

City Planning Division
Jennifer Keesmaat, MES MCIP RPP
Chief Planner and Executive Director

Dan Antonacci
Manager & Deputy Secretary
Treasurer
North York Panel

North York Civic Centre
5100 Yonge Street
Toronto, Ontario
M2N 5V7
Phone: (416)395-7000
Fax: (416)395-7200

Mailed on/before: Friday, October 25, 2013

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Wednesday, November 6, 2013 at 1:30 p.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A695/13NY	Zoning	R6/RD (f12.0; a370) [ZZC]
Owner(s):	MAISAM ASGARIAN	Ward:	Willowdale (23)
Agent:	HOMELAND		
Property Address:	29 FARRELL AVE	Community:	North York
Legal Description:	PLAN 3178 LOT 77		

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling with an integral, at-grade, two car garage. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1), By-law No. 569-2013 and Section 14-A(6), By-law No. 7625**
Proposed lot coverage of 32.00% of the lot area
WHEREAS a maximum lot coverage of 30.00% of the lot area is permitted;
- Section 10.20.40.10.(2), By-law No. 569-2013**
Proposed east main wall height of 9.57m
WHEREAS a maximum main wall height of 7.50m is permitted;
- Section 10.20.40.10.(2), By-law No. 569-2013**
Proposed west main wall height of 10.08m
WHEREAS a maximum main wall height of 7.50m is permitted;
- Section 10.20.40.10.(6), By-law No. 569-2013**
Proposed finished first floor height of 1.76m
WHEREAS a maximum finished first floor height of 1.20m is permitted;
- Section 14-A(8), By-law No. 7625**
Proposed building height of 9.09m
WHEREAS a maximum building height of 8.80m is permitted;
- Section 6(24)(c), By-law No. 7625**
Proposed rear deck greater than 1.00m in height with a projection of 3.05m
WHEREAS a rear deck greater than 1.00m in height may not project no more than 2.10m from the wall;

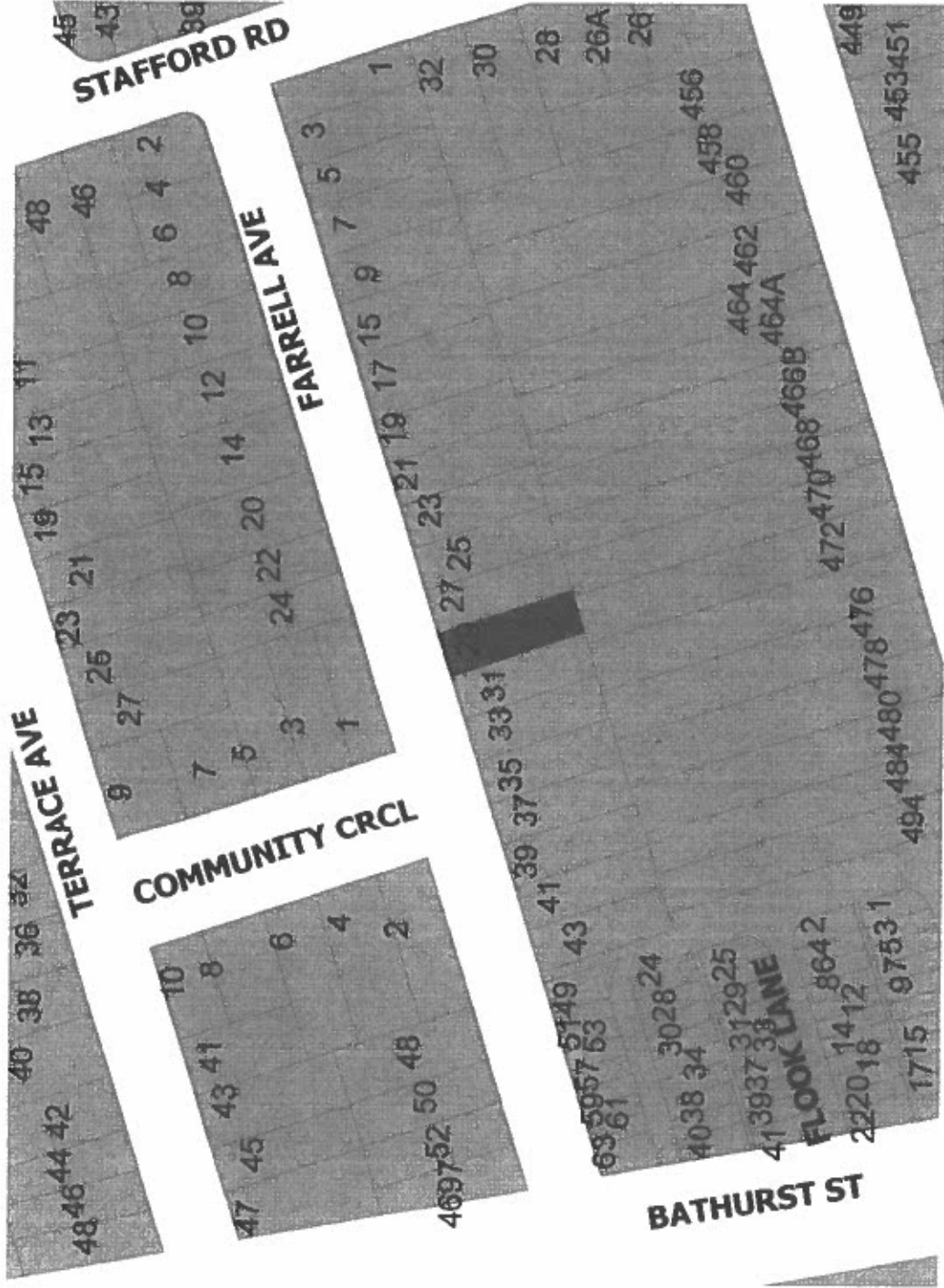
7. **Section 6(8)(a), By-law No. 7625**
Proposed eave projection of 0.61m
WHEREAS a maximum eave projection of 0.50m is permitted; and
8. **Section 12.5A(3)c, By-law No. 7625**
Proposed rear one storey extension height of 6.07m
WHEREAS a maximum rear one storey extension height of 5.00m is permitted.

Dan Antonacci (signed)
Manager and Deputy Secretary-Treasurer
North York Panel
:bc



29 FARRELL AVE.

A695/13NY



FARRELL AVENUE

(BY REGISTERED PLAN 3178)

P.I.N. 10161-0197

Part 2

FENCES AS SHOWN
NO REGISTERED EASEMENTS OR RIGHT OF WAYS
CORNER OF ALUMINUM SHED ON LOT 78
EXTENDS WEST, AS SHOWN.
SURVEY PREPARED FOR ZAMANI HOMES

SURVEYOR'S REAL PROPERTY REPORT, PART 1
PLAN OF LOT 77,
REGISTERED PLAN 3178
CITY OF TORONTO
FORMERLY CITY OF NORTH YORK

SCALE 1:250



© COPYRIGHT ERTL SURVEYORS 2013

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Benchmark
BENCHMARK NO. NY34016. ELEVATION 187.67

Notes

BEARINGS ARE ASTROMOMIC AND ARE REFERRED
TO THE SOUTH LIMIT OF FARRELL AVENUE
IN ACCORDANCE WITH REGISTERED PLAN 3178
HAVING A BEARING OF N 73°00'00"E

- DENOTES SURVEY MONUMENT FOUND
 - SIB STANDARD IRON BAR
 - SSSIB SHORT STANDARD IRON BAR
 - IB IRON BAR
 - CC CUT CROSS
 - RP REGISTERED PLAN 3178
 - OU ORIGIN UNKNOWN
 - WT WITNESS
 - Br BRICK
 - P1 SURVEY BY R.G. MCKIBBON, O.L.S.
- N/S/E/W • DATED OCTOBER 2nd, 1991
NORTH/SOUTH/EAST/WEST

Surveyor's Certificate

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND
IN ACCORDANCE WITH THE SURVEYS ACT,
THE SURVEYORS ACT AND THE LAND TITLES ACT
AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON AUGUST 9th 2013.

AUGUST 10th 2013.

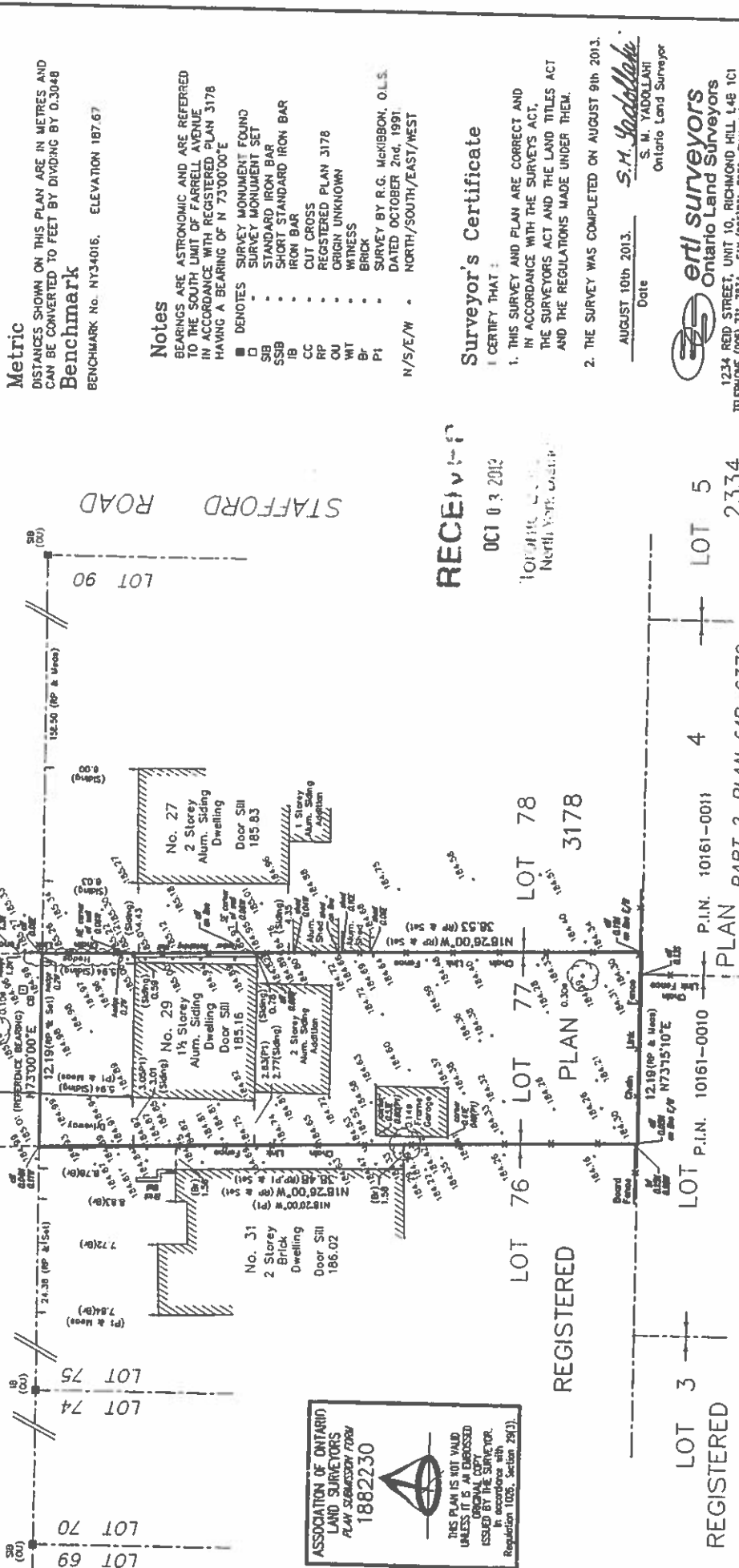
Date

S.M. Yaddollahi
S. M. YADOLLAHI
Ontario Land Surveyor



ertl surveyors
Ontario Land Surveyors

1234 RED STREET, UNIT 10, RICHMOND HILL L4B 1C1
TELEPHONE (905) 731-7834 FAX (905) 731-7852 EMAIL info@ertl-s.com
DRAWING: 13-395.DWG PROJECT: 13-395



RECEIVED
OCT 03 2013
TORONTO
North York City

LOT 76 LOT 77 LOT 78
REGISTERED PLAN 3178

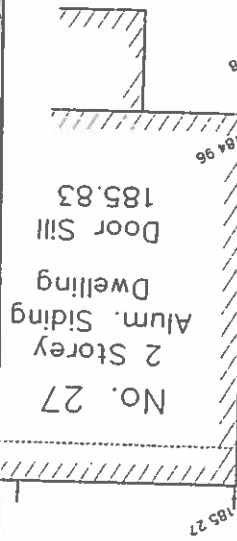
LOT 3 REGISTERED
LOT 4 P.I.N. 10161-0010
LOT 5 P.I.N. 10161-0011
PLAN PART 2, PLAN 64R-6372
2334

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1882230

THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1006, Section 28(1)



ELEVATIONS:
 F. F. E. 186.13
 T. F. W. 186.42
 GAR S. 185.23
 B. F. S. 183.20
 U. S. F. 182.89



No. 31
 2 Storey
 Brick
 Dwelling
 Door Sill
 186.02

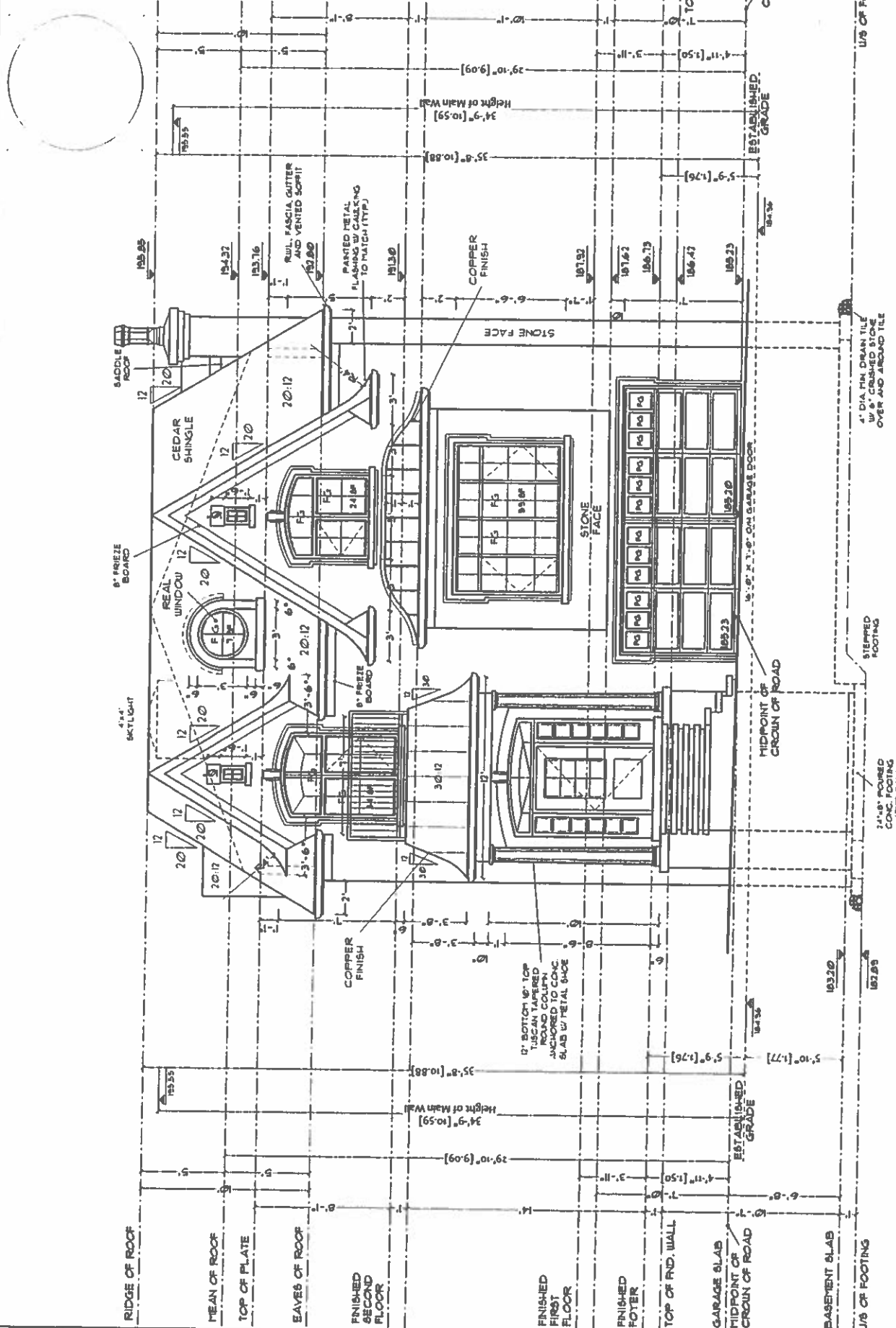
8.83(Br)
 7.72(Br)
 7.84(Br)
 (Pl & Meas)



FARRELL AVENUE
 Centreline of Pavement

THIS SITE PLAN HAS BEEN DRAWN
 BASED ON THE SURVEYOR'S REAL
 PROPERTY REPORT, PREPARED
 BY ERTL SURVEYORS.

SITE DATA:
 ZONING: R6
 NEIGHBOURHOOD: YORKVIEW
 LOT AREA: 46,943 sq (5,053.13 sq ft)
 BUILDING AREA: 19,021 sq (2,061 sq ft)
 LOT COVERAGE: LOT AREA X 32%
FRONT YARD:
 FRONT YARD AREA: 86,35 sq (9,386 sq ft) INCLUSIVE OF PORCH
 LANDSCAPING AREA: 45,44 sq (4,928 sq ft) 52% OF FRONT YARD AREA
 MIN. REQ'D: FRONTAGE OF 15' AND UP 60%
 SOFT LANDSCAPING AREA: 3,414 sq (374 sq ft) 16% OF LANDSCAPING
 MIN. REQUIRED: 15% OF THE FRONT YARD LANDSCAPING
REAR YARD:
 REAR YARD AREA: 183,04 sq (20,116 sq ft)
 SOFT LANDSCAPING AREA: 116,13 sq (12,556 sq ft) 31% OF REAR YARD
 MIN. REQ'D: FRONTAGE OF 6 FT OR LESS, 25% OF REAR YARD
 MIN. REQUIRED: FRONTAGE OF OVER 6 FT, 50% OF REAR YARD



CLASSY HOMES LTD. 416-319-6020 29 FARRELL AVE. 3/16" 1/10" FRONT ELEVATION 06

