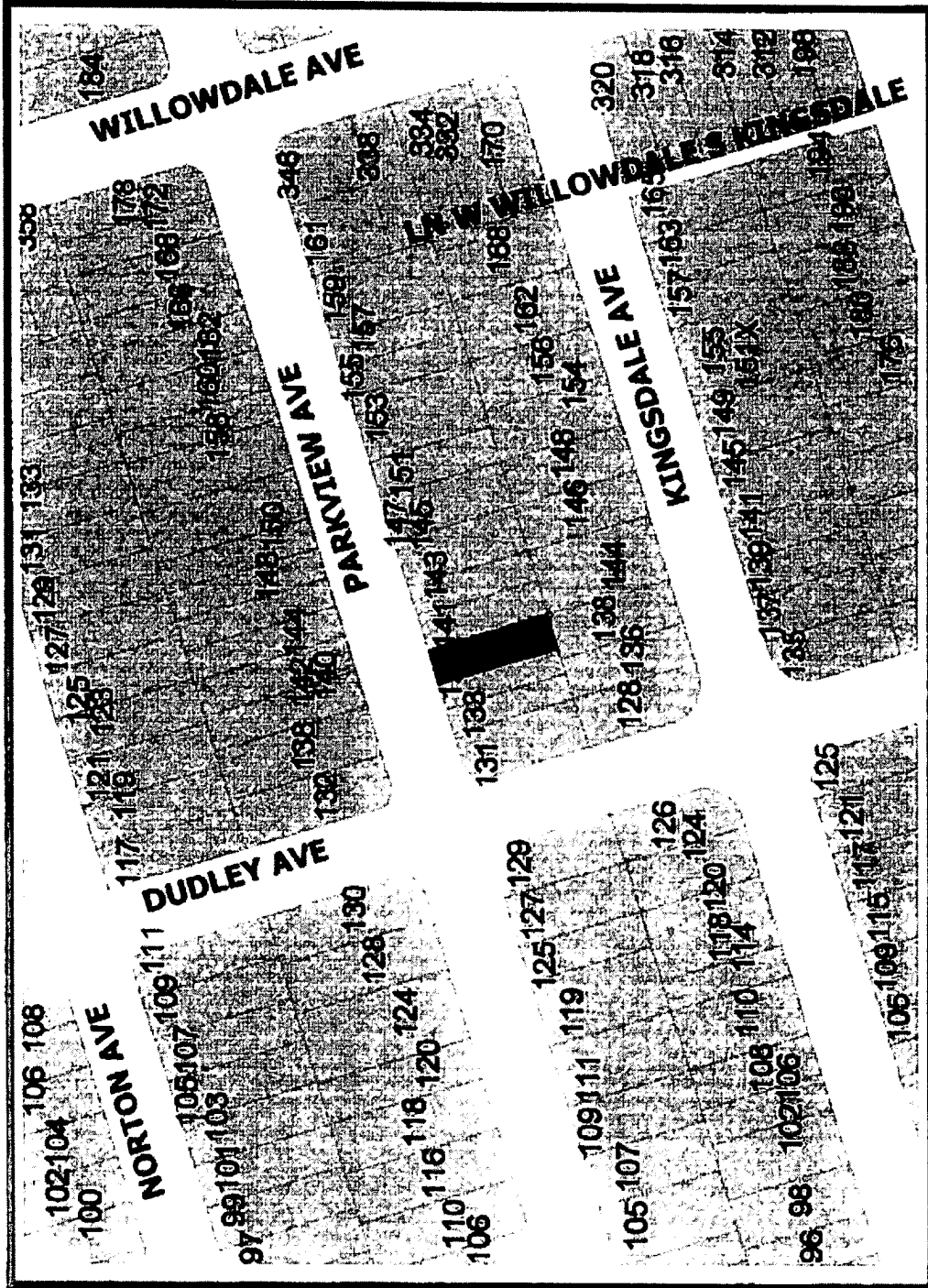
6. **Section 10.20.40.70.(3), By-law No. 569-2013 and Section 14-A(5)c, By-law No. 7625**
Proposed east side yard setback of 0.92m
WHEREAS the minimum required east side yard setback is 1.2m;
7. **Section 10.20.40.10.(6), By-law No. 569-2013**
Proposed first floor height of 2.18m above grade
WHEREAS the maximum permitted first floor height is 1.2m above grade;
8. **Section 14-A(4) & Section 6(8), By-law No. 7625**
Existing lot frontage and width of 10.67m
WHEREAS the minimum required lot frontage and width is 12m;
9. **Section 14-A(8), By-law No. 7625**
Proposed building height of 9.54m
WHEREAS the maximum permitted building height is 8.8m
10. **Section 14-A(9), By-law No. 7625**
Proposed building length of 15.39m
WHEREAS the maximum permitted building length is 15.3m;
11. **Section 6(30)a, By-law No. 7625**
Proposed finished first floor height of 1.74m
WHEREAS the maximum permitted finished first floor height is 1.5m; and
12. **Section 6(24)(d)(ii), By-law No. 7625**
Proposed east side yard setback of 0.92m for the unexcavated deck in the rear yard
WHEREAS the minimum required east side yard setback is 1.2m for the unexcavated deck in the rear yard.

Dan Antonacci (signed)
Manager and Deputy Secretary-Treasurer
North York Panel
:0a

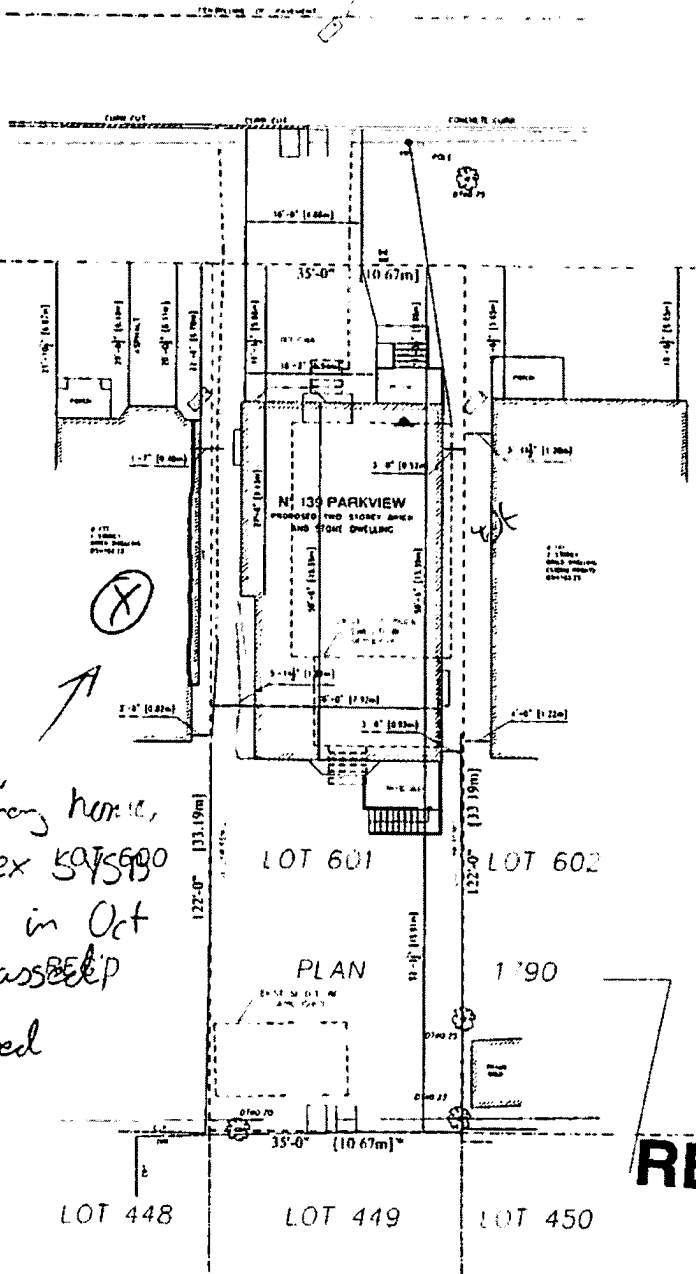


139 PARKVIEW AVENUE

A614/13NY



PARKVIEW AVENUE



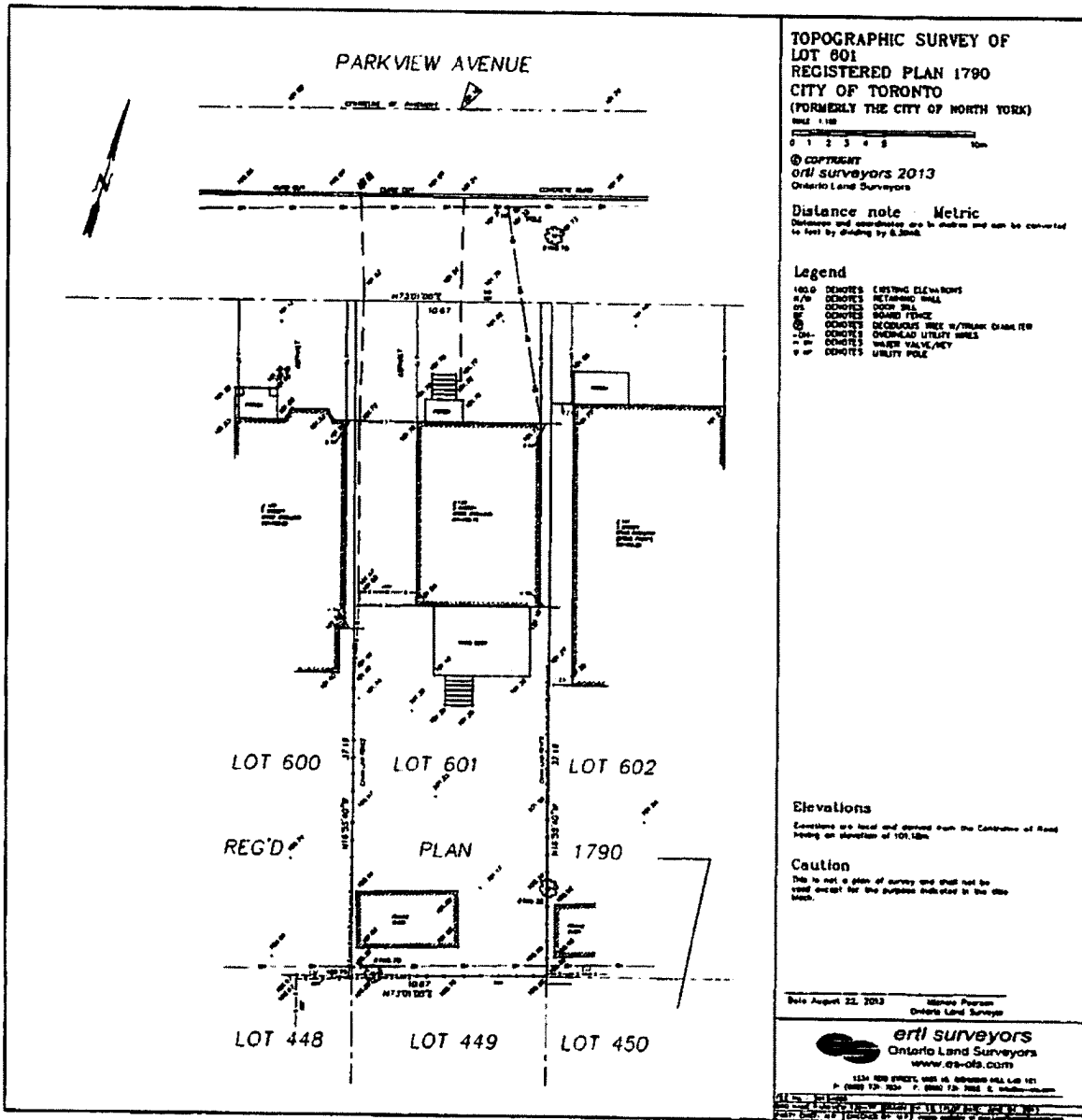
Now a 2 story home,
 came in for ex 507590
 of 0.49cm in Oct
 2012, we passed
 CoA approved
 No ER.

RECEIVED

AUG 23 2013

Toronto Building
 North York District

<p>THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER</p> <p>QUALIFICATION INFORMATION REQUIRED UNDER REG 21.1 OF THE BUILDING CODE</p> <p>DESIGNER: <i>[Signature]</i> 22370 NAME: CUBIN RUBINOFF SIGNATURE: BCM/BCDN</p> <p>REGISTRATION INFORMATION REQUIRED UNDER REG 21.1 OF THE BUILDING CODE</p> <p>RUBINOFF DESIGN GROUP 27293 FIRM NAME: BCM/BCDN</p>	<p>SITE STATISTICS : [No. 139]</p> <p>LOT AREA = 4270 M² [96 70m²]</p> <p>FRONT YARD AREA = 875.5 M² [82.8m²] PORCH & STEPS AREA = 81.5 M² [7.6m²] DRIVEWAY = 341 M² [31.6 m²]</p> <p>FRONT YARD HARD SURFACE AREA = 422.5 M² [128.8m²] = 62.5% (50% MAX. PERMITTED)</p> <p>FRONT YARD SOFT LANDSCAPED AREA = 253 M² [23.5m²] = 75.6%</p> <p>FRONT YARD - DRIVEWAY = 334.5 M² [31.1m²]</p> <p>COVERAGE = 1368 M² [127.1 m²] (32%) GFA = 2738 M² [254.2 m²]</p>	<p>Rubinfo North York District 3201-A Yonge St. Toronto, Ontario M4M 2K9 TEL: 416-867-0322 FAX: 416-867-0751 EMAIL: info@rubinfo.ca</p> <p>PROJECT DESIGNER: C. RUBINOFF PROJECT NO. DRAWING NO. A</p> <p>DRAWN BY: S. BARCLAY DATE: JULY 2013</p> <p>CHECKED BY: C. RUBINOFF SCALE: 1/16" = 1'-0"</p> <p>CLEAN: PRIVATE RESIDENCE</p> <p>PROJECT: SITE PLAN</p> <p>PROJECT: 139 PARKVIEW AVE TORONTO, ONTARIO</p>
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**TOPOGRAPHIC SURVEY OF
LOT 601
REGISTERED PLAN 1790
CITY OF TORONTO
(FORMERLY THE CITY OF NORTH YORK)**

Scale 1:100
0 1 2 3 4 5
Metres

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ertl surveyors 2013
Ontario Land Surveyors

Distance note Metric
Distances and coordinates are in metres and can be converted
to feet by dividing by 0.3048.

Legend

- 100.0 CHAINS EXISTING ELEVATIONS
- R/W CHAINS RETAINING WALL
- CHAINS BOARD FENCE
- CHAINS OVERHEAD TREE W/IRRIAC DRAIN (E)
- CHAINS OVERHEAD UTILITY WIRE
- W CHAINS WATER VALVE/KEY
- U CHAINS UTILITY POLE

Elevations

Elevations are local and derived from the Centreline of Road
having an elevation of 101.10m.

Caution

This is not a plan of survey and shall not be
used except for the purposes indicated in the plan.

Date August 22, 2013

Minerva Pearson
Ontario Land Surveyor



ertl surveyors
Ontario Land Surveyors
www.ertl-ols.com

1114 10th STREET, SUITE 416, MISSISSAUGA, ON L4V 1K1

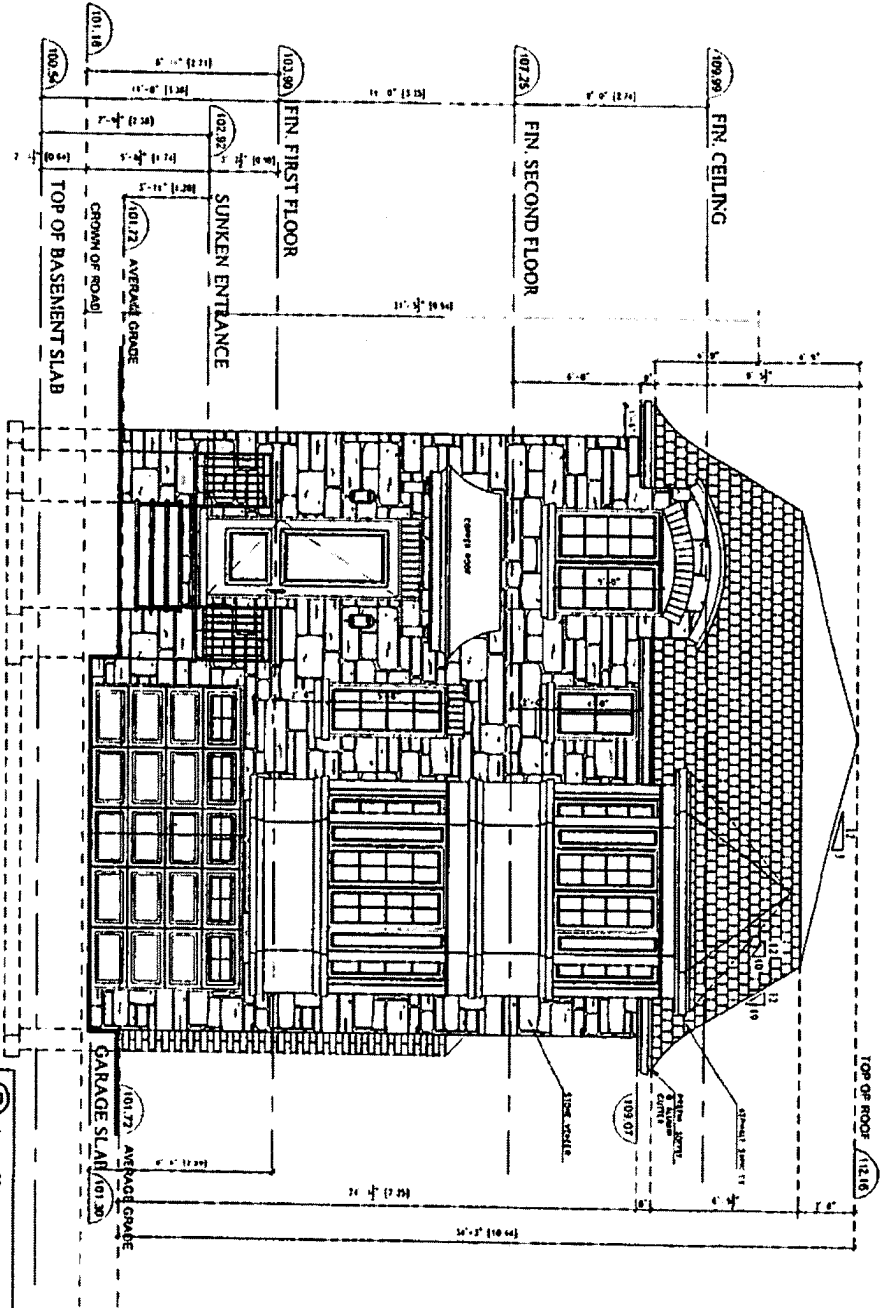
T: (905) 276-1030 F: (905) 276-1032 E: info@ertl-ols.com

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AUG 23 2013

Toronto Building
North York District



FRONT ELEVATION
 * 139 PARKVIEW AVENUE *

Rubioff Design Group
 3291 - A Yonge Street
 Toronto, Ontario M4N 2Y9
 Tel: 416-463-8888 / Fax: 416-463-8889 / Email: info@rubioff.com
 SCALE: 3/16" = 1'-0" AUG. 2013