

Mailed on/before: Wednesday, January 8, 2014

**PUBLIC HEARING NOTICE**  
**CONSENT**  
(Section 53 of the Planning Act)

**MEETING DATE AND TIME:** Wednesday, January 22, 2014 at 10:00 a.m.

**LOCATION:** Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	B062/13NY	Zoning:	R4 and RD (ZR)
Owner(s):	YALDA RAHMANI SEIFI	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP		
Property Address:	291 HOUNSLOW AVE	Community:	North York
Legal Description:	PLAN 2057 PT LOT 85		

**THE CONSENT REQUESTED:**

To obtain consent to sever a portion of the land to create an undersized lot, and for the purpose of a lot addition to create a new lot.

**RETAINED - Part 4**

Address to be assigned

The lot frontage is 10.16m and the lot area is 408.84 m<sup>2</sup>. The property will be redeveloped as the site of a new two-storey dwelling requiring variances to the Zoning By-law, as outlined in Application A768/13NY.

**CONVEYED - Part 3**

Address to be assigned

The lot frontage is 5.08m and the lot area is 204.37 m<sup>2</sup>. Part 3 will be added to Part 2, being severed under consent application number B063/13NY (lands to the east) to create a new building lot between 289 and 291 Hounslow Ave.

**Applications B062/13NY, A768/13NY, and related applications B063/13NY, A766/13NY, and A767/13NY will be considered jointly.**

**THE COMMITTEE OF ADJUSTMENT & CONSENTS**

The Committee of Adjustment has the authority to grant consent to sever land and for other related property transactions. To approve a consent request, the Committee of Adjustment must have considered the provisions of section 51(24) of *The Planning Act* and be satisfied that a plan of subdivision is not necessary.

The Committee of Adjustment forms its opinion through its detailed review of all material filed with an application, letters received, deputations made at the public hearing and results of site inspections.

### **MAKING YOUR VIEWS KNOWN**

The notice has been mailed to you, as required by the *Planning Act*, to ensure that, as an interested person, you may make your views known by:

- **Attending the Public Hearing.** Attendant Care Services can be made available with some advance notice.
- **Sending a letter by Mail or Fax.** Information you choose to disclose in your correspondence will be used to receive your views on the relevant issue(s) to enable the Committee to make its decision on this matter. This information will become part of the public record.

If you do not attend the public hearing, or express your views in writing, the Committee may make a decision in your absence, and may recommend changes to the proposal

### **TO VIEW THE MATERIALS IN THE APPLICATION FILE**

Attend the Committee of Adjustment office at the above address Monday to Friday, 8:30 a.m. to 4:30 p.m.

### **RECEIVING A COPY OF THE COMMITTEE'S DECISION**

- The Committee will announce its decision on the application at the Public Hearing.
- To receive a copy of the Decision, fill out the Decision Request Form at our office or at the Public Hearing or write a letter requesting a copy of the Decision and send it to our office.
- If you wish to appeal a Decision of the Committee to the Ontario Municipal Board, you must file your written request for a decision with the Deputy Secretary-Treasurer.
- Be advised that the Ontario Municipal Board may dismiss an appeal of the consent Decision if the person or public body that filed the appeal did not make a submission to the Committee of Adjustment prior to the Decision having been made.

### **CONTACT**

Sai-Man Lam, Senior Planner  
Tel. No.: (416) 395-7402  
E-mail: slam@toronto.ca

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File Number:	B063/13NY	Zoning:	R4 and RD (ZR)
Owner(s):	AVA MOSHAVER	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP		
Property Address:	289 HOUNSLOW AVE	Community:	North York
Legal Description:	PLAN 2057 PT LOT 85		

**THE CONSENT REQUESTED:**

To obtain consent to sever a portion of the land to create an undersized lot, and for the purpose of a lot addition to create a new lot.

**RETAINED - Part 1**

Address to be assigned

The lot frontage is 10.16m and the lot area is 408.84 m<sup>2</sup>. The property will be redeveloped as the site of a new two-storey dwelling requiring variances to the Zoning By-law, as outlined in Application A766/13NY.

**CONVEYED - Part 2**

Address to be assigned

The lot frontage is 5.08m and the lot area is 204.35 m<sup>2</sup>. Part 2 will be added to Part 3, being severed under consent application number B062/13NY (lands to the west) to create a new building lot between 289 and 291 Hounslow Ave.

**Applications B062/13NY, A768/13NY, and related applications B063/13NY, A766/13NY, and A767/13NY will be considered jointly.**

**THE COMMITTEE OF ADJUSTMENT & CONSENTS**

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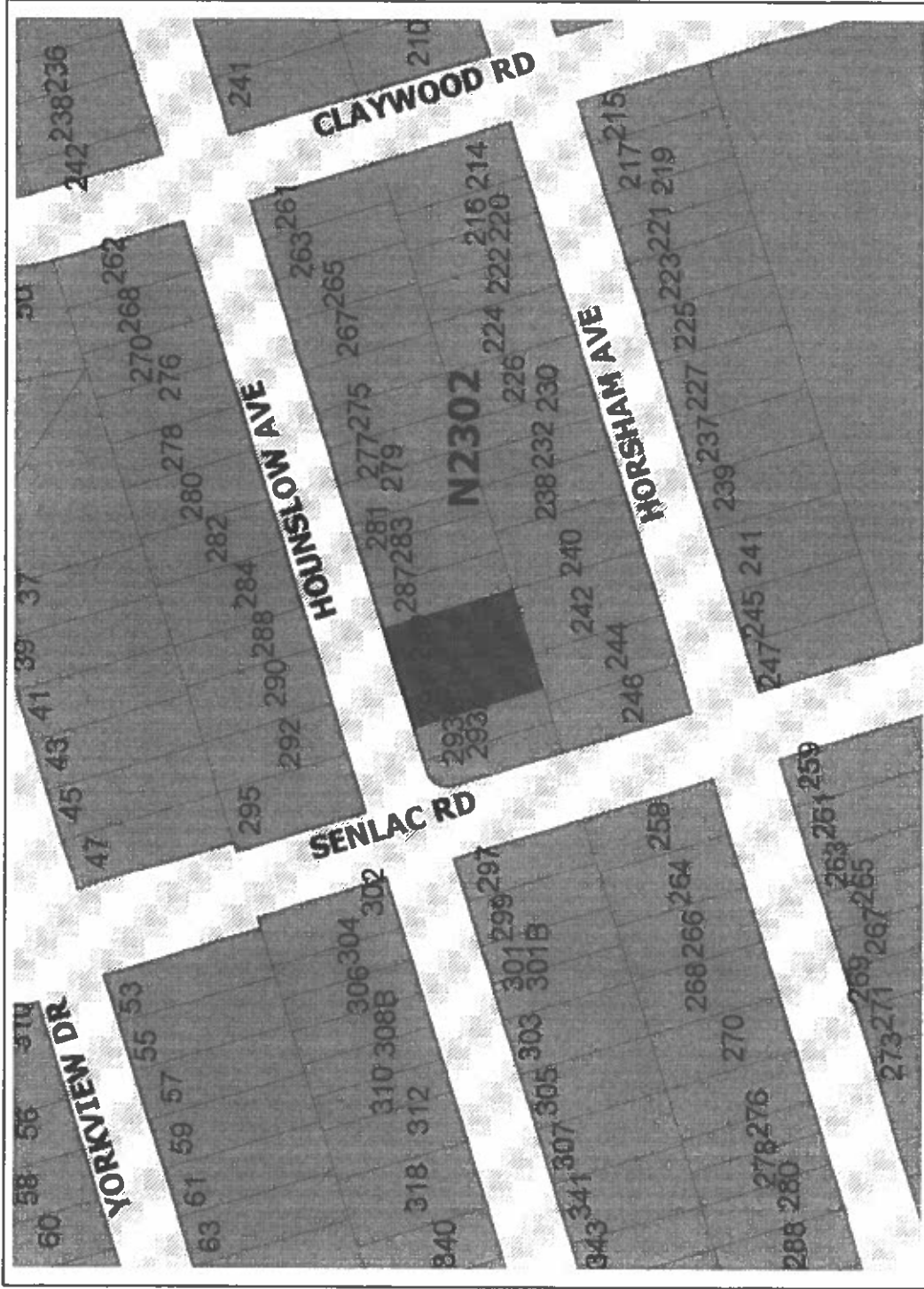
### **CONTACT**

Sai-Man Lam, Senior Planner  
Tel. No.: (416) 395-7402  
E-mail: slam@toronto.ca



# 289 and 291 Hounslow Avenue

B062/13NY. B063/13NY. A766/13NY. A767/13NY. A768/13NY



# HOUNSLOW AVENUE

TOPOGRAPHIC SURVEY OF  
 PART OF LOT 85  
 REGISTERED PLAN 2057  
 CITY OF TORONTO  
 (FORMERLY THE CITY OF NORTH YORK)

SCALE - 1 : 250  
 METRIC - 1 : 250  
 MITSCHE & AZIZ INC., O.L.S.

**METRIC** - THIS PLAN REFERS TO THE METRIC SYSTEM OF MEASUREMENT. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.

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 THE REPRODUCTION, ALTERATION OR USE OF THIS REPORT IN WHOLE OR IN PART WITHOUT THE EXPRESS PERMISSION OF MITSCHE & AZIZ INC. O.L.S. IS STRICTLY PROHIBITED.

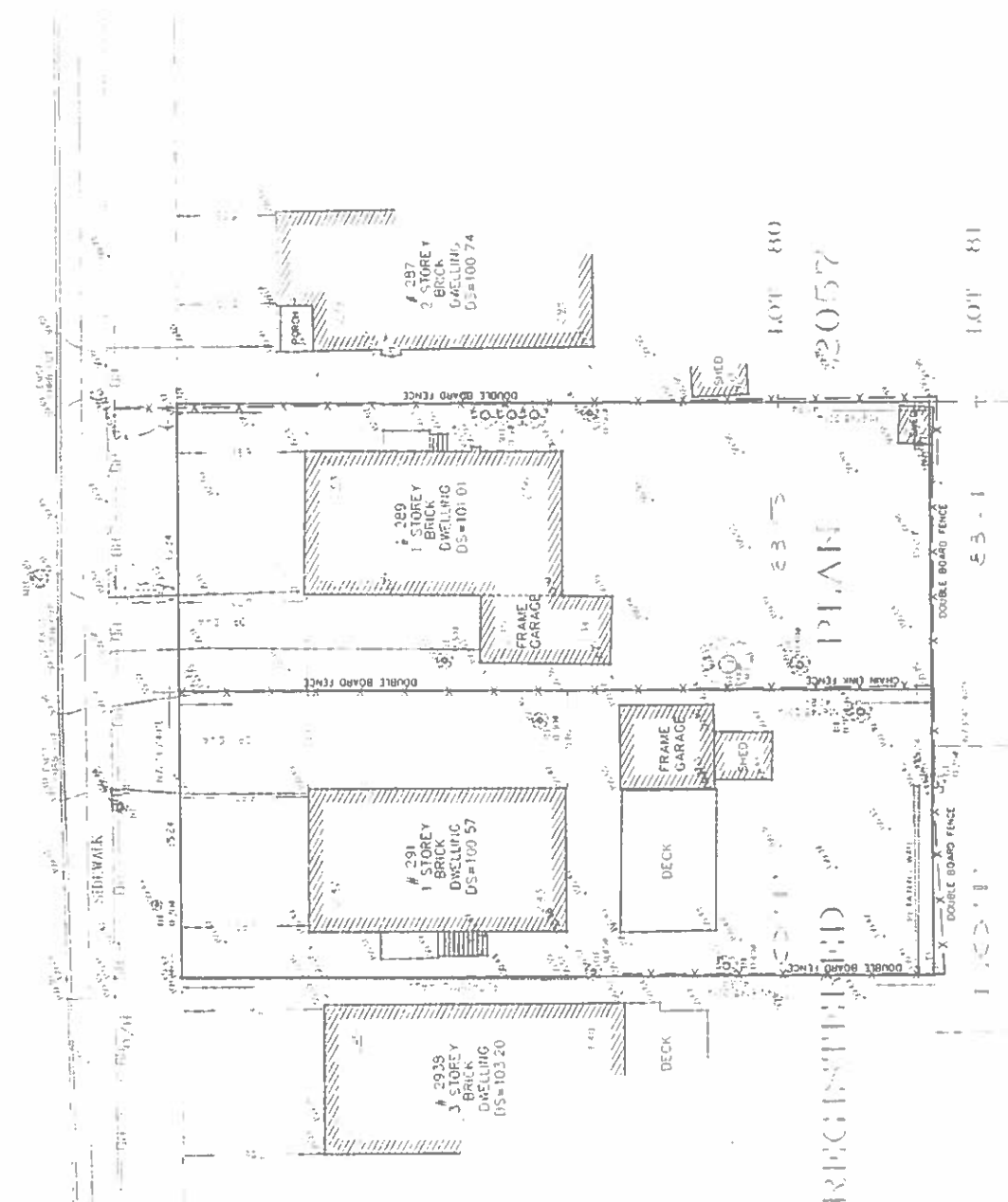
**LEGEND:**

- 100MM CONCRETE WALL
- 150MM CONCRETE WALL
- 200MM CONCRETE WALL
- 300MM CONCRETE WALL
- 400MM CONCRETE WALL
- 500MM CONCRETE WALL
- 600MM CONCRETE WALL
- 700MM CONCRETE WALL
- 800MM CONCRETE WALL
- 900MM CONCRETE WALL
- 1000MM CONCRETE WALL
- 150MM BRICK WALL
- 200MM BRICK WALL
- 250MM BRICK WALL
- 300MM BRICK WALL
- 400MM BRICK WALL
- 500MM BRICK WALL
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- 700MM BRICK WALL
- 800MM BRICK WALL
- 900MM BRICK WALL
- 1000MM BRICK WALL
- 150MM CONCRETE BLOCK WALL
- 200MM CONCRETE BLOCK WALL
- 250MM CONCRETE BLOCK WALL
- 300MM CONCRETE BLOCK WALL
- 400MM CONCRETE BLOCK WALL
- 500MM CONCRETE BLOCK WALL
- 600MM CONCRETE BLOCK WALL
- 700MM CONCRETE BLOCK WALL
- 800MM CONCRETE BLOCK WALL
- 900MM CONCRETE BLOCK WALL
- 1000MM CONCRETE BLOCK WALL
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- 200MM METAL CLADDING
- 250MM METAL CLADDING
- 300MM METAL CLADDING
- 400MM METAL CLADDING
- 500MM METAL CLADDING
- 600MM METAL CLADDING
- 700MM METAL CLADDING
- 800MM METAL CLADDING
- 900MM METAL CLADDING
- 1000MM METAL CLADDING
- 150MM POLYMER RENDER
- 200MM POLYMER RENDER
- 250MM POLYMER RENDER
- 300MM POLYMER RENDER
- 400MM POLYMER RENDER
- 500MM POLYMER RENDER
- 600MM POLYMER RENDER
- 700MM POLYMER RENDER
- 800MM POLYMER RENDER
- 900MM POLYMER RENDER
- 1000MM POLYMER RENDER
- 150MM GYPSUM BOARD
- 200MM GYPSUM BOARD
- 250MM GYPSUM BOARD
- 300MM GYPSUM BOARD
- 400MM GYPSUM BOARD
- 500MM GYPSUM BOARD
- 600MM GYPSUM BOARD
- 700MM GYPSUM BOARD
- 800MM GYPSUM BOARD
- 900MM GYPSUM BOARD
- 1000MM GYPSUM BOARD
- 150MM INSULATION
- 200MM INSULATION
- 250MM INSULATION
- 300MM INSULATION
- 400MM INSULATION
- 500MM INSULATION
- 600MM INSULATION
- 700MM INSULATION
- 800MM INSULATION
- 900MM INSULATION
- 1000MM INSULATION
- 150MM ROOFING
- 200MM ROOFING
- 250MM ROOFING
- 300MM ROOFING
- 400MM ROOFING
- 500MM ROOFING
- 600MM ROOFING
- 700MM ROOFING
- 800MM ROOFING
- 900MM ROOFING
- 1000MM ROOFING
- 150MM FLOORING
- 200MM FLOORING
- 250MM FLOORING
- 300MM FLOORING
- 400MM FLOORING
- 500MM FLOORING
- 600MM FLOORING
- 700MM FLOORING
- 800MM FLOORING
- 900MM FLOORING
- 1000MM FLOORING

GEODETIC: ELVATION: 1985 MEAN SEA LEVEL  
 SURVEYOR'S CERTIFICATE  
 THE SURVEY WAS CONDUCTED ON 25th DAY OF JULY, 2013  
 JULY 31, 2013

**MITSCHE & AZIZ INC.**  
 100 KING STREET WEST, SUITE 1000  
 TORONTO, ONTARIO M5X 1C5

PROJECT NUMBER	2013-07-01
DATE	2013-07-31
DRAWN BY	AA
CHECKED BY	AA



REGISTERED PLAN 2057  
 LOT 80  
 LOT 81

B062/13W4 B063/13W4 A76X, A767, A766/13W4

RECORD THIS PLAN TO BE REGISTERED UNDER THE LAND TITLE ACT.

RECEIVED AND DEPOSITED

DATE: JULY 31 2013

DATE: 2013

REGISTRATION NUMBER: 10313-0120 (LT)

REGISTRATION DATE: 2013

PLAN OF SURVEY OF PARCEL OF LOT 85 REGISTERED PLAN 2057 CITY OF TORONTO

NO.	PART OF LOT	AREA (SQ. FT.)	AREA (SQ. M.)
1	1	2,537	234.25
2	2	2,537	234.25
3	3	2,537	234.25
4	4	2,537	234.25

BEARING NOTE

ALL ANGLES ARE GIVEN IN DEGREES, MINUTES AND SECONDS. ALL DISTANCES ARE GIVEN IN METERS TO TWO DECIMAL PLACES.

WITSCHE & AZIZ INC. O.L.S.

REGISTERED PLAN 2057

DATE OF SURVEY: 2013

DATE OF REGISTRATION: 2013

LEGEND

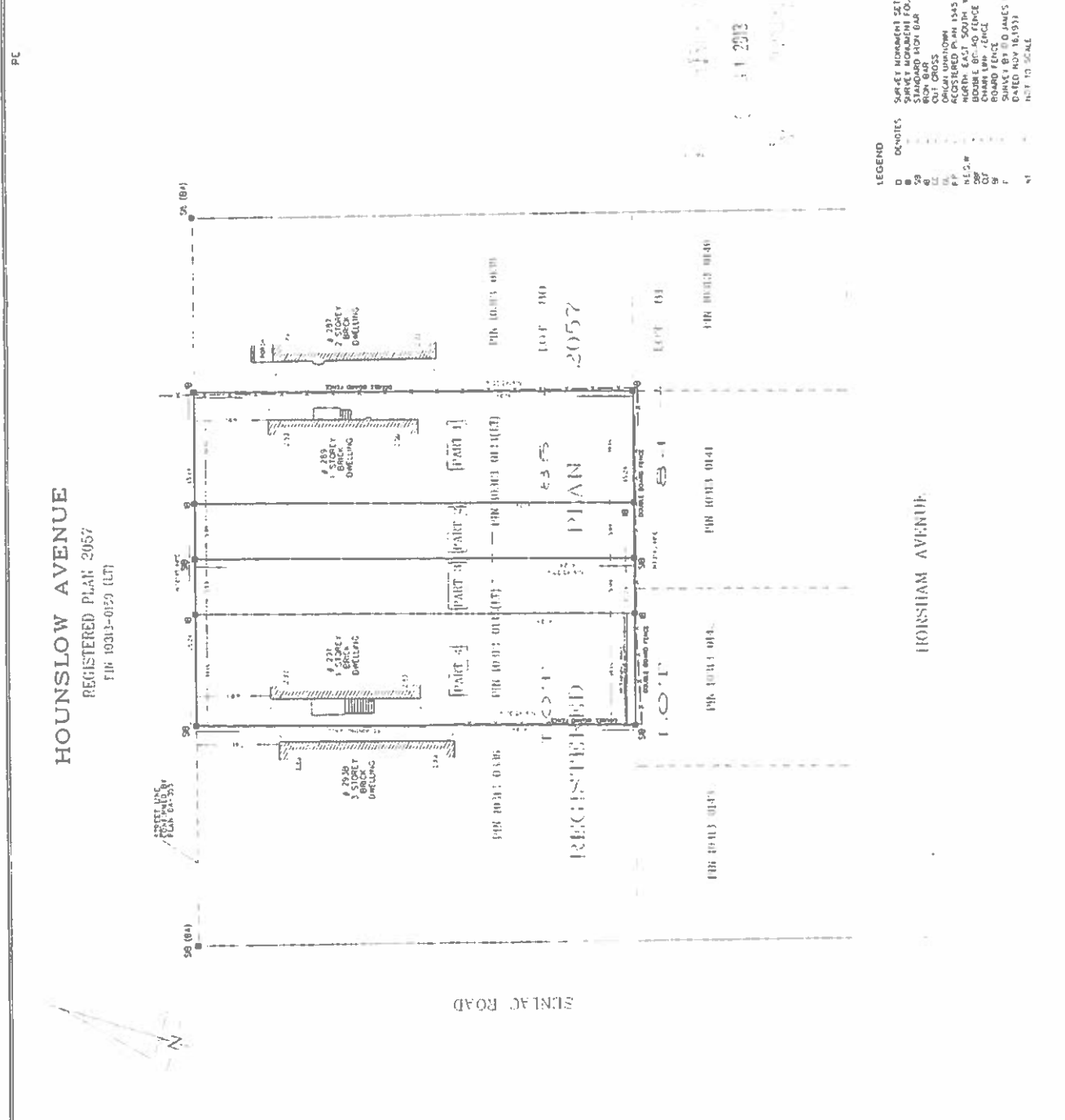
- CONCRETE
- BRICK
- ASPHALT
- GRASS
- DRIVE
- FENCE
- CURB
- SIDEWALK
- ROAD
- UTILITY
- TREE
- BENCH
- SIGN
- MONUMENT
- MARKER
- SURVEY
- BOUNDARY
- ADJACENT
- DISTANCE
- BEARING
- AREA
- VOLUME
- WEIGHT
- LENGTH
- WIDTH
- HEIGHT
- DEPTH
- DIAMETER
- RADIUS
- CHORD
- ARC
- SECTOR
- SEGMENT
- CHORD
- ARC
- SECTOR
- SEGMENT

WITSCHE & AZIZ INC.

REGISTERED PLAN 2057

DATE OF SURVEY: 2013

DATE OF REGISTRATION: 2013



REGISTERED PLAN 2057

DATE OF SURVEY: 2013

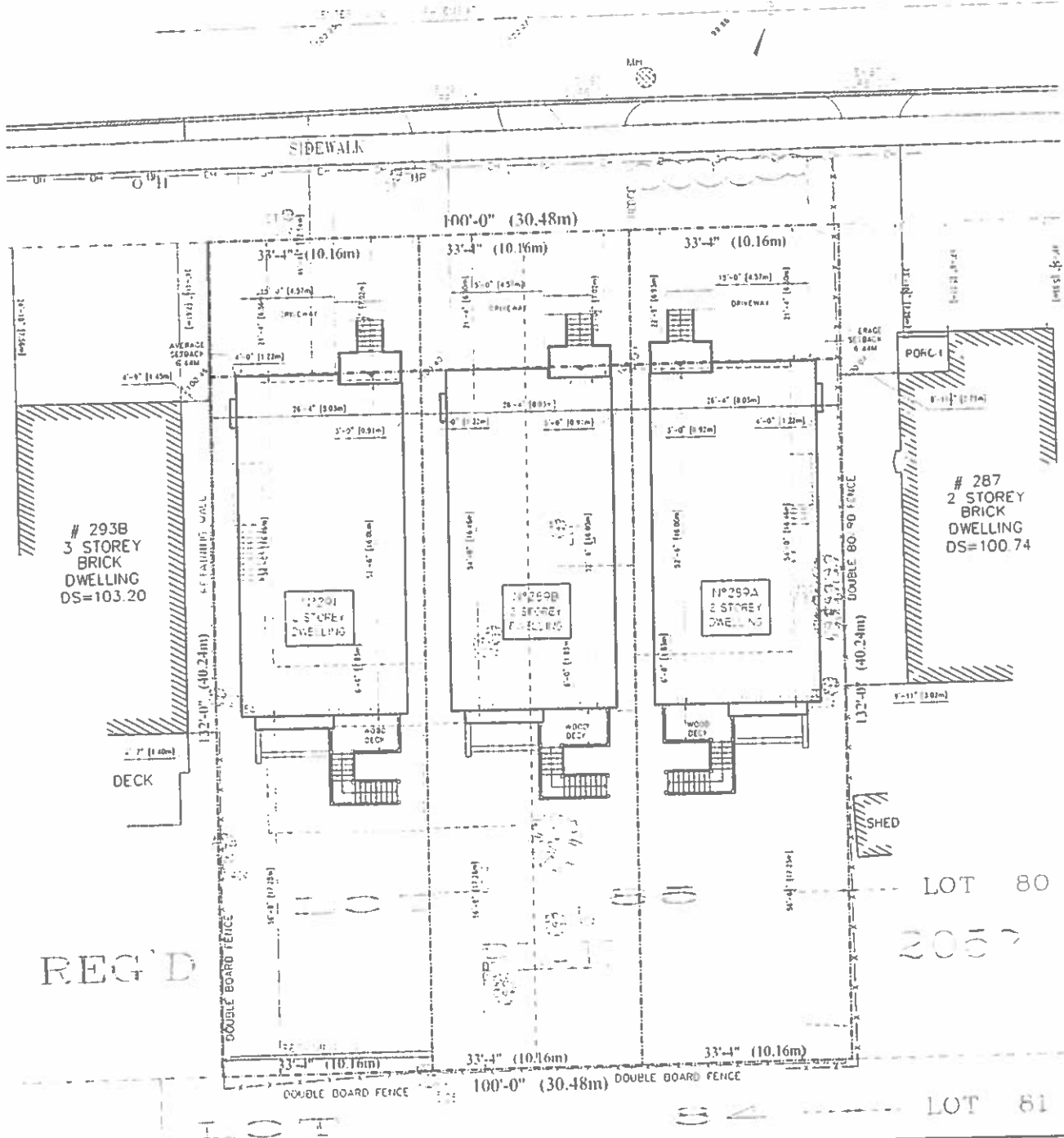
DATE OF REGISTRATION: 2013

B062/13W4 B063/13W4 A768, A767, A766/13W4

**U**binoff Design Group  
 3201 A Yonge St. Toronto, Ontario M4M 2K5  
 TEL: 416-667-2322 FAX: 416-667-0771 EMAIL: info@ubinoff.com

PROJECT DESIGNER: C.R.  
 DRAWN BY: S.B. DATE: SEPT 2013 SCALE: 1/16" = 1'-0"  
 SHEET NO.: A

# HOUNSLOW AVENUE



PART 4 - 293 HOUNSLOW	PART 205 - 2057 HOUNSLOW	PART 1 - 287A HOUNSLOW
COVERAGE: 1407 SQ.FT. (130.7 SQ.M.)(32%) GFA: 2814 SQ.FT. (261.4 SQ.M.) SITE AREA: 4404.59 SQ.FT. (409.2 SQ.M.)	COVERAGE: 1407 SQ.FT. (130.7 SQ.M.)(32%) GFA: 2814 SQ.FT. (261.4 SQ.M.) SITE AREA: 4399.4 SQ.FT. (408.72 SQ.M.)	COVERAGE: 1407 SQ.FT. (130.7 SQ.M.)(32%) GFA: 2814 SQ.FT. (261.4 SQ.M.) SITE AREA: 4400 SQ.FT. (408.78 SQ.M.)
<b>HARD SURFACE CALCULATIONS</b> TOTAL FRONT YARD AREA: 121.00 SQ.M. DRIVEWAY AREA: 15.00 SQ.M. TOTAL FRONT YARD CYCLED DRIVEWAY AREA: 33.20 SQ.M. PORCH & STAIR WALKWAY AREA: 9.00 SQ.M.	<b>HARD SURFACE CALCULATIONS</b> TOTAL FRONT YARD AREA: 121.00 SQ.M. DRIVEWAY AREA: 15.00 SQ.M. TOTAL FRONT YARD CYCLED DRIVEWAY AREA: 33.20 SQ.M. PORCH & STAIR WALKWAY AREA: 9.00 SQ.M.	<b>HARD SURFACE CALCULATIONS</b> TOTAL FRONT YARD AREA: 121.00 SQ.M. DRIVEWAY AREA: 15.00 SQ.M. TOTAL FRONT YARD CYCLED DRIVEWAY AREA: 33.20 SQ.M. PORCH & STAIR WALKWAY AREA: 9.00 SQ.M.
FRONT YARD HARD SURFACE AREA: 41.00 SQ.M. (36.00%) FRONT YARD SOFT LANDSCAPING AREA: 79.00 SQ.M. (64.00%)	FRONT YARD HARD SURFACE AREA: 41.00 SQ.M. (36.00%) FRONT YARD SOFT LANDSCAPING AREA: 79.00 SQ.M. (64.00%)	FRONT YARD HARD SURFACE AREA: 41.00 SQ.M. (36.00%) FRONT YARD SOFT LANDSCAPING AREA: 79.00 SQ.M. (64.00%)



Mailed on/before: Wednesday, January 8, 2014

**PUBLIC HEARING NOTICE**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

**MEETING DATE AND TIME:** Wednesday, January 22, 2014 at 10:00 a.m.

**LOCATION:** Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A766/13NY	Zoning	R4 and RD
Owner(s):	AVA MOSHAVER	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP		
Property Address:	<b>289(A) HOUNSLOW AVE</b>	Community:	North York
	<b>PART 1</b>		
Legal Description:	PLAN 2057 PT LOT 85		

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

1. Section 10.20.30.10(1), By-law No. 569-2013  
The minimum required lot area is 550m<sup>2</sup>.  
The proposed lot area is 408.84m<sup>2</sup>.
2. Section 10.20.30.20(1), By-law No. 569-2013  
The minimum required lot frontage is 15m.  
The proposed lot frontage is 10.16m.
3. Section 10.20.30.40.(1), By-law No. 569-2013  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 32% of the lot area.
4. Section 10.20.40.10.(6), By-law No. 569-2013  
The maximum permitted height of the first floor above established grade is 1.2m.  
The proposed height of the first floor above established grade is 1.27m.
5. Section 10.20.40.70.(3), By-law No. 569-2013  
The minimum required side yard setback is 1.5m where the required minimum lot frontage is 15.0m to less than 18.0m.  
Proposed east side yard setback is 1.22m.

6. Section 10.20.40.70.(3), By-law No. 569-2013  
The minimum required side yard setback is 1.5m where the required minimum lot frontage is 15.0m to less than 18.0m.  
Proposed west side yard setback is 0.91m.
7. Section 10.20.40.10.(2), By-law No. 569-2013  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5m.  
The proposed height of the side exterior main walls facing a side lot line is 9.51m.
8. Section 13.2.1, By-law No. 7625  
The minimum required lot frontage is 15m.  
The proposed lot frontage is 10.16m.
9. Section 13.2.2, By-law No. 7625  
The minimum required lot area is 550m<sup>2</sup>.  
The proposed lot area is 408.84m<sup>2</sup>.
10. Section 13.2.3(b), By-law No. 7625  
The minimum required west side yard setback is 1.5m.  
The proposed west side yard setback is 0.91m.
11. Section 13.2.3(b), By-law No. 7625  
The minimum required east side yard setback is 1.5m.  
The proposed east side yard setback is 1.22m.
12. Section 13.2.4), By-law No. 7625  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 32% of the lot area.
13. Section 13.2.6, By-law No. 7625  
The maximum permitted building height is 8.8m.  
The proposed building height is 9.1m.
14. Section 6(8), By-law No. 7625  
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.  
The minimum required lot width for the zone is 15m.  
The proposed lot width is 10.16m.

## **THE COMMITTEE OF ADJUSTMENT & MINOR VARIANCES**

The role of the Committee of Adjustment is to provide flexibility in dealing with minor adjustments to zoning by-law requirements. To approve such variances, the Committee must be satisfied that:

- the variance requested is minor;
- the proposal is desirable for the appropriate development or use of the land and/or building;
- the general intent and purpose of the City's Zoning Code and/or By-law are maintained; and
- the general intent and purpose of the Official Plan are maintained.

The Committee of Adjustment forms its opinion through its detailed review of all material filed with an application, letters received, deputations made at the public hearing and results of site inspections.

#### **MAKING YOUR VIEWS KNOWN**

The notice has been mailed to you, as required by the *Planning Act*, to ensure that, as an interested person, you may make your views known by:

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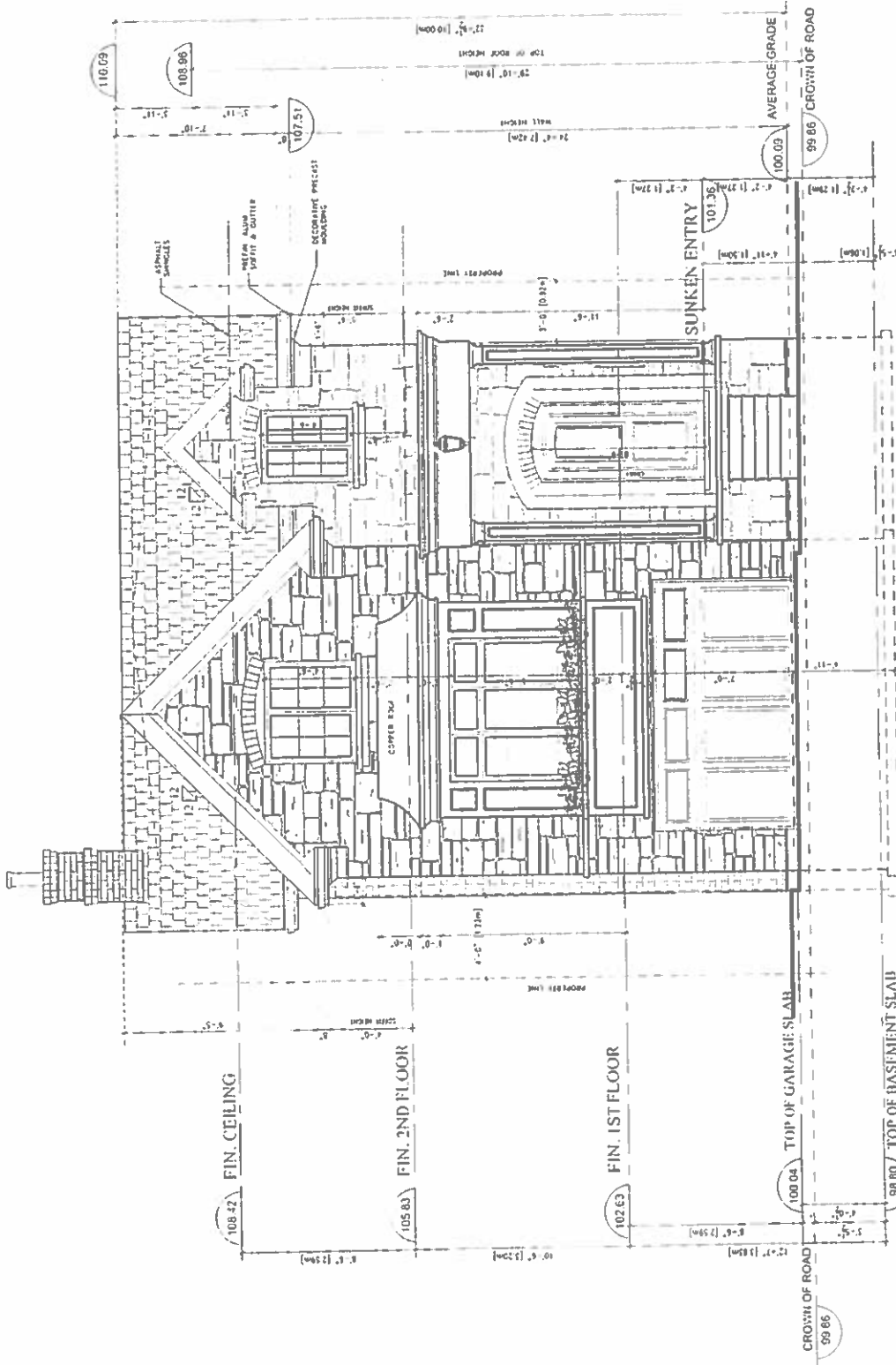
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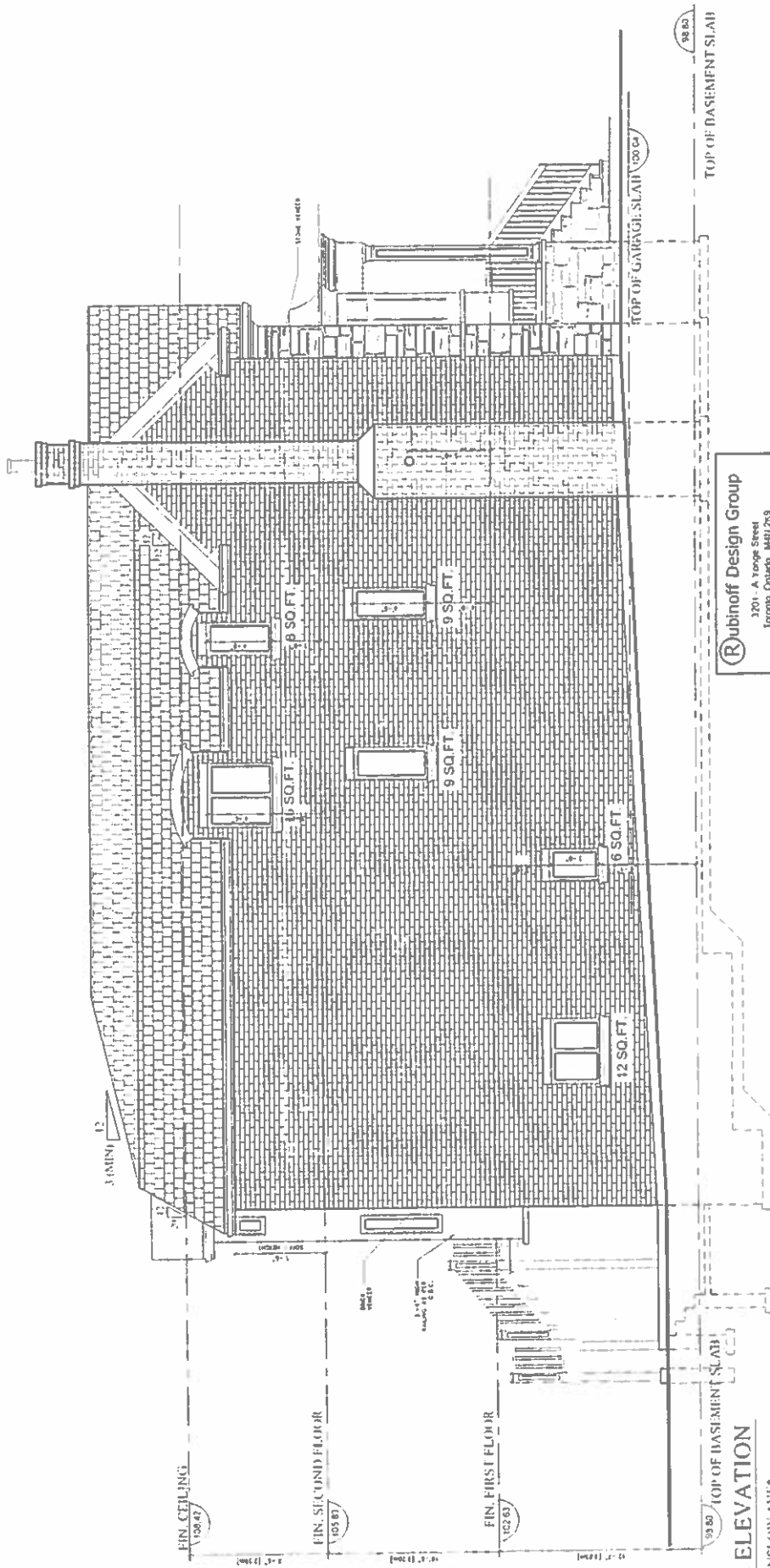
Email: slam@toronto.ca



**FRONT ELEVATION**  
 \*289 A HOUNSLOW AVE\*

**R**ubinoff Design Group  
 3201 - A Yonge Street,  
 Toronto, Ontario M4N 2K9  
 TEL: 416-947-0322 / FAX: 416-947-0321 / EMAIL: info@rubinoffdesign.com

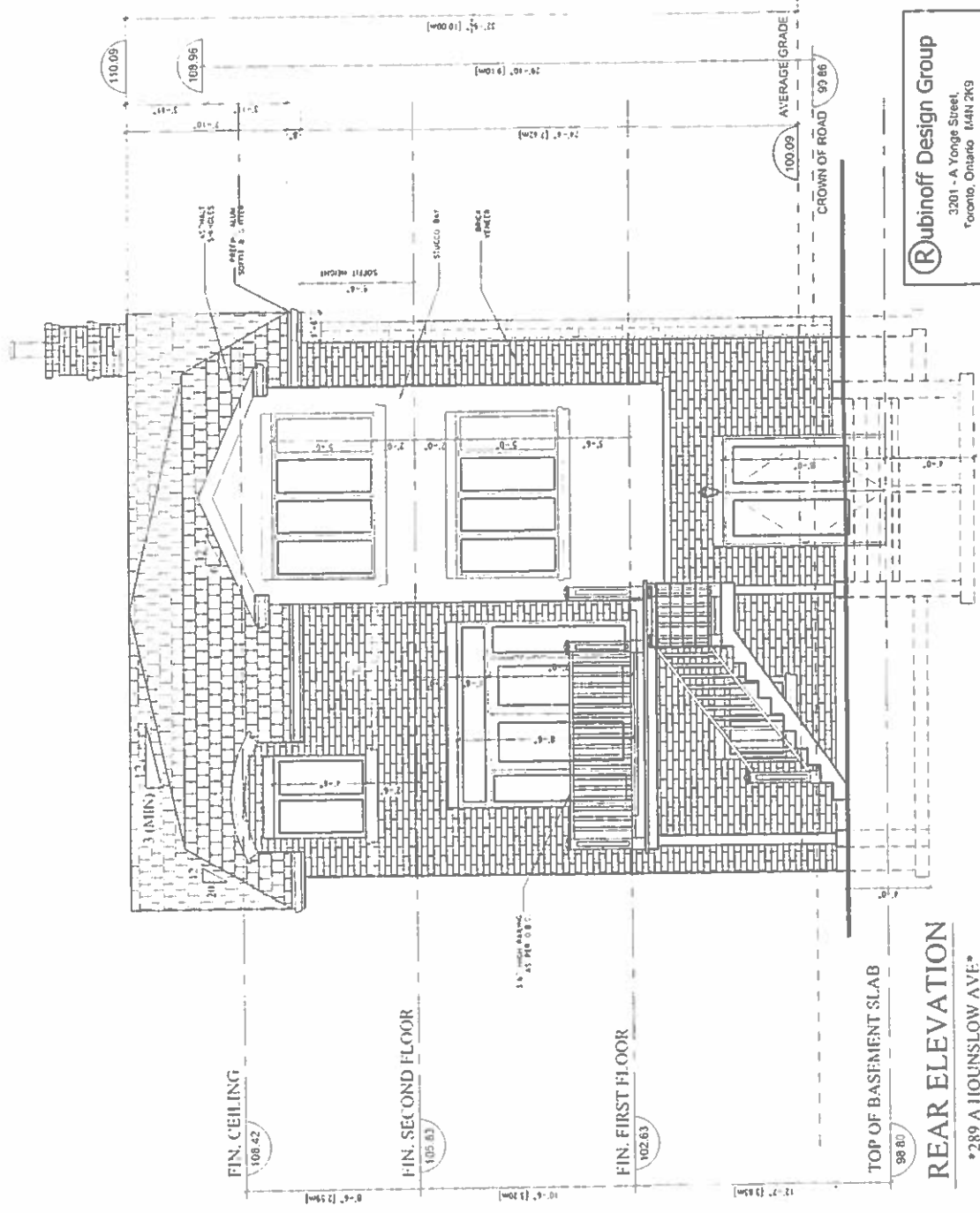
**HOUNSLOW AVENUE**  
 TORONTO, ONTARIO  
 3/16" = 1'-0"



**Rubinoff Design Group**  
 3201 - A Yonge Street  
 Toronto Ontario M4M 2G3  
 TEL: 416-967-7438 FAX: 416-967-7439 www.rubinoffdesign.com  
**HOUNSLOW AVENUE**  
 LONDON, ONTARIO  
 3/14" = 1'-0"

**LEFT SIDE ELEVATION**

\*289 A HOUNSLOW AVE.\*

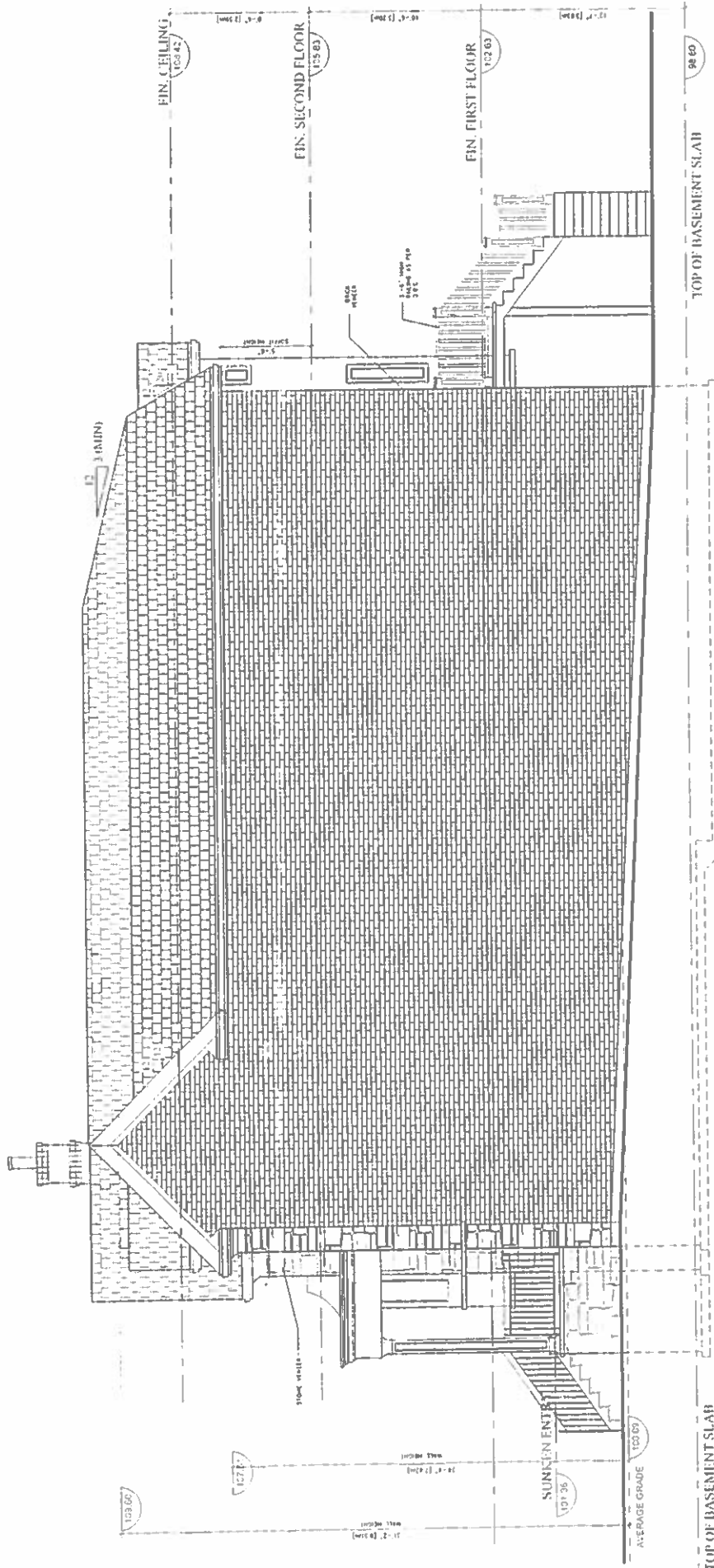


**R**ubinoff Design Group  
 3201 - A Yonge Street,  
 Toronto, Ontario M4N 2K9  
 TEL: 416-467-2222 FAX: 416-467-0251 EMAIL: info@rubinoffdesign.com

**HOUNSLOW AVENUE**  
 TORONTO, ONTARIO  
 3/16" = 1'-0"

**REAR ELEVATION**

#289 A HOUNSLOW AVE.\*



**RIGHT SIDE ELEVATION**

239 A HOUNSLOW AVE.

**Rubinoff Design Group**  
 3201 - A Yonge Street,  
 Toronto, Ontario M4N 2K3  
 TEL: 416 778 2322 FAX: 416 967 7116 WWW: rubinoffdesign.com  
**HOUNSLOW AVENUE**  
 CONSULTING ARCHITECTS  
 1/4" = 1'-0" (10.1.17.2013)

Mailed on/before: Wednesday, January 8, 2014

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Owner(s):	AVA MOSHAVER	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP		
Property Address:	<b>289(B) HOUNSLOW AVE</b>	Community:	North York
	<b>PARTS 2 and 3</b>		
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The proposed lot frontage is 10.16m.
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The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 32% of the lot area.
4. Section 10.20.40.10.(6), By-law No. 569-2013  
The maximum permitted height of the first floor above established grade is 1.2m.  
The proposed height of the first floor above established grade is 1.3m.
5. Section 10.20.40.70.(3), By-law No. 569-2013  
The minimum required side yard setback is 1.5m where the required minimum lot frontage is 15.0m to less than 18.0m.  
Proposed west side yard setback is 1.22m.



6. Section 10.20.40.70.(3), By-law No. 569-2013  
The minimum required side yard setback is 1.5m where the required minimum lot frontage is 15.0m to less than 18.0m.  
Proposed east side yard setback is 0.91m.
7. Section 10.20.40.10.(2), By-law No. 569-2013  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5m.  
The proposed height of the side exterior main walls facing a side lot line is 9.53m.
8. Section 13.2.1, By-law No. 7625  
The minimum required lot frontage is 15m.  
The proposed lot frontage is 10.16m.
9. Section 13.2.2, By-law No. 7625  
The minimum required lot area is 550m<sup>2</sup>.  
The proposed lot area is 408.84m<sup>2</sup>.
10. Section 13.2.3(b), By-law No. 7625  
The minimum required east side yard setback is 1.5m.  
The proposed east side yard setback is 0.91m.
11. Section 13.2.3(b), By-law No. 7625  
The minimum required west side yard setback is 1.5m.  
The proposed west side yard setback is 1.22m.
12. Section 13.2.4), By-law No. 7625  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 32% of the lot area.
13. Section 13.2.6, By-law No. 7625  
The maximum permitted building height is 8.8m.  
The proposed building height is 9.1m.
14. Section 6(8), By-law No. 7625  
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.  
The minimum required lot width for the zone is 15m.  
The proposed lot width is 10.16m.

## **THE COMMITTEE OF ADJUSTMENT & MINOR VARIANCES**

The role of the Committee of Adjustment is to provide flexibility in dealing with minor adjustments to zoning by-law requirements. To approve such variances, the Committee must be satisfied that:

- the variance requested is minor;
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### **TO VIEW THE MATERIALS IN THE APPLICATION FILE**

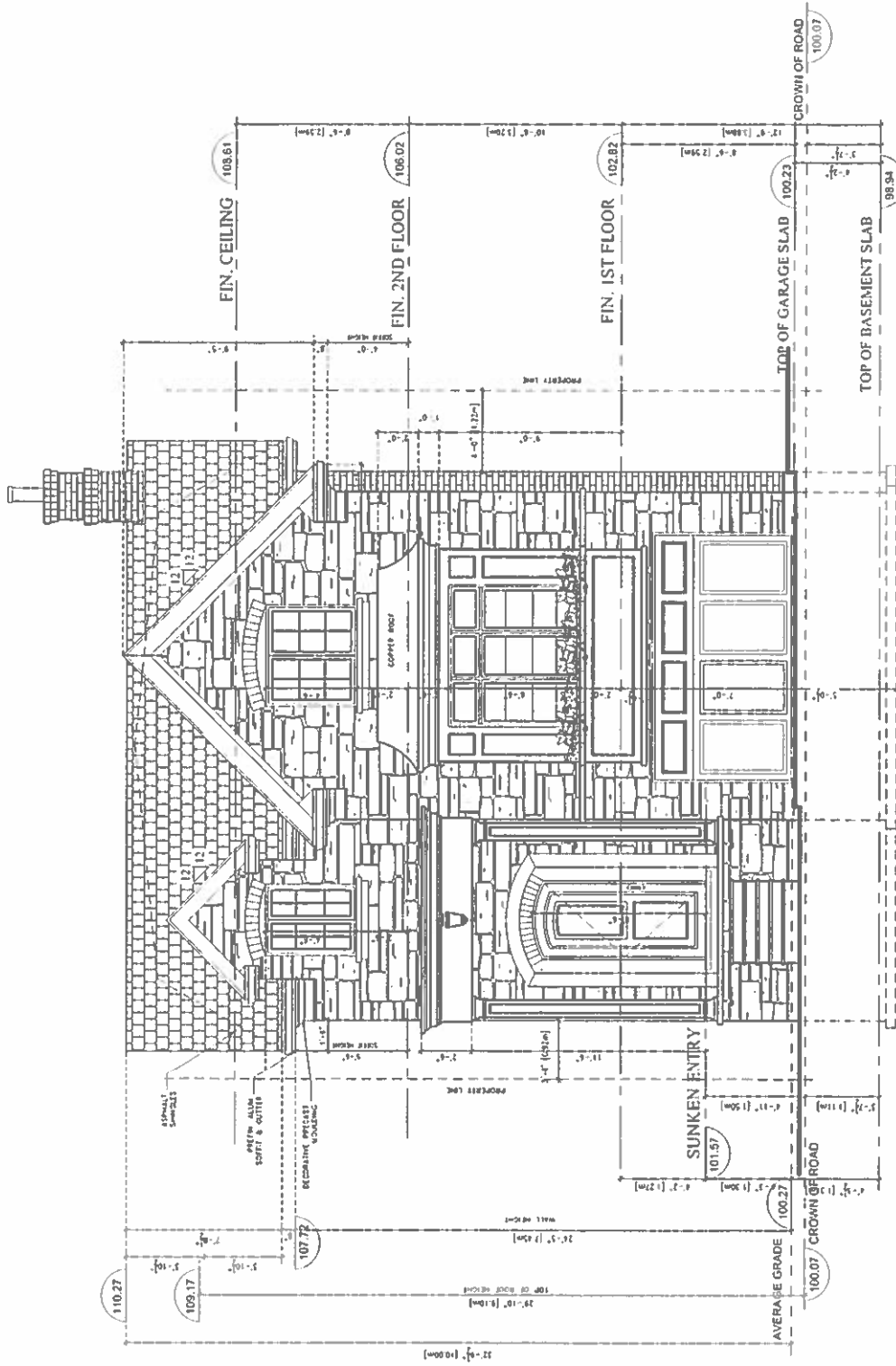
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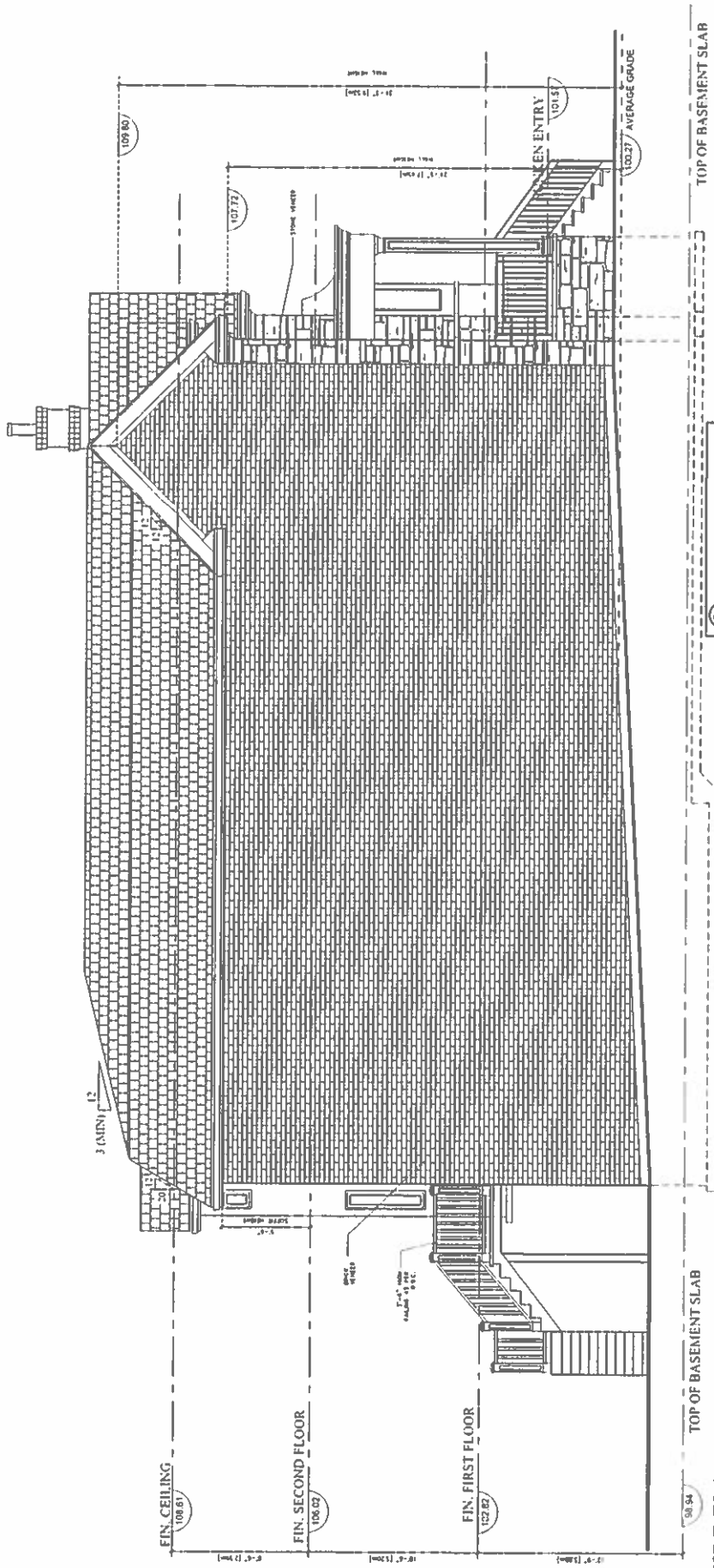
### **CONTACT**

Sai-Man Lam, Senior Planner  
Tel. No.: (416) 395-7402  
Email: slam@toronto.ca



**FRONT ELEVATION**  
**\*289 B HOUNSLOW AVE\***

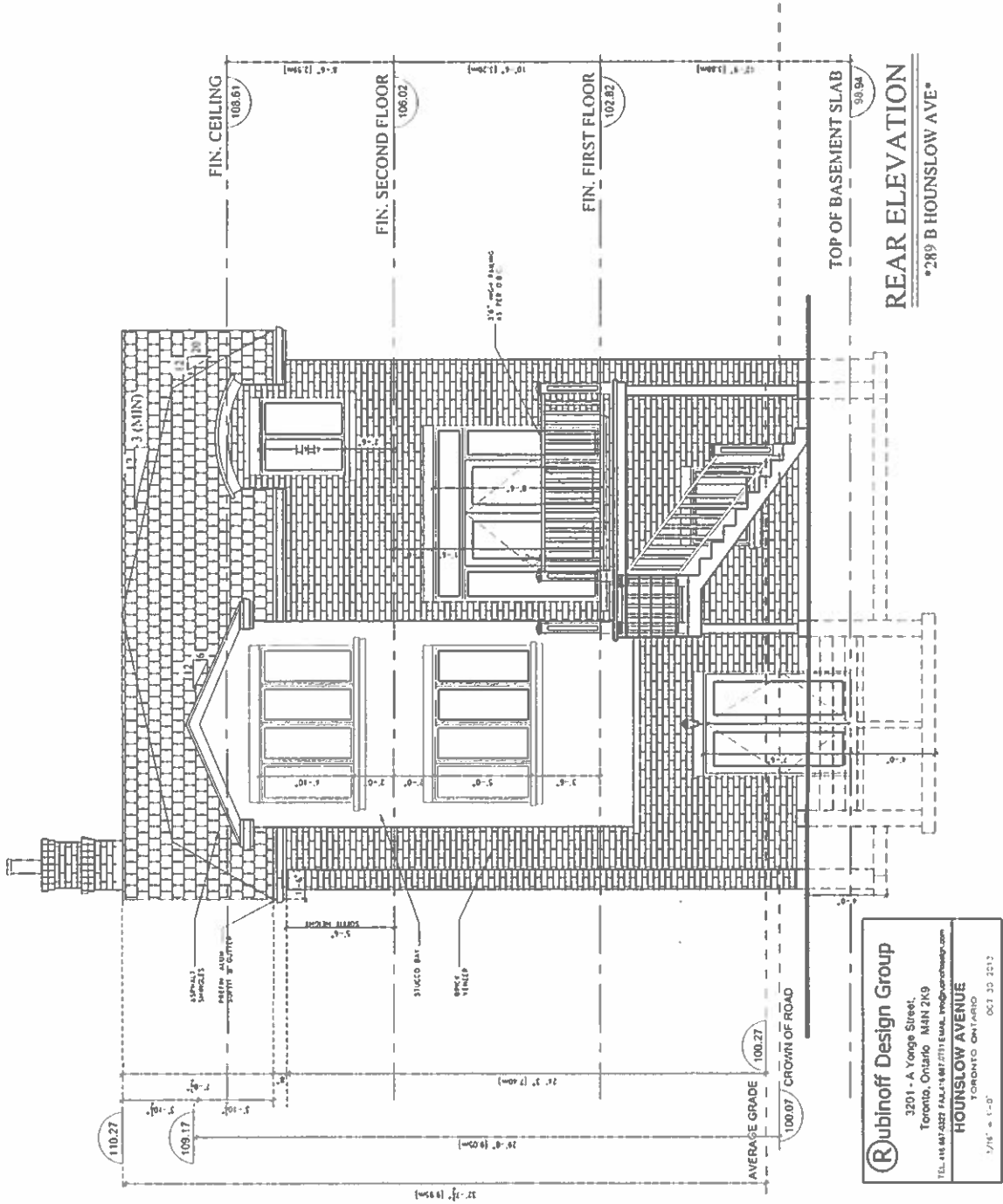
**Rubinfoff Design Group**  
 3201 - A Yonge Street,  
 Toronto, Ontario M4M 2K9  
 TEL: 416-977-3322 FAX: 416-977-8154 EMAIL: info@rubinfoff.com  
**HOUNSLOW AVENUE**  
 TORONTO, ONTARIO  
 3/16" = 1'-0" OCT 30 2013



**Rubimoff Design Group**  
 3201 - A Yonge Street,  
 Toronto, Ontario M4J 2K9  
 TEL: 416-461-4222 FAX: 416-461-4711 EMAIL: rubimoff@rubimoff.com  
**HOUNSLOW AVENUE**  
 TORONTO, ONTARIO  
 3/16 • 1:10" • SET # 2/13

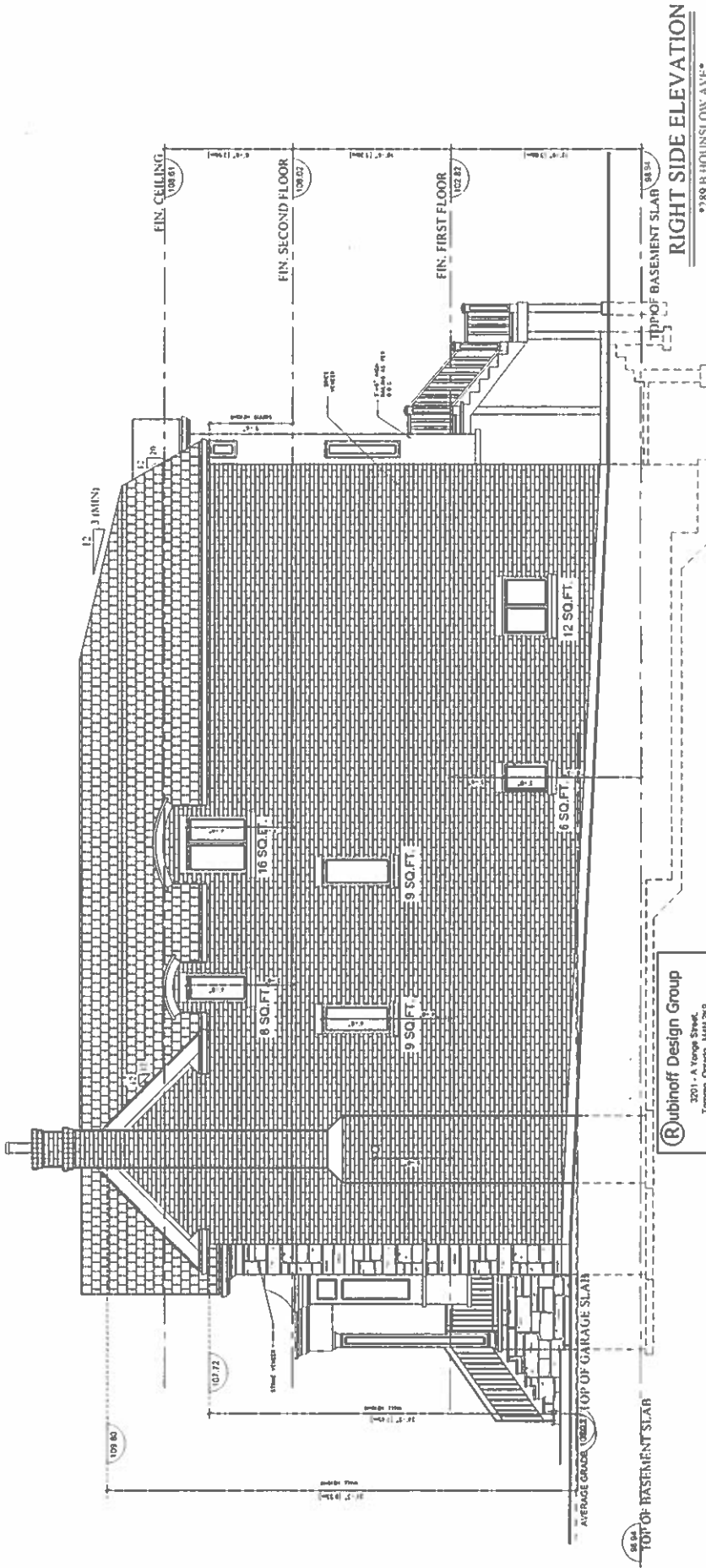
**LEFT SIDE ELEVATION**

•289 B HOUNSLOW AVE•



<b>Rubinoff Design Group</b> 3201 - A Yonge Street, Toronto, Ontario M4N 2K9 TEL: 416.607.2522 FAX: 416.607.2733 E-MAIL: info@rubinoffdesign.com	<b>HOUNSLOW AVENUE</b> TORONTO ONTARIO
	1/16" = 1'-0" OCT 30 2013

**REAR ELEVATION**  
 •289 D HOUNSLOW AVE•



**RIGHT SIDE ELEVATION**

2389 B HOUNSLOW AVE.

**Rubinoff Design Group**  
 3201 - A Yonge Street,  
 Toronto, Ontario M4H 2G9  
 TEL: 416-593-8828 FAX: 416-593-8830  
**HOUNSLOW AVENUE**  
 TORONTO, ONTARIO  
 3/11 - 11/11 OCT. 20, 2011

**Mailed on/before:** Wednesday, January 8, 2014, 2014

**PUBLIC HEARING NOTICE**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

**MEETING DATE AND TIME:** Wednesday, January 22, 2014 at 10:00 a.m,

**LOCATION:** Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A768/13NY	Zoning	R4 and RD
Owner(s):	YALDA RAHMANI SEIFI	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP		
Property Address:	<b>291 HOUNSLOW AVE</b> <b>PART 4</b>	Community:	North York
Legal Description:	PLAN 2057 PT LOT 85		

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

1. Section 10.20.30.10(1), By-law No. 569-2013  
The minimum required lot area is 550m<sup>2</sup>.  
The proposed lot area is 408.84m<sup>2</sup>.
2. Section 10.20.30.20(1), By-law No. 569-2013  
The minimum required lot frontage is 15m.  
The proposed lot frontage is 10.16m.
3. Section 10.20.30.40.(1), By-law No. 569-2013  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 32% of the lot area.
4. Section 10.20.40.10.(6), By-law No. 569-2013  
The maximum permitted height of the first floor above established grade is 1.2m.  
The proposed height of the first floor above established grade is 1.32m.
5. Section 10.20.40.70.(3), By-law No. 569-2013  
The minimum required side yard setback is 1.5m where the required minimum lot

- frontage is 15.0m to less than 18.0m.  
Proposed west side yard setback is 1.22m.
6. Section 10.20.40.70.(3), By-law No. 569-2013  
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  7. Section 10.20.40.10.(2), By-law No. 569-2013  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5m.  
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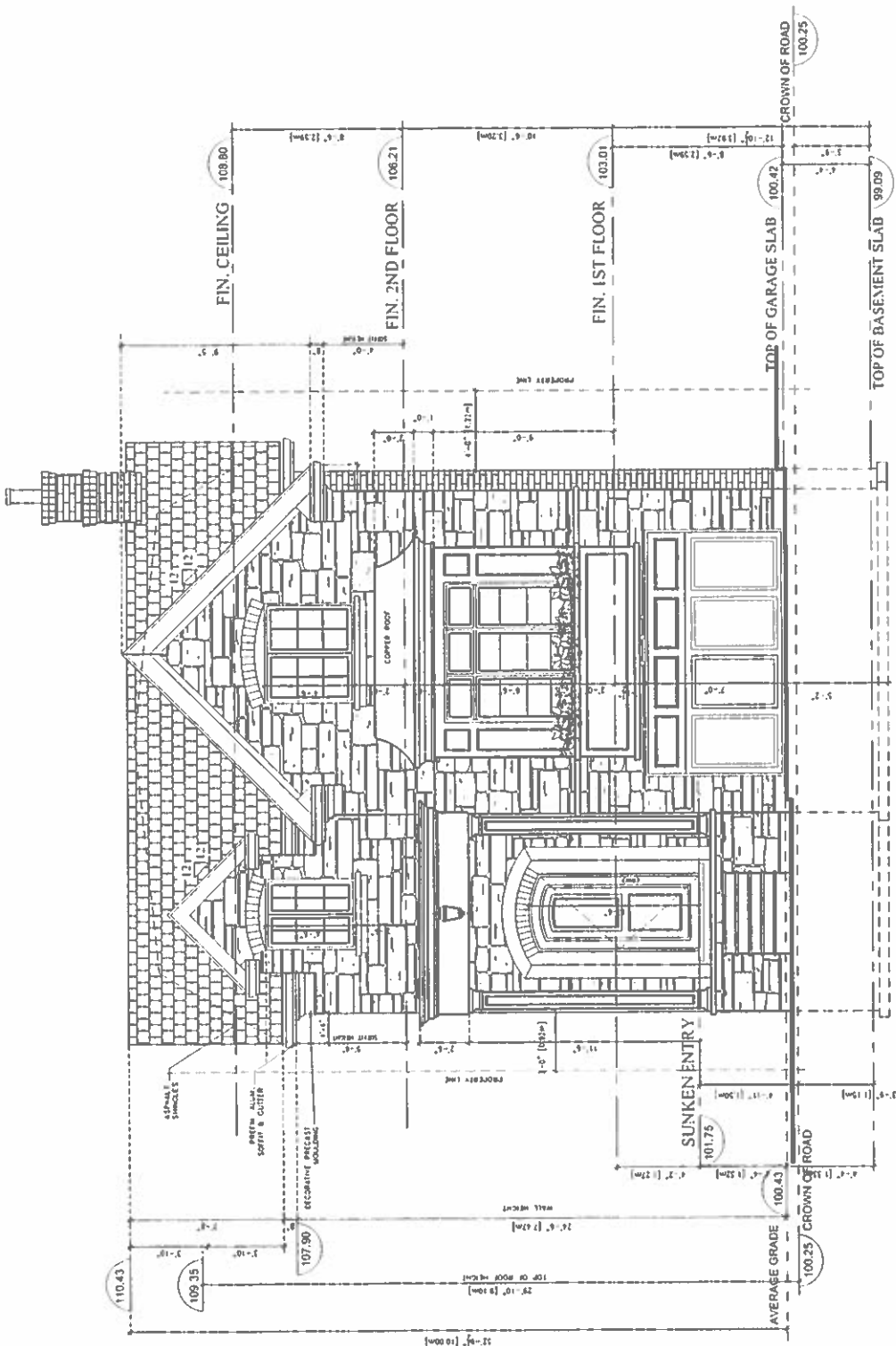
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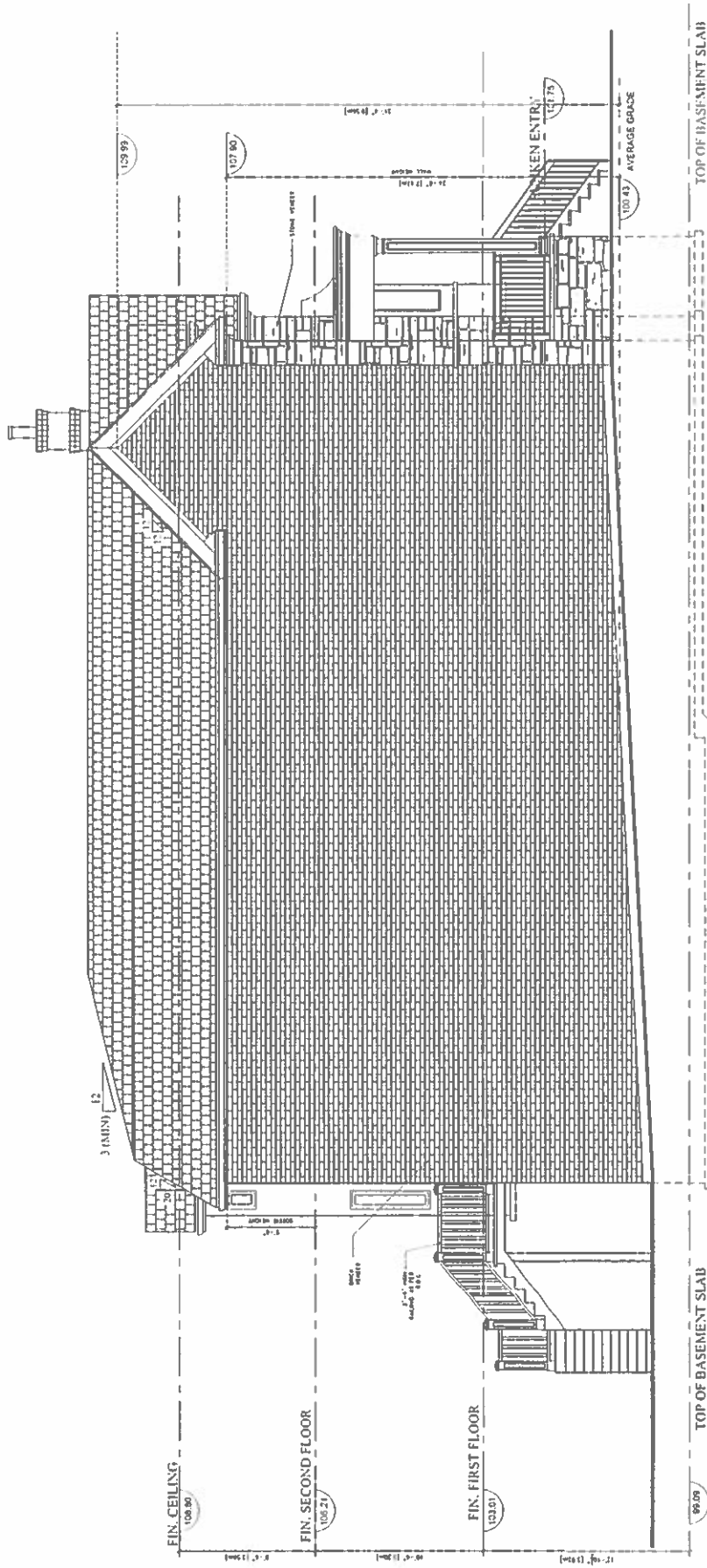
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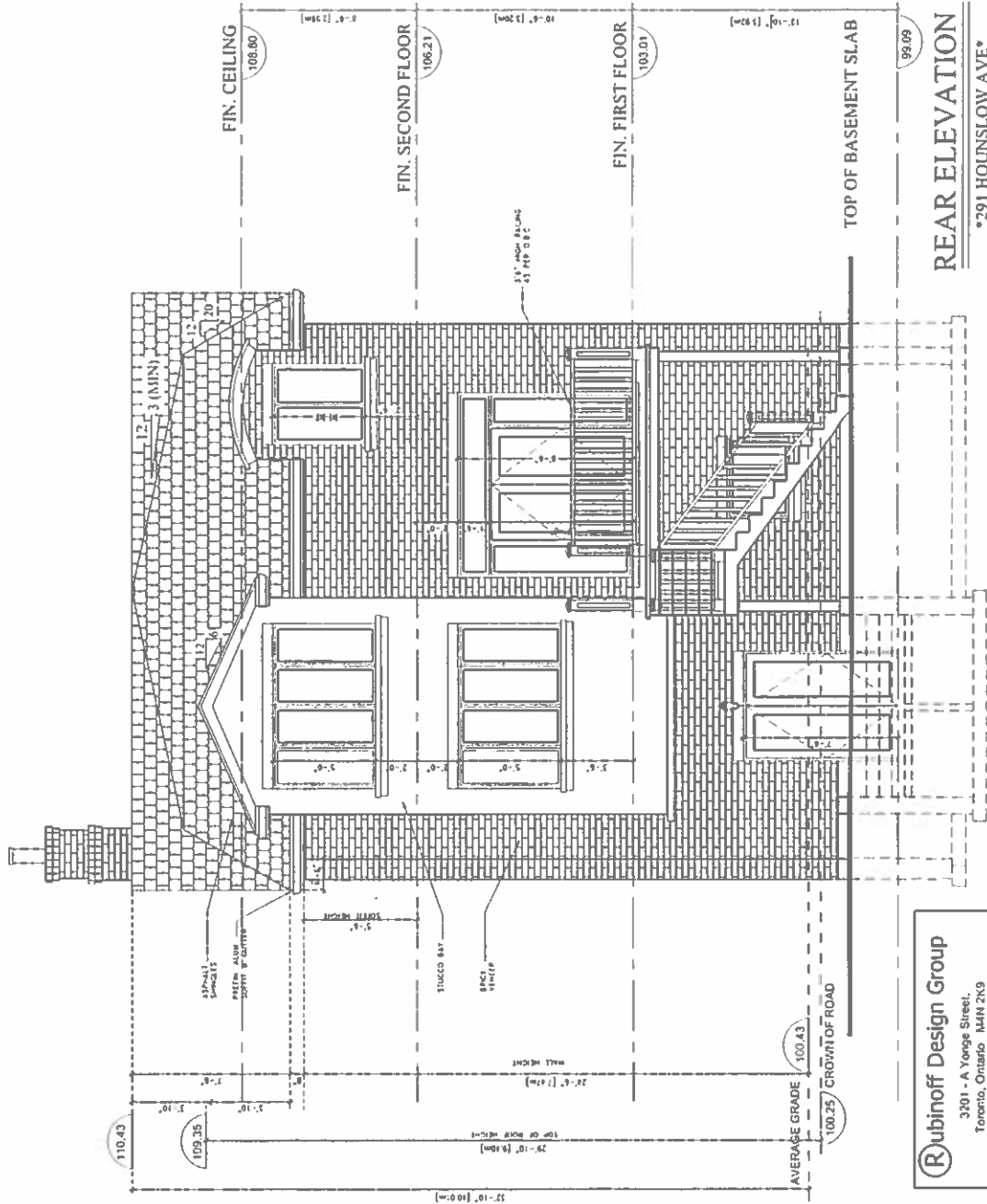
**Rubinoff Design Group**  
 3201 - A Yonge Street,  
 Toronto, Ontario M4N 2K9  
 TEL: 416-597-4222 FAX: 416-597-2751 EMAIL: info@rubinoffdesign.com  
**HOUNSLOW AVENUE**  
 TORONTO, ONTARIO  
 3/11" = 1'-0" OCT 19, 2013

**FRONT ELEVATION**  
 \*291 HOUNSLOW AVE\*



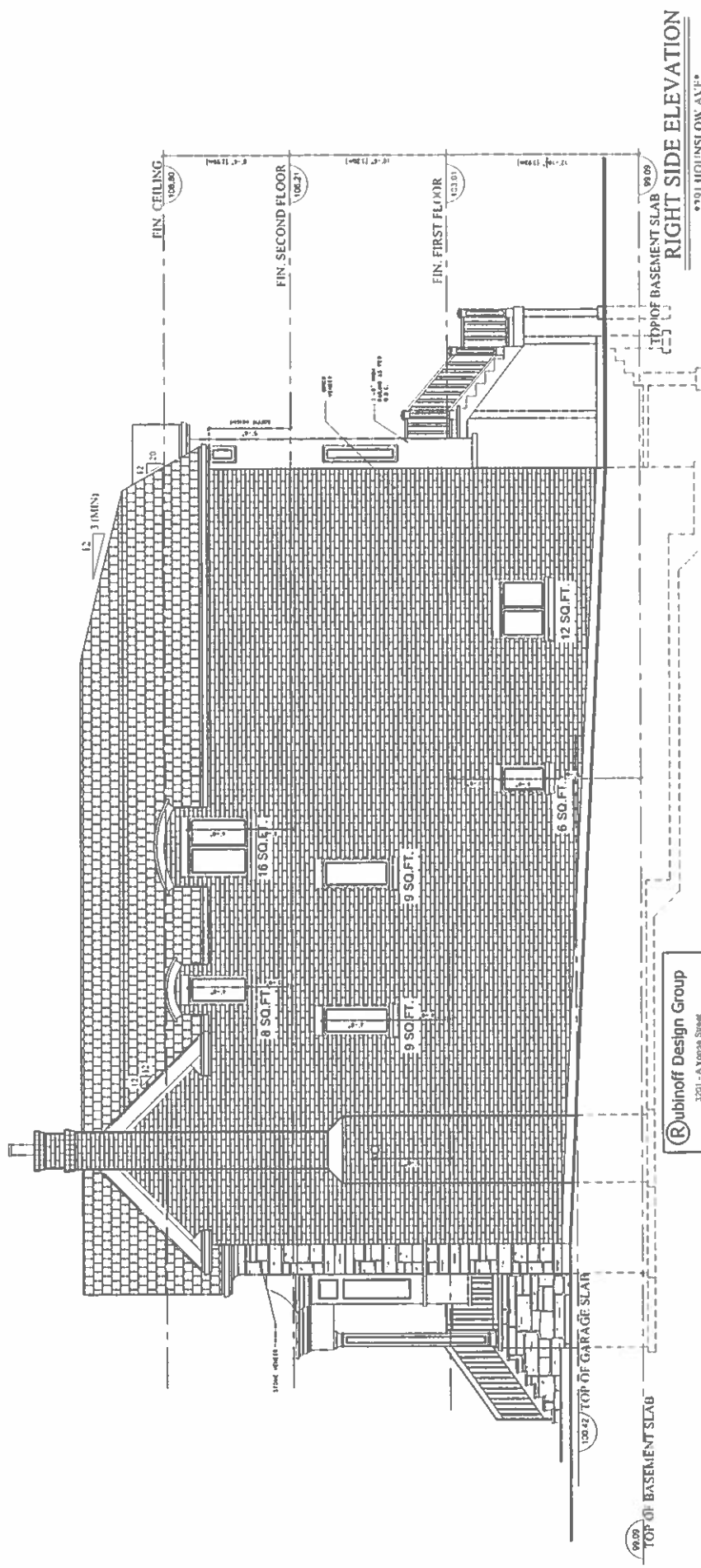
**Rubinoff Design Group**  
 3201 - A Yonge Street  
 Toronto, Ontario M4N 2K9  
 TEL: 416.597.6333 FAX: 416.597.6771 EMAIL: info@rubinoffdesign.com  
**HOURSLOW AVENUE**  
 TORONTO, ONTARIO  
 3114 • 1114 • 3114

**LEFT SIDE ELEVATION**  
 • 291 HOURSLOW AVE •



**REAR ELEVATION**  
 \*291 HOUNSLOW AVE\*

<b>Rubinoff Design Group</b> 3201 - A Yonge Street, Toronto, Ontario M4N 2K9 TEL: 416.961.0222 FAX: 416.961.2755 EMAIL: info@rubinoffdesign.com	
<b>HOUNSLOW AVENUE</b> TORONTO, ONTARIO 3/16" = 1'-0" C.C.T. 20 20-3	



**RIGHT SIDE ELEVATION**

9291 HOUNSLOW AVE

**Rubinoff Design Group**  
 3221 - A Yonge Street,  
 Toronto, Ontario M4W 2V3  
 Tel: (416) 593-9100 Fax: (416) 593-9101  
 www.rubinoffdesign.com  
**HOUNSLOW AVENUE**  
 TORONTO, ONTARIO M6H 1S1  
 1/4" = 1'-0"