



City Planning Division
Jennifer Keesmaat, M.E.S., M.C.I.P., R.P.P.
Chief Planner & Executive Director

Committee of Adjustment
Toronto and East York District

100 Queen Street West
Toronto, Ontario M5H 2N2
Tel: 416-392-7585
Fax: 416-392-0580

RECEIVED JUL 23 2013

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0394/13TEY	Zoning:	R2 Z0.6 (ZZC)
Owner:	PHILLIP KOCEV	Ward:	Toronto-Danforth (29)
Agent:	OREST STOYANOVSKYY		
Property Address:	915 GREENWOOD AVE	Community:	Toronto
Legal Description:	PLAN LOT 148		

Notice was given and a Public Hearing was held on **Wednesday, July 17, 2013**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling containing three units by constructing a complete third floor addition, a front three-storey addition and a roof top terrace. Also, to legally convert the building into three dwelling units.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

- Section 6(2) 1.(iii)(A), By-law 438-86**
An addition to a converted house is permitted to a part of the exterior other than to the front wall and, in the case of a corner lot, other than to the side of the house facing the flanking street.
The third floor and front three-storey additions will be located to the side of the house facing the flanking street (Milverton Boulevard).
- Section 6(2) 1.(v), By-law 438-86**
An addition to a converted house is permitted provided there is no substantial change in the appearance of the dwelling as the result of the conversion.
The third floor and front three-storey additions constitute a substantial change in the appearance of the dwelling.
- Section 6(3) Part I 1., By-law 438-86**
The maximum permitted gross floor area is 0.6 times the area of the lot (117.04 m²).
The altered three-storey dwelling, including the converted basement, will have a gross floor area equal to 1.58 times the area of the lot (307.82 m²).
- Section 6(3) Part II 2.(ii), By-law 438-86**
The minimum required front yard setback is 5.31 m.
The altered three-storey dwelling will be located 3.5 m from the west front lot line.
- Section 6(3) Part II 3.A.(1), By-law 438-86**
The minimum required setback from a flanking street is 6.0 m.
The third floor and front three-storey additions will be constructed in line with the existing dwelling and will be located 0.43 m from the north flanking street (Milverton Boulevard).

6. Section 6(3) Part II 5.(I), By-law 438-86
The maximum permitted building depth is 14.0 m.
The altered three-storey dwelling will have a building depth of 15.21 m.
7. Section 6(3) Part III 1.(a), By-law 438-86
A minimum of 30% of the lot area shall be maintained as landscaped open space (58.52 m²).
A total of 26.8% of the lot area will be maintained as landscaped open space (52.31 m²).

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to NOT approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0394/13TEY	Zoning	R2 Z0.6 (ZZC)
Owner:	PHILLIP KOCEV	Ward:	Toronto-Danforth (29)
Agent:	OREST STOYANOVSKYY	Community:	Toronto
Property Address:	915 GREENWOOD AVE		
Legal Description:	PLAN LOT 148		

Barbara Leonhardt

Donna McCormick

Robert Brown

Christian Chan

DATE DECISION MAILED ON: Tuesday, July 23rd, 2013

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, August 6th, 2013

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$125.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.



City Planning Division
Jennifer Keesmaat, MESA MCIP RPP
Chief Planner and Executive Director

Committee of Adjustment
100 Queen Street West
Toronto ON M5H 2N2
Tel: 416-392-7565
Fax: 416-392-0560

Mailed on/before: Sunday, July 7, 2013

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Wednesday, July 17, 2013 at 2:30 p.m.

LOCATION: Committee Room 2, Second Floor, Toronto City Hall, 100 Queen St W, M5H 2N2

File Number:	A0394/13TEY	Zoning:	R2 Z0.6 (ZZC)
Owner(s):	PHILLIP KOCEV	Ward:	Toronto-Danforth (29)
Agent:	OREST STOYANOVSKYY		
Property Address:	915 GREENWOOD AVE	Community:	Toronto
Legal Description:	PLAN LOT 148		

PURPOSE OF THE APPLICATION:

To alter the two-storey detached dwelling by constructing a complete third floor addition, a front three-storey addition, and a roof top terrace. Also, to legally convert the building into three dwelling units. Note: The existing building contains three dwelling units.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 6(2) 1.(iii)(A), By-law 438-86**
An addition to a converted house is permitted to a part of the exterior other than to the front wall and, in the case of a corner lot, other than to the side of the house facing the flanking street.
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A minimum of 30% of the lot area shall be maintained as landscaped open space (58.52 m²).
A total of 26.8% of the lot area will be maintained as landscaped open space (52.31 m²).

THE COMMITTEE OF ADJUSTMENT & MINOR VARIANCES

The role of the Committee of Adjustment is to provide flexibility in dealing with minor adjustments to zoning by-law requirements. To approve such variances, the Committee must be satisfied that:

- the variance requested is minor;
- the proposal is desirable for the appropriate development or use of the land and/or building;
- the general intent and purpose of the City's Zoning Code and/or By-law are maintained; and
- the general intent and purpose of the Official Plan are maintained.

The Committee of Adjustment forms its opinion through its detailed review of all material filed with an application, letters received, deputations made at the public hearing and results of site inspections.

MAKING YOUR VIEWS KNOWN

The notice has been mailed to you, as required by the *Planning Act*, to ensure that, as an interested person, you may make your views known by:

- **Attending the Public Hearing.** Attendant Care Services can be made available with some advance notice.
- **Sending a letter by Mail or Fax.** Information you choose to disclose in your correspondence will be used to receive your views on the relevant issue(s) to enable the Committee to make its decision on this matter. This information will become part of the public record.

If you do not attend the public hearing, or express your views in writing, the Committee may make a decision in your absence, and may recommend changes to the proposal

TO VIEW THE MATERIALS IN THE APPLICATION FILE

Attend the Committee of Adjustment office at the above address Monday to Friday, 8:30 a.m. to 4:30 p.m. Plans filed with the application **will not be photocopied.**

RECEIVING A COPY OF THE COMMITTEE'S DECISION

- The Committee will announce its decision on the application at the Public Hearing.
- To receive a copy of the Decision, fill out the Decision Request Form at our office or at the Public Hearing or write a letter requesting a copy of the Decision and send it to our office.
- If you wish to appeal a Decision of the Committee to the Ontario Municipal Board, you must file your written request for a decision with the Deputy Secretary-Treasurer.

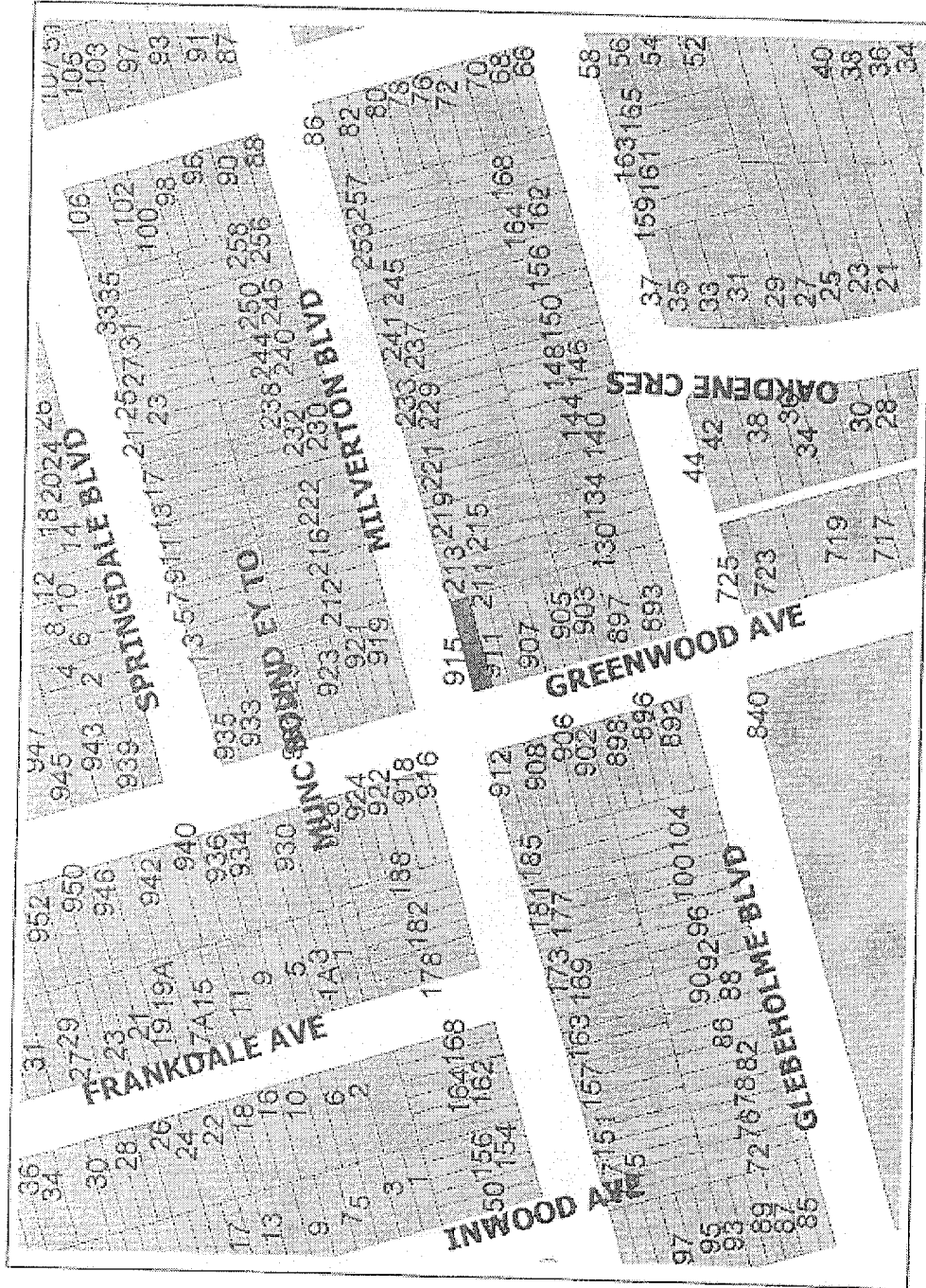
For more information please telephone our office. Call Kevin Friedrich, (416) 392-0097, Office of the Committee of Adjustment, Toronto City Hall, Toronto, ON, M5H 2N2.

Anita M. MacLeod
Manager & Deputy Secretary Treasurer
Toronto and East York Panel



915 GREENWOOD AVENUE

FILE NO. A0394/13TEY



Date: May 28 2013

TOPOGRAPHIC SURVEY OF

LOT 148

REGISTERED PLAN 534E

CITY OF TORONTO

(FORMERLY THE CITY OF TORONTO)

RECEIVED
MAY 07 2013
COMMITTEE OF
ADJUSTMENT

MILVERTON BOULEVARD
(BY REGISTERED PLAN 534E)



SCALE = 1 : 200

MITSCHE & AZIZ INC., O.L.S.

METRIC DISTANCES SHOWN HEREON ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

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- LEGEND:
- 100000 EXISTING ELEVATION
 - DS DOOR SILL
 - HP HYDRO PILE
 - HP HATCH PILE
 - CH CHAIN LINK FENCE
 - DBF DOUBLE BOARD FENCE
 - DBF BOARD FENCE
 - GW GUY WIRE
 - OW OVERHEAD WIRE
 - S/S SIGN
 - CT. CONIFEROUS TREE
 - CT. CONIFEROUS TREE
 - DT. DECIDUOUS TREE TRUNK
 - DT. DECIDUOUS TREE TRUNK

NOTE: BOUNDARY INFORMATION ARE TAKEN FROM FIELD NOTES BY MITSCHE AND AZIZ INC., DATED MARCH 12, 2013 BASED ON A SURVEY BY A.E. REUSEN O.L.S., DATED JULY 30, 1973.

GEODETIC ELEVATIONS SHOWN HEREON ARE LOCAL.

SURVEYOR'S CERTIFICATE
THE SURVEY WAS COMPLETED ON 12th DAY OF MARCH, 2013

MARCH 19, 2013

DATE

A. ABDELWAHID
ONTARIO LAND SURVEYOR

MITSCHE & AZIZ INC.
ONTARIO LAND SURVEYORS

56 WRIGHT STREET, RICHMOND HILL, ONT. L4C 4A1
Tel: (416) 409-4267 Fax: (905) 237-2224
E-mail: a.abdelwahid@mtsca.com

PROJECT NUMBER

010-588

PROJECT

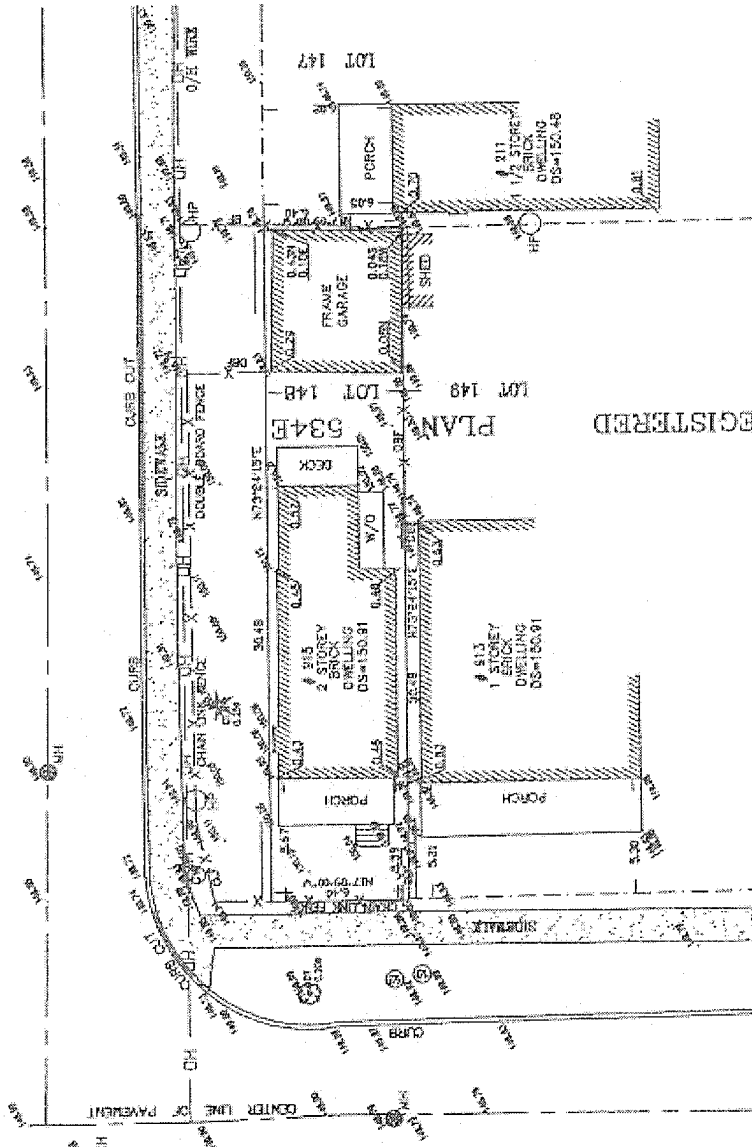
515 GREENWOOD AVENUE (TP)

DRAWN BY

SHI

CHECKED BY

AA



GREENWOOD AVENUE
(BY REGISTERED PLAN 534E)

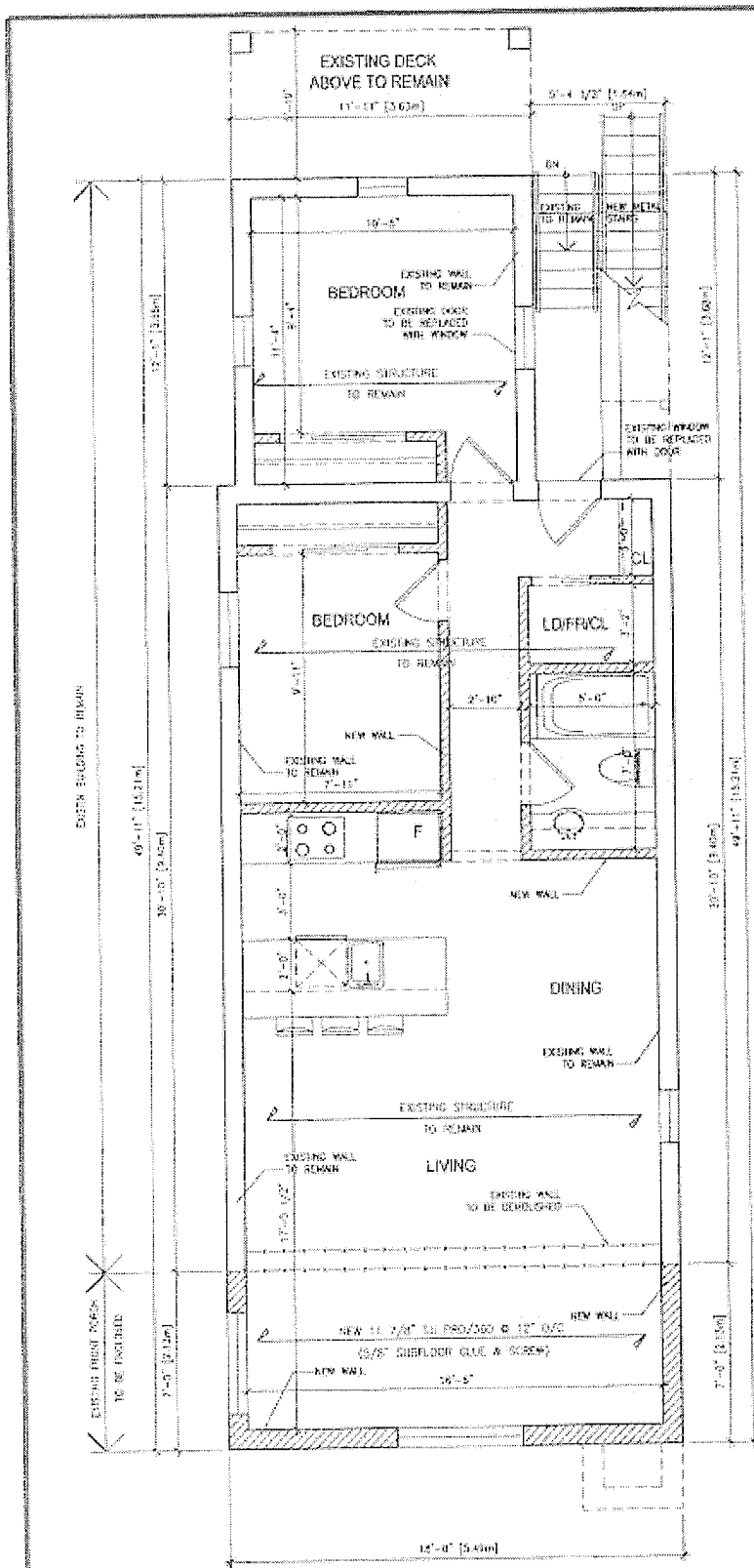
REGISTERED

PLAN 534E

LOT 148

LOT 147

LOT 149



COLUMNS

1	2x4x8 (12x12) W/ 2"
2	2x4x8 (12x12) W/ 2"
3	2x4x8 (12x12) W/ 2"
4	2x4x8 (12x12) W/ 2"
5	2x4x8 (12x12) W/ 2"
6	2x4x8 (12x12) W/ 2"
7	2x4x8 (12x12) W/ 2"
8	2x4x8 (12x12) W/ 2"
9	2x4x8 (12x12) W/ 2"
10	2x4x8 (12x12) W/ 2"
11	2x4x8 (12x12) W/ 2"
12	2x4x8 (12x12) W/ 2"

BEAMS AND UNITS

1	2x4x8 (12x12) W/ 2"
2	2x4x8 (12x12) W/ 2"
3	2x4x8 (12x12) W/ 2"
4	2x4x8 (12x12) W/ 2"
5	2x4x8 (12x12) W/ 2"
6	2x4x8 (12x12) W/ 2"
7	2x4x8 (12x12) W/ 2"
8	2x4x8 (12x12) W/ 2"
9	2x4x8 (12x12) W/ 2"
10	2x4x8 (12x12) W/ 2"
11	2x4x8 (12x12) W/ 2"
12	2x4x8 (12x12) W/ 2"

INTERIOR STUD PARTITIONS

FOR INTERIOR PARTITION WALLS TO BE 2x4x8 (12x12) W/ 2" MINIMUM SPACING. PARTITION WALLS TO BE 2x4x8 (12x12) W/ 2" MINIMUM SPACING. PARTITION WALLS TO BE 2x4x8 (12x12) W/ 2" MINIMUM SPACING. PARTITION WALLS TO BE 2x4x8 (12x12) W/ 2" MINIMUM SPACING.

DOORS

- ALL INTERIOR DOORS TO BE 60" HIGH
- EXTERIOR DOOR TO BE 68" HIGH
- EXTERIOR DOOR TO BE 36" WIDE
- EXTERIOR DOOR TO BE 1 1/2" MINIMUM SPACING
- EXTERIOR DOOR TO BE 1 1/2" MINIMUM SPACING
- EXTERIOR DOOR TO BE 1 1/2" MINIMUM SPACING
- EXTERIOR DOOR TO BE 1 1/2" MINIMUM SPACING

WINDOWS

ALL EXISTING WINDOWS TO REMAIN UNLESS NOTED

FLOORING

ALL EXISTING FLOORING TO REMAIN UNLESS NOTED

WALLS

ALL EXISTING WALLS TO REMAIN UNLESS NOTED

ELECTRICAL

NO SECOND ELECTRICAL PANELS ARE REQUIRED TO REMAIN

NOTE:

EXISTING STRUCTURE TO REMAIN UNLESS NOTED

NOTE:

ALL DIMENSIONS SHOULD BE CHECKED PRIOR TO CONSTRUCTION OR ANY WORK IN CASE OF DISCREPANCY NOTIFY PROJECT ARCHITECT FOR CLARIFICATION.

ALL DIMENSIONS SENSITIVE TO 1/8" UNLESS NOTED

MIN THERMAL RESISTANCE OF INSULATION

Ceiling with Attic Space	R50
Ceiling without Attic Space	R31
Exposed Floor	R11
Walls Above Grade	R24
Basement Walls	R20

NOTE:

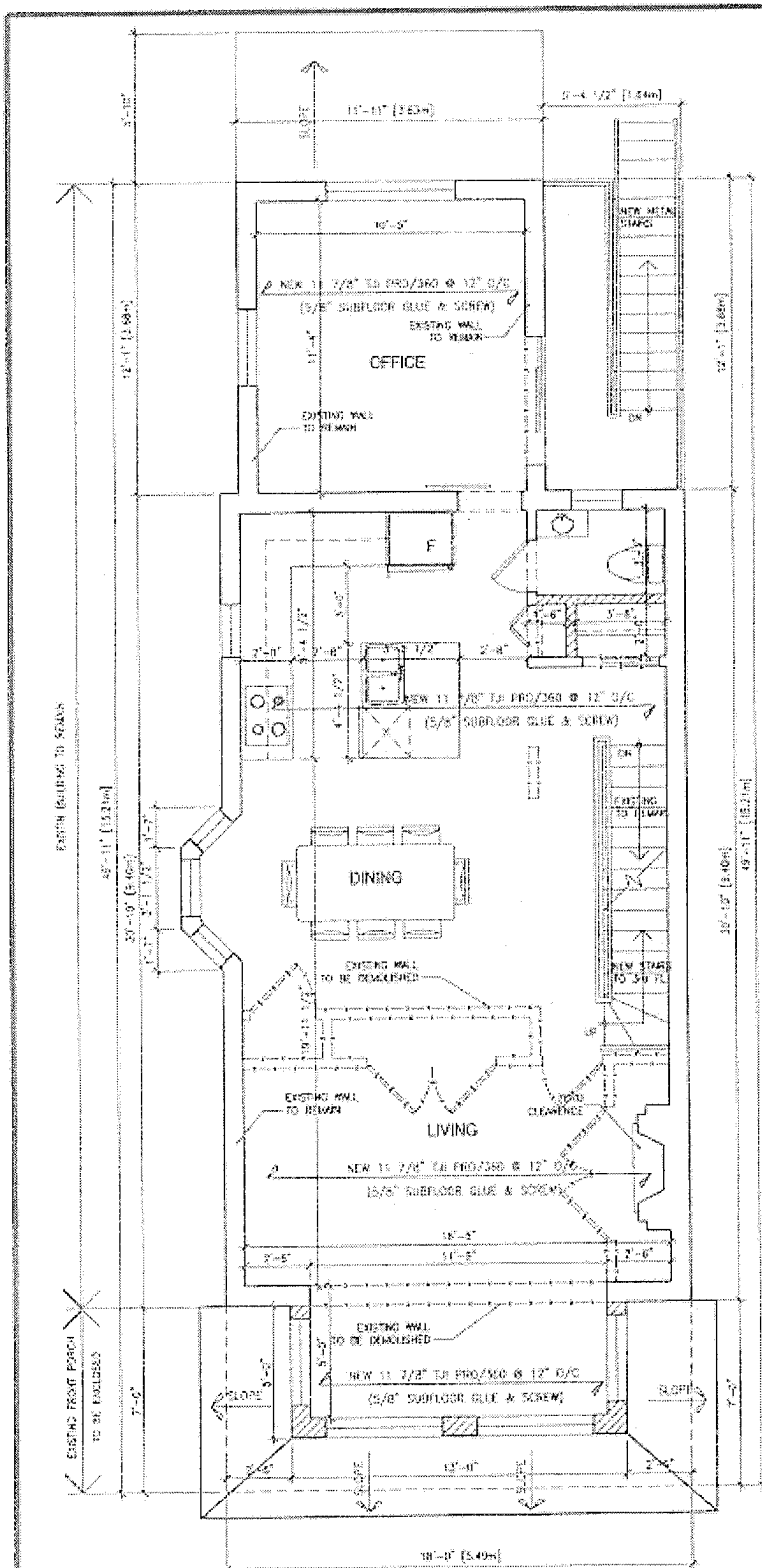
EXISTING STRUCTURE TO REMAIN UNLESS NOTED

--- WALLS TO BE DEMOLISHED
 --- EXISTING STRUCTURE TO REMAIN
 --- NEW WALLS

BASEMENT PLAN/ EXISTING
 SCALE: 1/8" = 1'-0"

RECEIVED
 MAY 07 2013
 COMMITTEE OF ADJUSTMENT

STOYANOVSKYY ARCHITECTS 75 HUNTING GLEN TERRACE, 10TH FLOOR, NEW YORK, NY 10022 (212) 425-1234 FAX: (212) 425-1234 www.stoyanovskyy.com	NO. 1 DATE: 2/1/13	NO. 2 DATE: 2/1/13	Drawing: PROPOSED RENOVATION AND ADDITION	Project: 915 GREENWOOD 3 PLEX <small>10 GREENWOOD ST., TORONTO, ONTARIO</small>	Date: 2 APRIL 2013	Drawing #: A-5 Scale: A5 SHOWN
	NO. 3 DATE: 2/1/13	NO. 4 DATE: 2/1/13			Project Number: 13104	
	NO. 5 DATE: 2/1/13	NO. 6 DATE: 2/1/13				
	NO. 7 DATE: 2/1/13	NO. 8 DATE: 2/1/13				



COLUMNS

NEW 1	2-3/4" x 3-1/2" x 8'-0" CIP
NEW 2	2-3/4" x 3-1/2" x 8'-0" CIP
NEW 3	2-3/4" x 3-1/2" x 8'-0" CIP
NEW 4	2-3/4" x 3-1/2" x 8'-0" CIP
NEW 5	2-3/4" x 3-1/2" x 8'-0" CIP
NEW 6	2-3/4" x 3-1/2" x 8'-0" CIP
NEW 7	2-3/4" x 3-1/2" x 8'-0" CIP

BEAMS AND LINTELS

NEW 1	2-3/4" x 3-1/2" x 8'-0" CIP
NEW 2	2-3/4" x 3-1/2" x 8'-0" CIP
NEW 3	2-3/4" x 3-1/2" x 8'-0" CIP
NEW 4	2-3/4" x 3-1/2" x 8'-0" CIP
NEW 5	2-3/4" x 3-1/2" x 8'-0" CIP
NEW 6	2-3/4" x 3-1/2" x 8'-0" CIP
NEW 7	2-3/4" x 3-1/2" x 8'-0" CIP
NEW 8	2-3/4" x 3-1/2" x 8'-0" CIP
NEW 9	2-3/4" x 3-1/2" x 8'-0" CIP
NEW 10	2-3/4" x 3-1/2" x 8'-0" CIP
NEW 11	2-3/4" x 3-1/2" x 8'-0" CIP
NEW 12	2-3/4" x 3-1/2" x 8'-0" CIP
NEW 13	2-3/4" x 3-1/2" x 8'-0" CIP
NEW 14	2-3/4" x 3-1/2" x 8'-0" CIP
NEW 15	2-3/4" x 3-1/2" x 8'-0" CIP

INTERIOR STUD PARTITIONS

NEW STUD PARTITIONS TO BE 2x4 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON BOTH SIDES. EXISTING STUD PARTITIONS TO REMAIN UNLESS NOTED OTHERWISE.

DOORS

- ALL INTERIOR DOORS TO BE 60" HIGH.
- EXISTING DOORS TO BE REFINISHED WITH OAK VENEER FINISH.
- NEW DOORS TO BE 2-1/2" THICK WITH 1-1/2" RISE AT THRESHOLD.
- DOORS TO BE FINISHED TO MATCH EXISTING DOORS.

WINDOWS

ALL EXISTING WINDOWS TO REMAIN UNLESS NOTED.

FLOORING

NEW FLOORING TO BE INSTALLED ON TOP OF EXISTING FLOOR UNLESS NOTED OTHERWISE.

WALLS

- ALL EXISTING WALLS TO REMAIN UNLESS NOTED.
- NEW WALLS TO BE FINISHED TO MATCH EXISTING WALLS.

ELECTRICAL

ALL EXISTING ELECTRICAL TO REMAIN UNLESS NOTED.

NOTE:
EXISTING STRUCTURE TO REMAIN UNLESS NOTED

NOTE:
ALL DIMENSIONS SHOULD BE CHECKED PRIOR TO CONSTRUCTION OR ANY WORK. IN CASE OF DISCREPANCY NOTIFY PROJECT ARCHITECT FOR CLARIFICATION.
ALL EXISTING SIGNATURE SHALL BE REPRODUCED AS SHOWN.

MIN. THERMAL RESISTANCE OF INSULATION

Ceiling with Attic Space	R50
Ceiling without Attic Space	R51
Exposed Floor	R51
Walls Above Grade	R24
Basement Walls	R25

NOTE:
EXISTING STRUCTURE TO REMAIN UNLESS NOTED

----- WALLS TO BE DEMOLISHED
 ===== EXISTING STRUCTURE TO REMAIN
 ===== NEW WALLS

RECEIVED
 MAY 07 2013
 COMMITTEE OF ADJUSTMENT

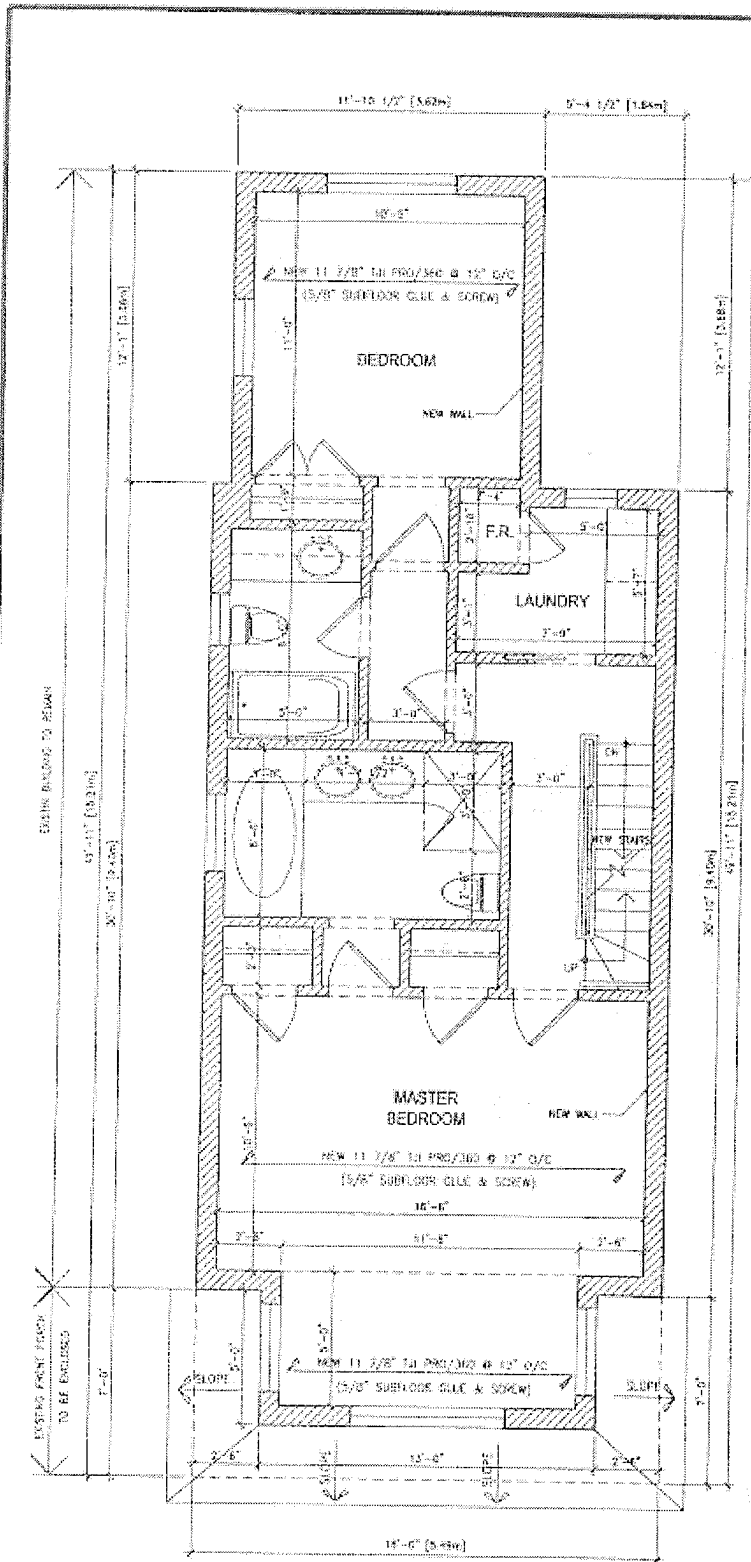
STOYANOVSKY ARCHITECTS
 20 WYNDHAM ST. TORONTO, ON M6E 1B5
 (416) 591-2112 FAX (416) 591-2860
 www.stoyanovsky.com www.stoyanovsky.com

NO.	REVISIONS	DATE
1	ISSUED	2013/04/02
2	ISSUED	2013/04/02

Project: 915 GREENWOOD 3 PLEX
Drawing: PROPOSED RENOVATION AND ADDITION

Date: 2 APRIL 2013
Project Number: 13104

Drawing #: A-7
Scale: AS SHOWN



COLUMNS

NEW CONCRETE COLUMN

WC1	3'-0\"/>
-----	----------

BEAMS AND CEILING

WB1	2'-0\"/>
-----	----------

INTERIOR STUD PARTITIONS

NEW 1/2\"/>

DOORS

- ALL INTERIOR DOORS TO BE 60\"/>

WINDOWS

ALL EXISTING WINDOWS TO REMAIN UNLESS NOTED

FLOORING

NEW 3/4\"/>

WALLS

ALL EXISTING WALLS TO REMAIN UNLESS NOTED

ELECTRICAL

ALL EXISTING ELECTRICAL PANELS AND FIXTURES TO REMAIN

NOTE:

EXISTING STRUCTURE TO REMAIN UNLESS NOTED

NOTE:

ALL DIMENSIONS SHOULD BE CHECKED PRIOR TO CONSTRUCTION OR ANY WORK. IN CASE OF DISCREPANCY NOTIFY PROJECT ARCHITECT FOR CLARIFICATION.

ALL EXISTING STRUCTURE TO BE SITE VERIFIED DURING CONSTRUCTION

MIN. THERMAL RESISTANCE OF INSULATION

Ceiling with Attic Space	R50
Ceiling without Attic Space	R31
Exposed Floor	R31
Walls Above Grade	R24
Basement Walls	R20

NOTE:

EXISTING STRUCTURE TO REMAIN UNLESS NOTED

--- WALLS TO BE DEMOLISHED

--- EXISTING STRUCTURE TO REMAIN

----- NEW WALLS

RECEIVED
 MAY 07 2013
 COMMITTEE OF ADJUSTMENT

3RD FLOOR PLAN / NEW

STOYANOVSKYY ARCHITECTS

33 WILSON DR. SUITE 100, OAK RIDGE, TN 37830
 TEL: 615.421.1045 FAX: 615.421.1045
 WWW.STOYANOVSKYY.COM WWW.STOYANOVSKYY.COM

NO.	REVISIONS	DATE
1	ISSUED	DATE

Project: **PROPOSED RENOVATION AND ADDITION**

Project: **915 GREENWOOD 3 PLEX**

Date: **2 APRIL 2013**

Project Number: **13104**

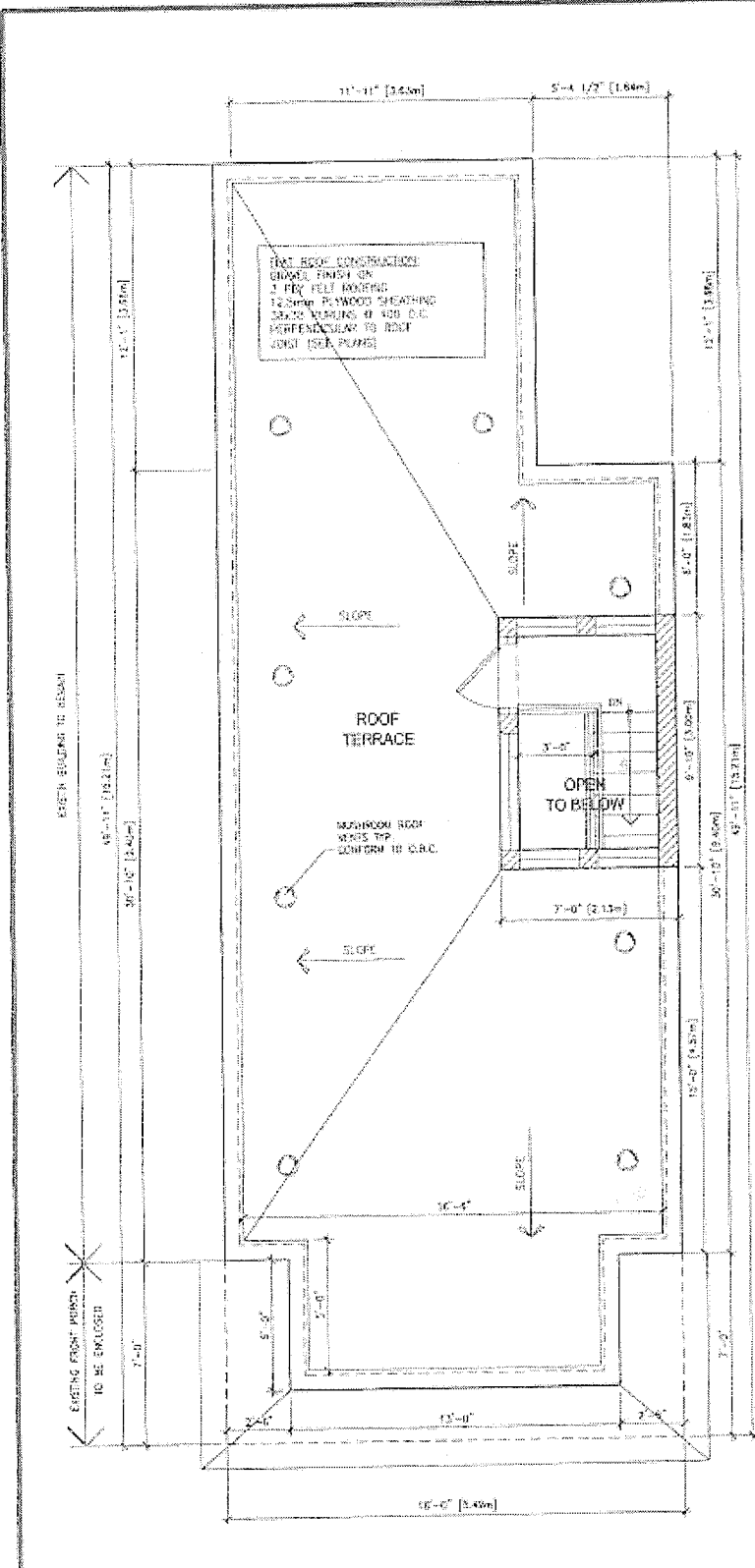
Drawing #: **A-8**

Scale: **AS SHOWN**

RECEIVED

MAY 07 2013

COMMITTEE OF ADJUSTMENT



COLUMNS

1	12" x 12" (3050 x 3050) CMU
2	12" x 12" (3050 x 3050) CMU
3	12" x 12" (3050 x 3050) CMU
4	12" x 12" (3050 x 3050) CMU
5	12" x 12" (3050 x 3050) CMU
6	12" x 12" (3050 x 3050) CMU
7	12" x 12" (3050 x 3050) CMU
8	12" x 12" (3050 x 3050) CMU
9	12" x 12" (3050 x 3050) CMU
10	12" x 12" (3050 x 3050) CMU

BEAMS AND LINTELS

1	2" x 8" (51 x 203) S.P.F. #2
2	2" x 8" (51 x 203) S.P.F. #2
3	2" x 8" (51 x 203) S.P.F. #2
4	2" x 8" (51 x 203) S.P.F. #2
5	2" x 8" (51 x 203) S.P.F. #2
6	2" x 8" (51 x 203) S.P.F. #2
7	2" x 8" (51 x 203) S.P.F. #2
8	2" x 8" (51 x 203) S.P.F. #2
9	2" x 8" (51 x 203) S.P.F. #2
10	2" x 8" (51 x 203) S.P.F. #2
11	2" x 8" (51 x 203) S.P.F. #2
12	2" x 8" (51 x 203) S.P.F. #2
13	2" x 8" (51 x 203) S.P.F. #2
14	2" x 8" (51 x 203) S.P.F. #2
15	2" x 8" (51 x 203) S.P.F. #2
16	2" x 8" (51 x 203) S.P.F. #2
17	2" x 8" (51 x 203) S.P.F. #2
18	2" x 8" (51 x 203) S.P.F. #2
19	2" x 8" (51 x 203) S.P.F. #2
20	2" x 8" (51 x 203) S.P.F. #2
21	2" x 8" (51 x 203) S.P.F. #2
22	2" x 8" (51 x 203) S.P.F. #2
23	2" x 8" (51 x 203) S.P.F. #2
24	2" x 8" (51 x 203) S.P.F. #2
25	2" x 8" (51 x 203) S.P.F. #2
26	2" x 8" (51 x 203) S.P.F. #2
27	2" x 8" (51 x 203) S.P.F. #2
28	2" x 8" (51 x 203) S.P.F. #2
29	2" x 8" (51 x 203) S.P.F. #2
30	2" x 8" (51 x 203) S.P.F. #2
31	2" x 8" (51 x 203) S.P.F. #2
32	2" x 8" (51 x 203) S.P.F. #2
33	2" x 8" (51 x 203) S.P.F. #2
34	2" x 8" (51 x 203) S.P.F. #2
35	2" x 8" (51 x 203) S.P.F. #2
36	2" x 8" (51 x 203) S.P.F. #2
37	2" x 8" (51 x 203) S.P.F. #2
38	2" x 8" (51 x 203) S.P.F. #2
39	2" x 8" (51 x 203) S.P.F. #2
40	2" x 8" (51 x 203) S.P.F. #2
41	2" x 8" (51 x 203) S.P.F. #2
42	2" x 8" (51 x 203) S.P.F. #2
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98	2" x 8" (51 x 203) S.P.F. #2
99	2" x 8" (51 x 203) S.P.F. #2
100	2" x 8" (51 x 203) S.P.F. #2

INTERIOR STUD PARTITIONS
 FOR EXISTING PARTITIONS: 2" x 4" S.P.F. #2 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
 FOR NEW PARTITIONS: 2" x 4" S.P.F. #2 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON BOTH SIDES.

DOORS
 ALL EXISTING DOORS TO BE REFINISHED.
 ALL NEW DOORS TO BE 2" x 4" S.P.F. #2 WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
 ALL DOORS TO BE 28" HIGH BY 36" WIDE.
 ALL DOORS TO BE 28" HIGH BY 36" WIDE.
 ALL DOORS TO BE 28" HIGH BY 36" WIDE.

WINDOWS
 ALL EXISTING WINDOWS TO REMAIN UNLESS NOTED.

FLOORING
 ALL EXISTING FLOORING TO BE REFINISHED OR REPLACED AS NOTED.

WALLS
 ALL EXISTING WALLS TO REMAIN UNLESS NOTED.

ELECTRICAL
 ALL EXISTING ELECTRICAL TO REMAIN UNLESS NOTED.

NOTE:
 EXISTING STRUCTURE TO REMAIN UNLESS NOTED.

NOTE:
 ALL DIMENSIONS SHOULD BE CHECKED FROM COMPLETION OR OFF DRAWING IN CASE OF DISCREPANCY NOTIFY PROJECT ARCHITECT FOR CLARIFICATION.
 ALL EXISTING STRUCTURE TO BE REFINISHED OR REPAIRED AS NOTED.

MIN THERMAL RESISTANCE OF INSULATION

Ceiling with Air Space	R50
Ceiling without Air Space	R31
Exposed Floor	R18
Walls Above Grade	R14
Basement Walls	R20

NOTE:
 EXISTING STRUCTURE TO REMAIN UNLESS NOTED.

--------- WALLS TO BE DEMOLISHED
 ===== EXISTING STRUCTURE TO REMAIN
 //////////////// NEW WALLS

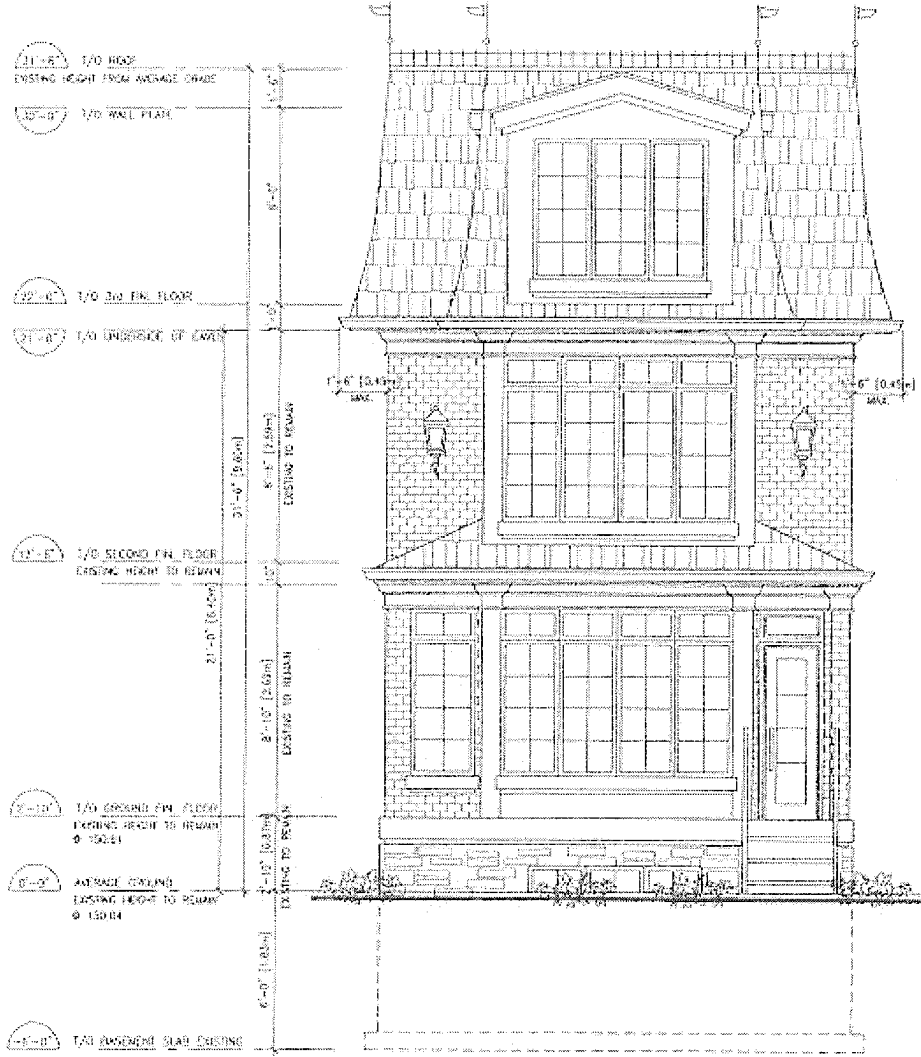
ROOF PLAN / NEW
 101 - 3042 3/16" x 1/8"

STOYANOVSKYY ARCHITECTS 10 N. HILL ST. SUITE 200, DENVER, CO 80202 (303) 733-7441 FAX: (303) 733-7442 stoyanovskyy.com stoyanovskyy.com	No. 1 REVISED DATE: 2/28/13	No. 1 ISSUED DATE: 2/28/13	Drawing: PROPOSED RENOVATION AND ADDITION	Project: 915 GREENWOOD 3 PLEX <small>1111 GREENWOOD AVE. DENVER, CO 80202</small>	Date: 2 APRIL 2013 Project Number: 13104	Drawing #: A-9 Scale: AS SHOWN	

RECEIVED

MAY 07 2013

COMMITTEE OF ADJUSTMENT



1 FRONT ELEVATION (WEST)
SCALE 1/8" = 1'-0"

NOTE:
EXISTING AND NEW BRICK CLADDING
TO BE PAINTED. NO EXTERIOR INSULATION
OR FACING MATERIALS PROJECTING INTO
SETBACKS. EXISTING SETBACKS TO REMAIN.

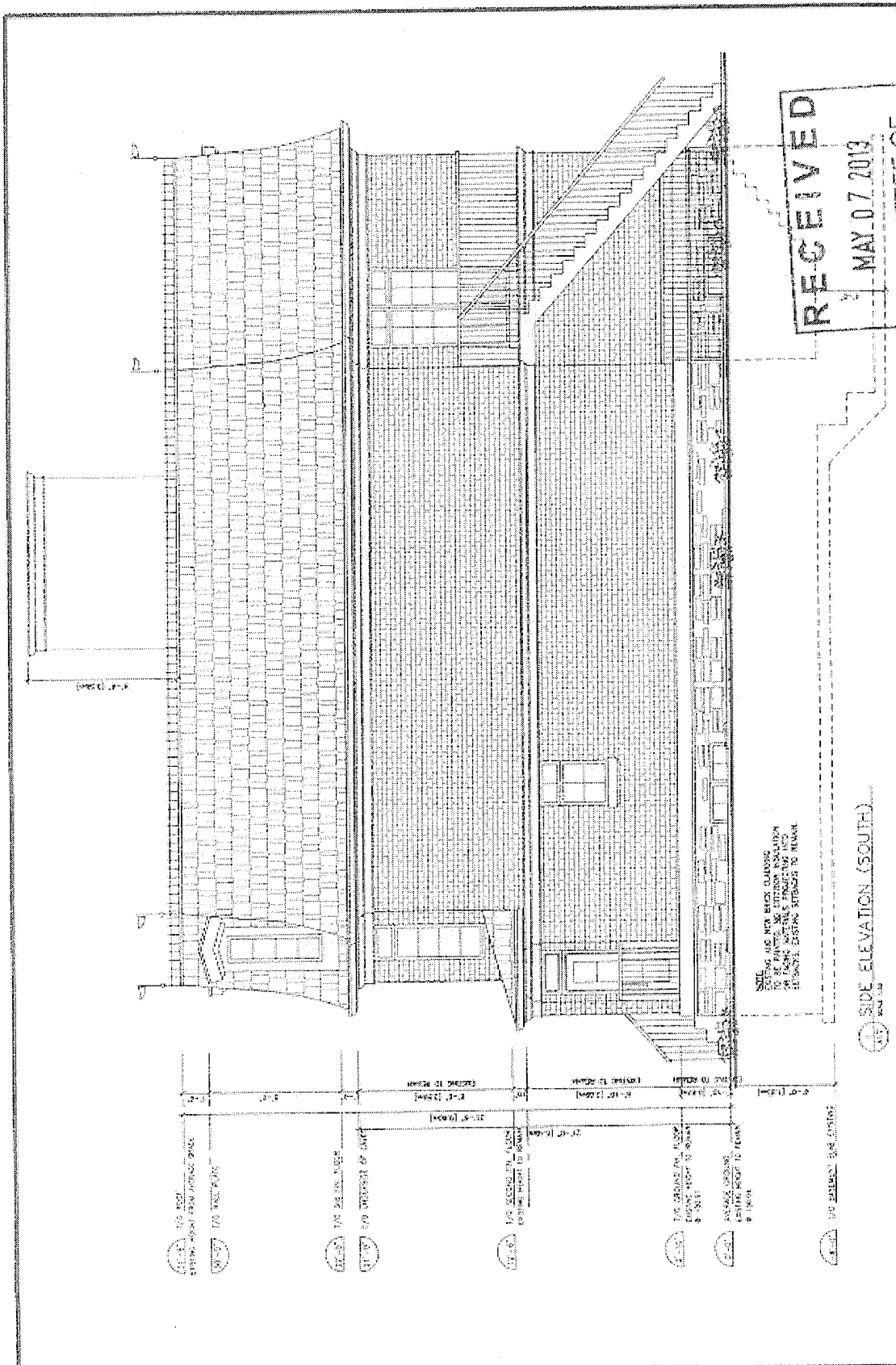
STOYANOVSKIY ARCHITECTS 10 ANDRUS BL. BOSTON, MA 02114 TEL: 617.552.1411 FAX: 617.552.1413 WWW.STOYANOVSKIY.COM	NO.	REVISION	DATE	Drawing: PROPOSED RENOVATION AND ADDITION	Project: 915 GREENWOOD 3 PLEX 915 GREENWOOD AVE. BOSTON, MA 02114	Date: 2 APRIL 2013 Project Number: 13104	Drawing #: A-10 Scale: AS SHOWN
	1	CLIENT	2/28/2013				
	2	REVISED	3/20/2013				
	3	REVISED	4/10/2013				



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 MAY 07 2013
 COMMITTEE OF
 ADJUSTMENT

SCALE: 1/8" = 1'-0"
 SIDE ELEVATION (NORTH)
 EXISTING AND NEW BRICK CLADDING TO BE MATCHED TO EXISTING BRICKWORK. SEE SEPARATE EXISTING SURVEY TO ALIEN.

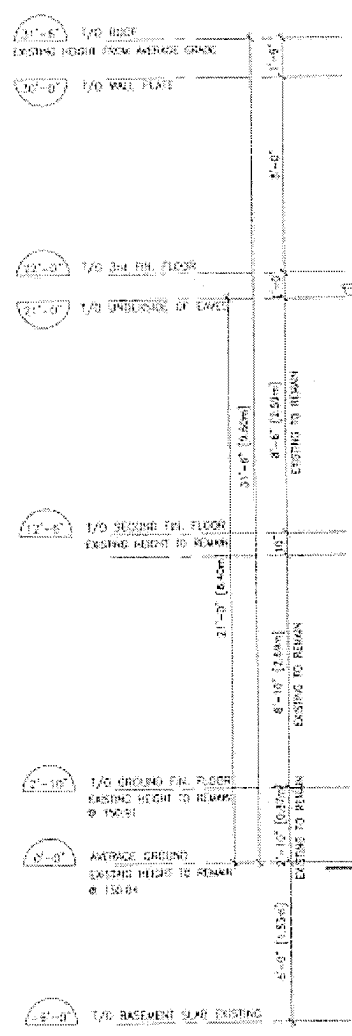
STOYANOVSKIY ARCHITECTS 11 AVENUE 20 TORONTO, ON, M5M 1K6 TEL: (416) 593-1811 FAX: (416) 593-2033 WWW.STOYANOVSKIY.COM	No. 1 DATE: 04/02/13	Drawing: PROPOSED RENOVATION AND ADDITION	Project: 915 GREENWOOD 3 PLEX <small>MISSENVILLE, ONTARIO</small>	Date: 2 APRIL 2013 Project Number: 13104	Drawing #: A-11 Scale: AS SHOWN
	No. 2 DATE: 04/02/13				



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 COMMITTEE OF
 ADJUSTMENT

STOYANOVSKYY ARCHITECTS <small>1100 BAYVIEW AVE. TORONTO, ONT. M2W 2E7 (416) 461-2222 FAX: (416) 461-2295 www.stoyanovskyy.com www.stoyanovskyy.ca</small>	NO	REVISED	DATE	Drawing: PROPOSED RENOVATION AND ADDITION	Project: 915 GREENWOOD 3 PLEX <small>1100 GREENWOOD AVE. TORONTO, ONT. M2W 2E7</small>	Date: 2 APRIL 2013 Project Number: 13104	Drawing #: A-12 Scale: AS SHOWN
	1	CLASH	2013/03/22				
	2	REV	2013/03/22				
	3	ISSUED	DATE				

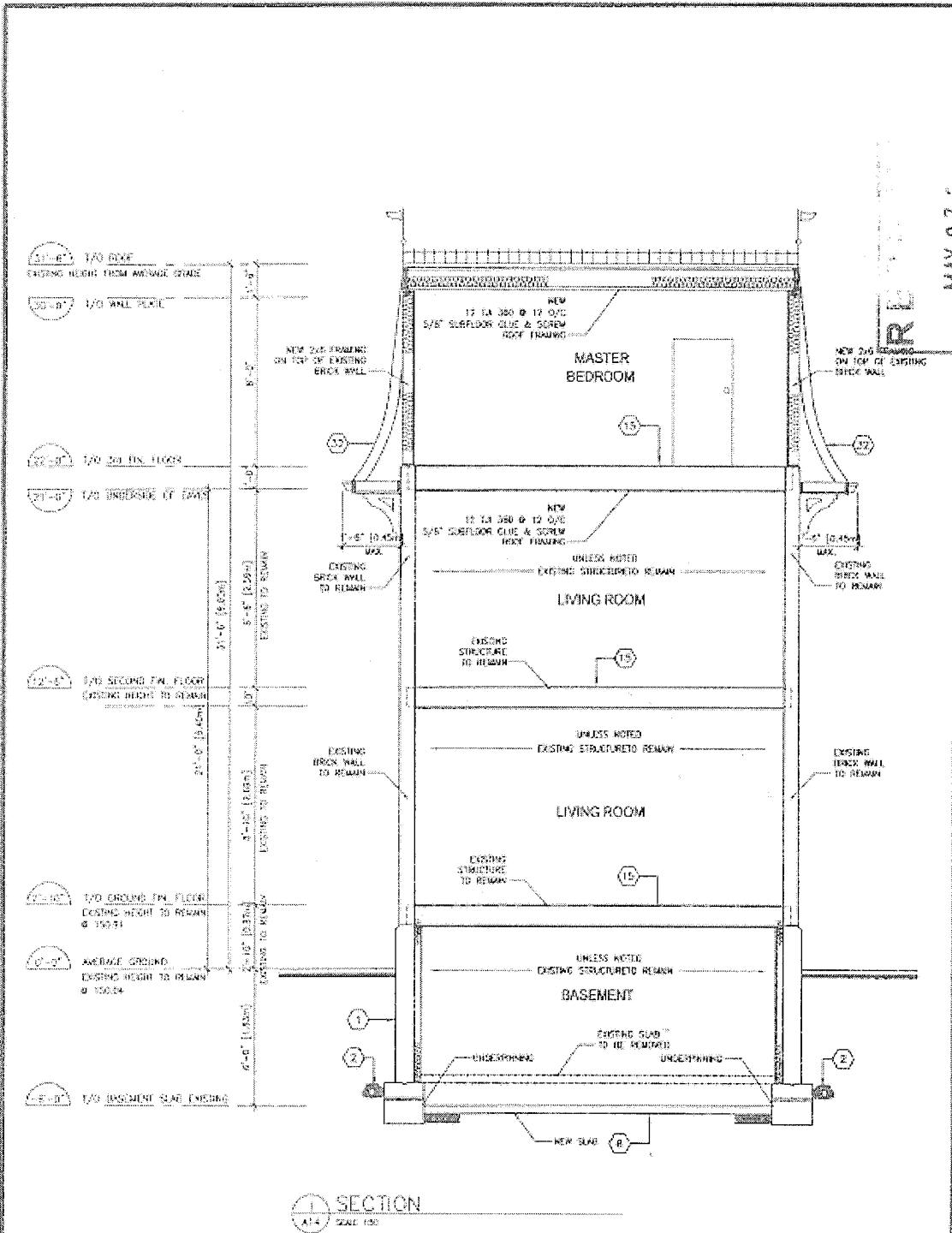
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 COMMITTEE OF
 ADJUSTMENT



1 REAR ELEVATION (EAST)
 A13 SCALE 1/8"

1/2" EXISTING AND NEW BRICK CLADDING TO BE PAINTED. NO EXTERIOR INSULATION OR FINISH MATERIALS PROJECTING INTO SETBACKS. EXISTING SETBACKS TO REMAIN.

STOYANOVSKYY ARCHITECTS <small>25 HOLLAND DR., TORONTO, ONT. M6H 2W5 TEL: (416) 593-2141 FAX: (416) 593-2895 www.stoyanovskyy.com www.stoyanovskyy.com</small>	NO	REVISIONS	DATE	Drawing: PROPOSED RENOVATION AND ADDITION	Project: 915 GREENWOOD 3 PLEX <small>1175 GERRARD ST. E. TORONTO, ONT. M4E 1E7</small>	Date: 2 APRIL 2013	Drawing #: A-13
	1	CLEAR	20-02-11			Project Number: 13104	Scale: AS SHOWN
	2	REV	20-02-13				
	3	ISSUE	14K				



REVISIONS
 MAY 07 7
 CC
 AD

SECTION
 A1-4
 SCALE 1/8" = 1'-0"

STOYANOVSKIYY ARCHITECTS <small>11 AUBURN ST., WASHINGTON, DC, USA 20005 TEL: (202) 331-1001 FAX: (202) 412-1092 www.stoyanovskiy.com www.stoyanovskiy.com</small>	No. 1 DATE 1/20/13 BY [signature]	No. 2 DATE 1/20/13 BY [signature]	Drawing: PROPOSED RENOVATION AND ADDITION	Project: 915 GREENWOOD 3 PLEX <small>915 GREENWOOD AVE. WASHINGTON DC 20005</small>	Date: 2 APRIL 2013	Drawing #: A-14
	TO REVISOR DATE				Project Number: 13104	Scale: AS SHOWN



STAFF REPORT
Committee of Adjustment
Application

Date:	July 11, 2013
To:	Chair and Committee Members of the Committee of Adjustment Toronto and East York District c/o Anita MacLeod, Manager & Deputy Secretary-Treasurer, Toronto and East York District
From:	Director, Community Planning, Toronto and East York District
Wards:	Ward 29 Toronto Danforth
Reference:	File No. A0394/13TEY Address: 915 Greenwood Avenue Application to be heard: July 17, 2013 at 2:30 pm

RECOMMENDATION

Planning Staff respectfully recommends that should the Committee of Adjustment approve this application the Committee of Adjustment require the applicant to revise Drawing A9 – Roof Plan to remove the roof terrace and stairway access to the roof terrace.

APPLICATION

The applicant is seeking relief from the provisions of the Zoning By-law to alter the two-storey detached dwelling by constructing a complete third floor addition, a front three-storey addition, and a roof top terrace. The building would also be converted into three dwelling units.

Variations are requested with respect to additions to a converted house, change in appearance of a dwelling, gross floor area, front yard setback, setback from a flanking street, building depth and landscaped open space.

COMMENTS

The subject property is located on the northeast corner of Greenwood Avenue and Milverton Boulevard. The property is designated "Neighbourhoods" in the Official Plan, which requires new development in the established residential areas to have regard for existing physical character of the surrounding neighbourhood, including scale and massing of the buildings. The property is zoned R2 Z0.6 Residential in Zoning By-law 438-86 of the former City of Toronto. The purpose of the Zoning By-law is to respect and reinforce a stable built form and to limit the impact of new development on adjacent residential properties.

Planning staff is primarily concerned with the roof terrace. It is Planning staff's opinion that a roof terrace in this neighbourhood is inappropriate as it would create an undesirable situation for neighbours trying to enjoy the privacy of their outdoor amenity space. The roof terrace as shown would produce significant noise, privacy and overlook issues for adjacent properties. The proposed roof top deck is not keeping with the character of the neighbourhood, and is not appropriate.

Planning Staff respectfully recommends that should the Committee of Adjustment approve this application, the Committee of Adjustment require the applicant to revise Drawing A9 – Roof Plan to remove the roof terrace and stairway access to the roof terrace.

CONTACT

Jason Tsang, Assistant Planner
Tel: 416-392-4237
Fax: 416-392-1330
E-mail: jtsang2@toronto.ca

SIGNATURE

Gregg Lintern, MCIP, RPP
Director, Community Planning, Toronto and East York District

Copy: Councillor Mary Fragedakis, Ward 29 Toronto Danforth
Orest Stoyanovskyy, Agent for the Applicant