



STAFF REPORT
Committee of Adjustment
Application

Date:	April 28, 2015
To:	Chair and Committee Members of the Committee of Adjustment North York District
From:	Allen Appleby, Director, Community Planning, North York District
Wards:	Ward 23 (Willowdale)
Reference:	File No. A0272/15NY Address: 370 WILLOWDALE AVENUE Application to be heard: Thursday, May 7, 2015 at 9:30 a.m.

RECOMMENDATION

Should the Committee approve this application, Planning recommends that any approval be subject to the following condition:

1. The proposed dwelling be built in accordance with the east and west elevation drawings and site plan, date stamped received by the City of Toronto Planning Division, April 28, 2015.

APPLICATION

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished. Previous Committee of Adjustment files include applications B062/14NY, B063/14NY, A859/14NY, A860/14NY, and A861/14NY. The lands were approved on condition for a consent to sever to create three building lots fronting Norton Avenue on January 22, 2015. The requested minor variances to construct the proposed dwellings were refused.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 10.5.80.40.(3), Zoning By-law No. 569-2013**
(B) Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the front street.
2. **Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
3. **Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.

4. **Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
 A) The permitted maximum lot coverage is 30% of the lot area: 123.23m².
 The proposed lot coverage is 33.4% of the lot area: 137.37m².
5. **Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
 The required minimum front yard setback is 8.21m.
 The proposed front yard setback is 7.0m.
6. **Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
 The required minimum side yard setbacks are 1.8m each side.
 The proposed west side yard setback is 1.22m.
7. **Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
 The required minimum side yard setbacks are 1.8m each side.
 The proposed east side yard setback is 1.22m.
8. **Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
 The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
 The proposed height of east side exterior main wall is 8.48m and the proposed height of west side exterior main wall is 8.1m.
9. **Chapter 10.20.40.10.(6), Zoning By-law No. 569-2013**
 6) The permitted maximum height of the first floor above established grade is 1.2m.
 The proposed height of the first floor above established grade is 1.28m.
10. **Section 13.2.1, Zoning By-law No. 7625**
 The minimum required lot frontage is 15m.
 The proposed lot frontage is 12.88m.
11. **Section 13.2.2, Zoning By-law No. 7625**
 The minimum required lot area is 550m²
 The proposed lot area is 410.76m².
12. **Section 13.2.3(b), Zoning By-law No. 7625**
 The minimum required west side yard setback is 1.58m.
 The proposed west side yard setback is 1.22m.
13. **Section 13.2.3(b), Zoning By-law No. 7625**
 The minimum required east side yard setback is 3.0m.
 The proposed east side yard setback is 1.22m.
14. **Section 13.2.4, Zoning By-law No. 7625**
 The maximum permitted lot coverage is 30% of the lot area.
 The proposed lot coverage is 33.1% of the lot area.
15. **Section 6(8), Zoning By-law No. 7625**
 The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
 The proposed lot width is 12.88m.

16. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.
17. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.82m.

COMMENTS

The subject property is located east of Yonge Street and north of Sheppard Avenue East and is designated *Neighbourhoods* in the City of Toronto Official Plan. The Official Plan acknowledges that *Neighbourhoods*, while stable, will be subject to physical change in the form of enhancements, additions, and infill housing. The key policy of the Plan is to ensure that new development will respect and reinforce the existing physical character of the neighbourhood.

Section 4.1 of the Plan outlines the development policies for *Neighbourhoods*. Policy 4.1.5 states that development in established *Neighbourhoods* will respect and reinforce the existing physical character of the neighbourhood, including in particular:

- c) Heights, massing, scale and dwelling type of nearby residential properties;
- f) Prevailing patterns of rear and side yard setbacks and landscaped open space.

The Plan affirms that no changes will be made through rezoning, minor variance, consent or other public action that are out of keeping with the physical character of the neighbourhood.

The applicant proposes to construct a new two-storey detached dwelling with an integral, at grade garage. Staff have reviewed the submitted plans and note that Variance No. 8 for side exterior main wall heights of 8.48 and 8.1 metres is attributed to gabled windows located on the east and west sides of the building. The applicant has revised the façade on the east side of the dwelling to include a front entrance on Willowdale Avenue, which would be in keeping with the character of the existing streetscape. To ensure that the requested main wall height variance remains applicable only to the portion of wall containing the gables, Planning staff recommend that approval of this application be subject to the proposed dwelling being built in accordance with the east and west elevation drawings.

The applicant is also requesting an east side yard setback of 1.22 metres (Variances No. 7 and 13). This setback is an external setback which flanks the property on Willowdale Avenue. The applicant has revised the site plan drawing to indicate that the 1.22 metre setback applies only to the porch attached to the front entrance, whereas the remainder of the dwelling is setback 1.82

metres from the east property line. Planning staff have no concerns with these variances, provided that the property be developed in accordance with the revised site plan drawing.

Respectfully submitted,

CONTACT

Carla Tsang, Assistant Planner
Tel: 416-395-7137
Fax: 416-395-7155
E-mail: ctsang@toronto.ca

SIGNATURE



Allen Appleby
Director, Community Planning, North York District

A0272/15NY - 370 WILLOWDALE AVENUE

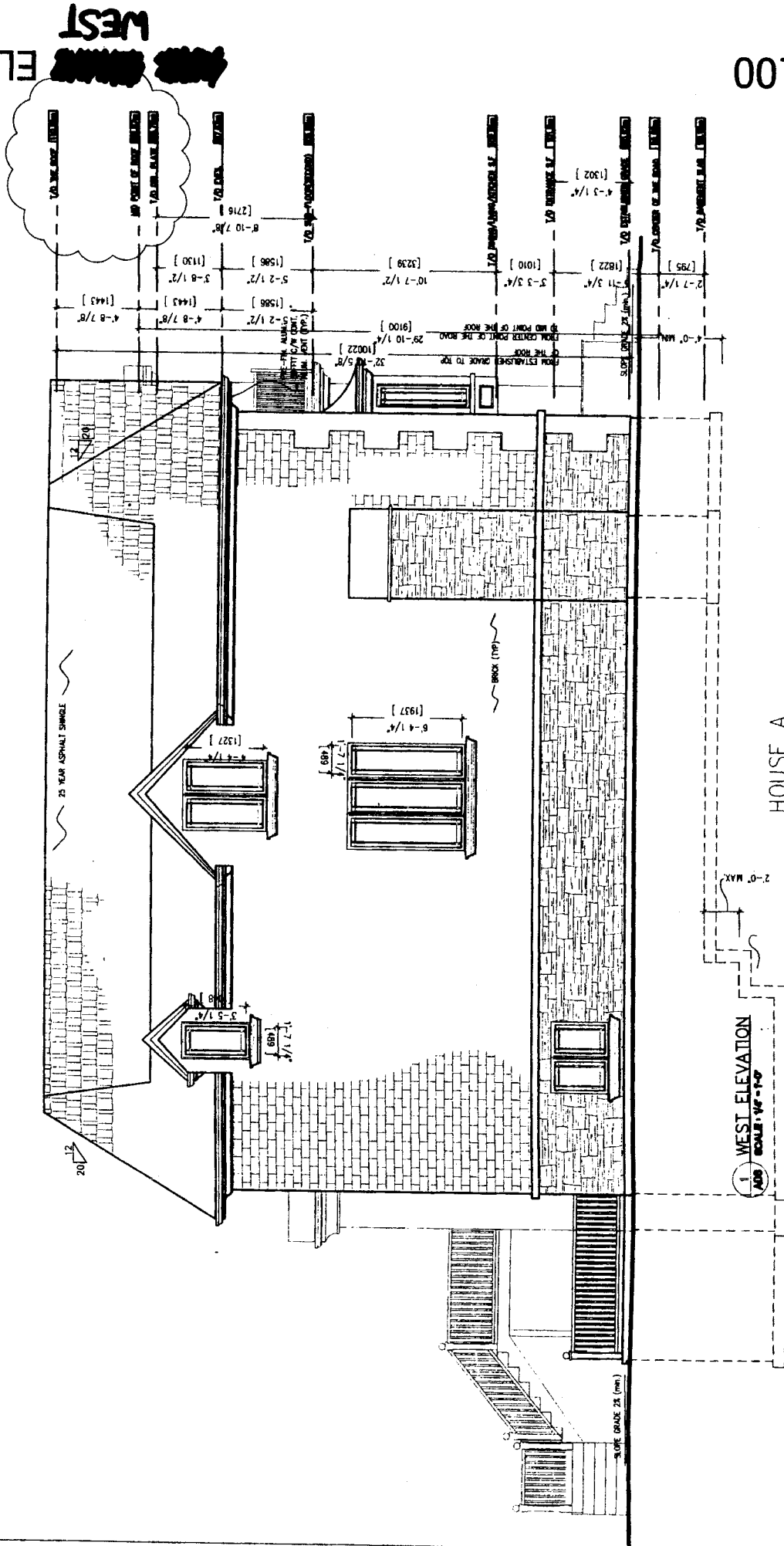
RECEIVED

APR 28 2015

TORONTO PLANNING
NORTH YORK CIVIC CENTRE

WEST ELEVATION

SCALE 1:100



HOUSE A
PART 1&2

1 WEST ELEVATION
ADD SCALE 1/4\"/>

Mailed on/before: Monday, April 27, 2015

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, May 7, 2015 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0272/15NY	Zoning	R4/RD(f15.0; a550)(ZR)
Owner(s):	ZHUQI ZHANG XHUQI ZHANG	Ward:	Willowdale (23)
Agent:	MEHDI HOSSEINI		
Property Address:	370 WILLOWDALE AVE	Community:	North York
Legal Description:	PLAN 2633 LOT 59 PT LOT 58		

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished. Previous Committee of Adjustment files include applications B062/14NY, B063/14NY, A859/14NY, A860/14NY, and A861/14NY. The lands were approved on condition for a consent to sever to create three building lots fronting Norton Avenue on January 22, 2015. The requested minor variances to construct the proposed dwellings were refused.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.80.40.(3), Zoning By-law No. 569-2013**
(B) Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the front street.
- Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
- Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
- Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**

- A) The permitted maximum lot coverage is 30% of the lot area: 123.23m².
The proposed lot coverage is 33.4% of the lot area: 137.37m².
5. **Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.21m.
The proposed front yard setback is 7.0m.
 6. **Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed west side yard setback is 1.22m.
 7. **Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed east side yard setback is 1.22m.
 8. **Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of east side exterior main wall is 8.48m and the proposed height of west side exterior main wall is 8.1m.
 9. **Chapter 10.20.40.10.(6), Zoning By-law No. 569-2013**
6) The permitted maximum height of the first floor above established grade is 1.2m.
The proposed height of the first floor above established grade is 1.28m.
 10. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m.
The proposed lot frontage is 12.88m.
 11. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m²
The proposed lot area is 410.76m².
 12. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required west side yard setback is 1.58m.
The proposed west side yard setback is 1.22m.
 13. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required east side yard setback is 3.0m.
The proposed east side yard setback is 1.22m.
 14. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 33.1% of the lot area.
 15. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.
 16. **Section 13.2.6, Zoning By-law No. 7625**

The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.

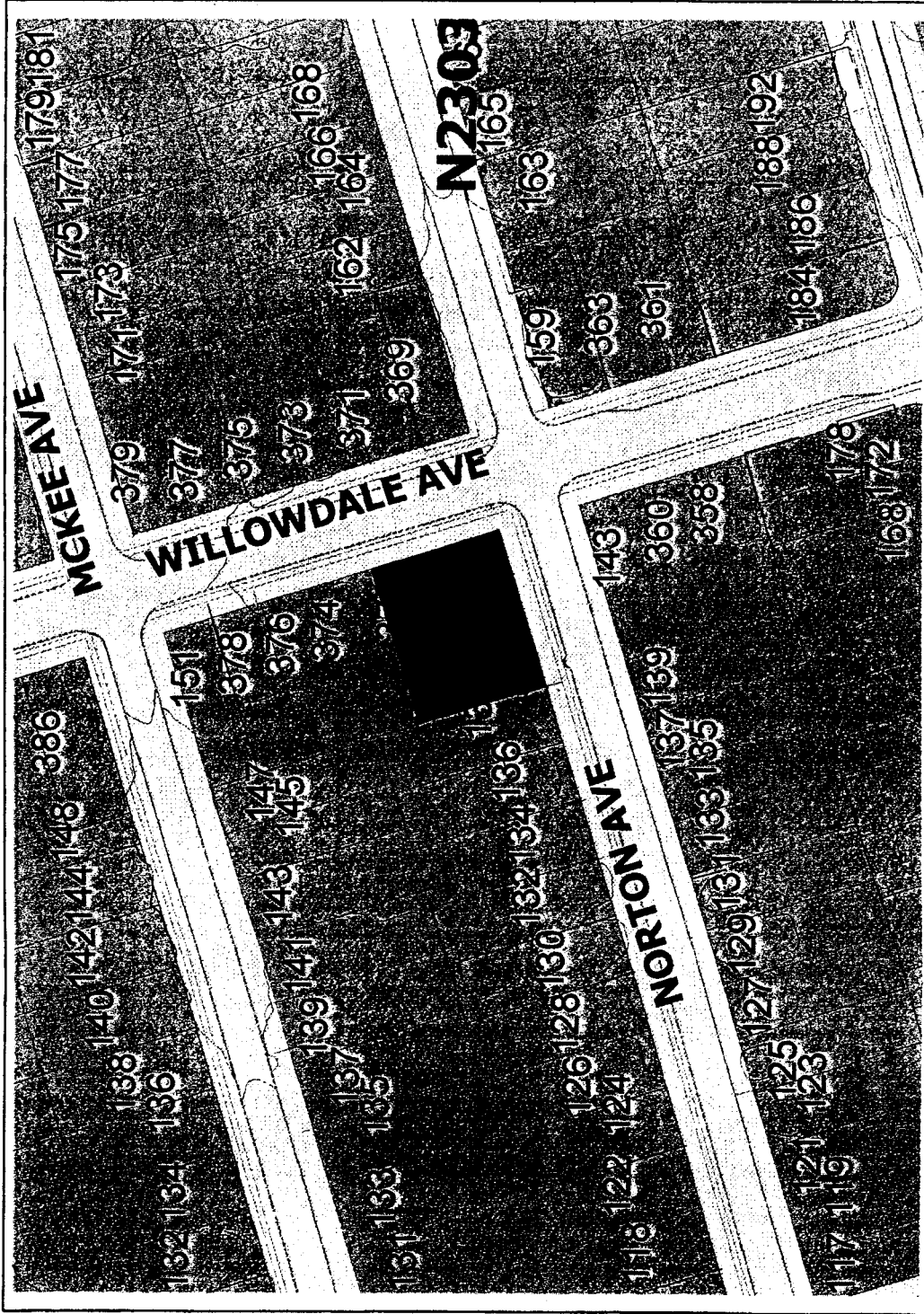
17. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.82m.

:sl



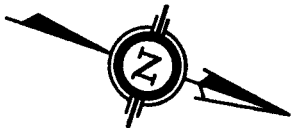
370 (372) Willowdale Ave.

A0272/15NY

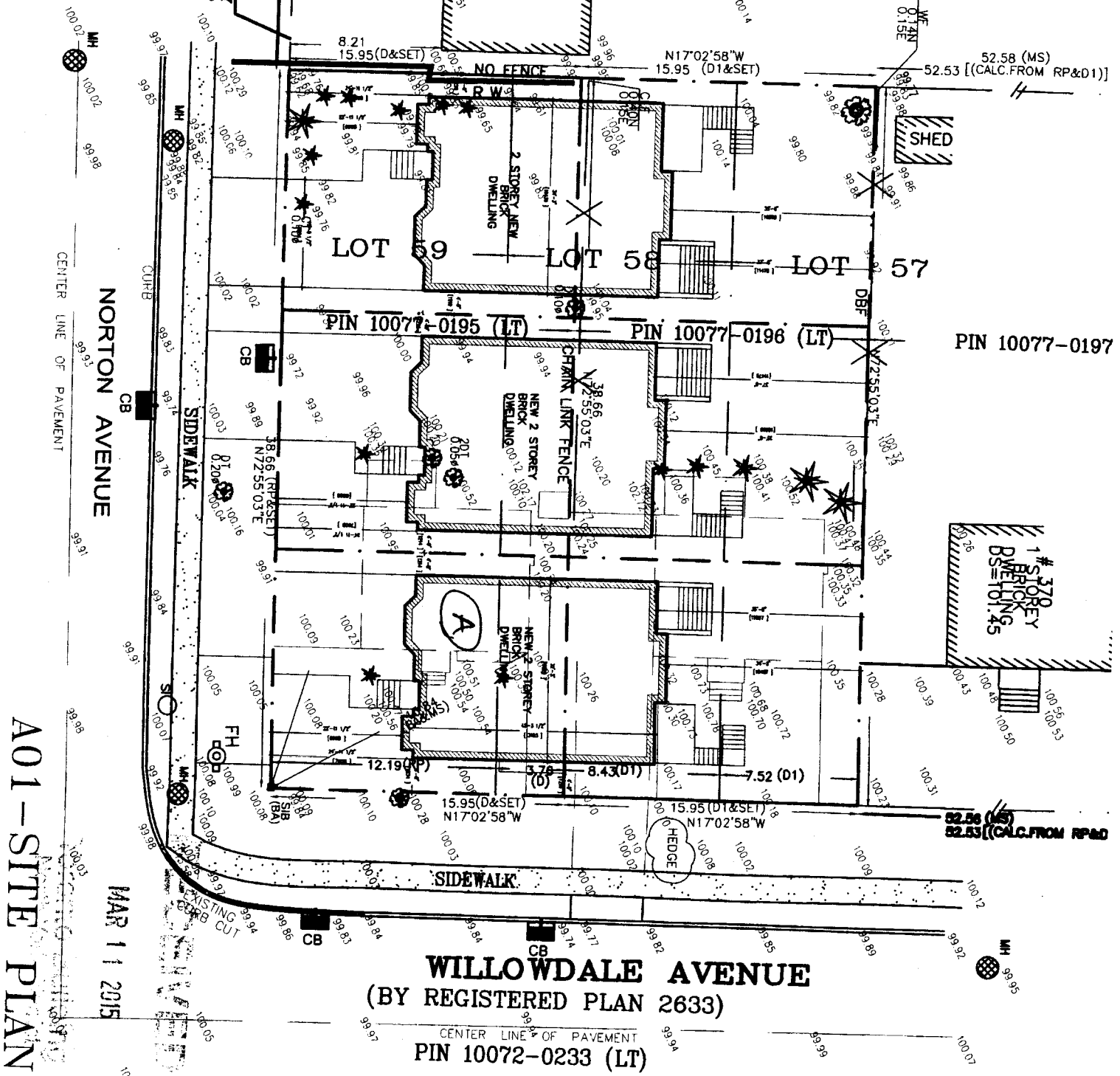


A 0272/15NY

SCALE: 1:300



REGISTERED PLAN 2633



WILLOWDALE AVENUE (BY REGISTERED PLAN 2633)

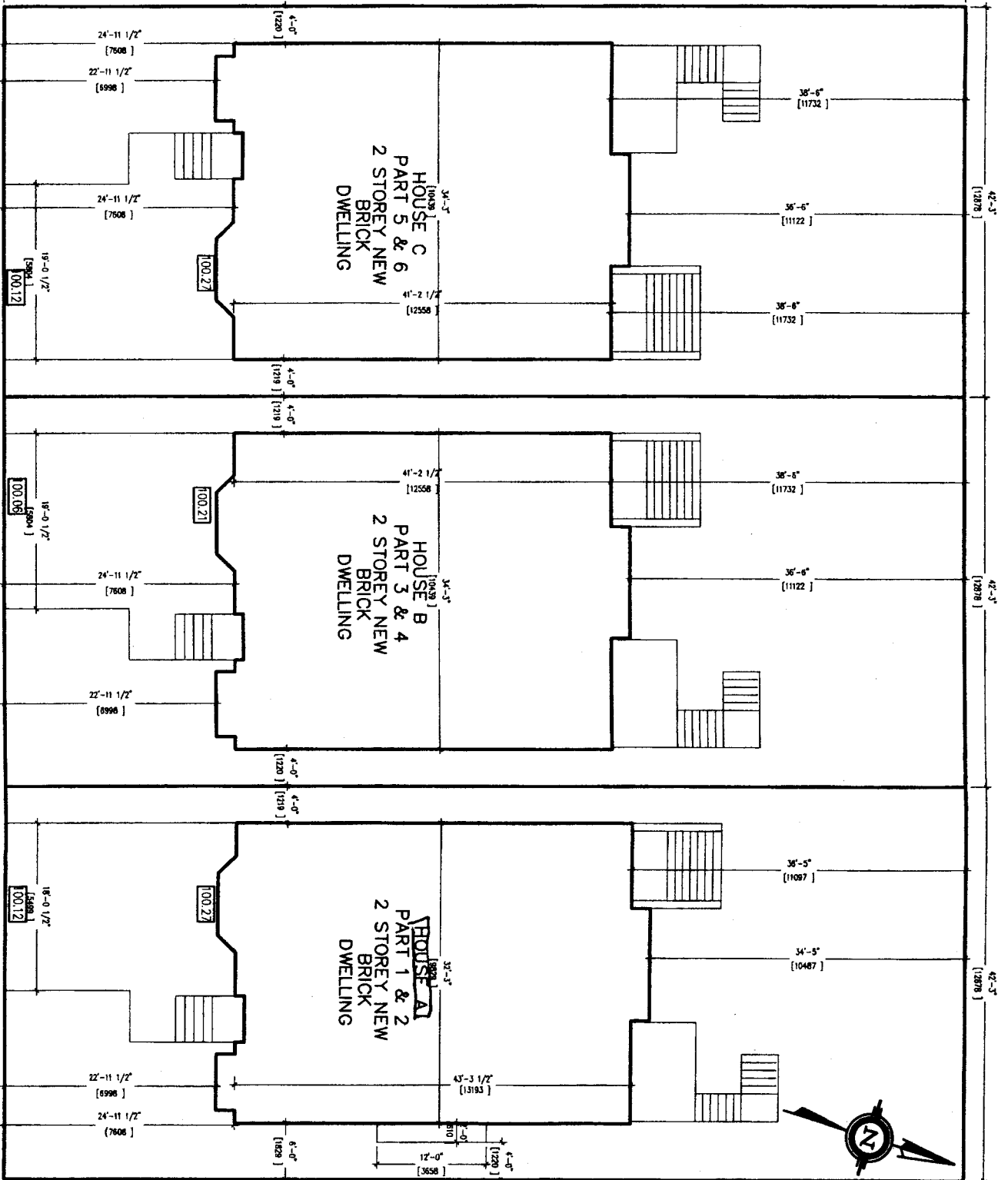
CENTER LINE OF PAVEMENT
PIN 10072-0233 (LT)

A01-SITE PLAN

MAR 11 2015

Proposed New House GFA CALCULATION		
	sqf	sqm
Lot Area	4421.450	410.767075
GFA	1414.800	131.439
First Floor	1414.800	131.439221
Second Floor	2829.600	262.878
Total GFA		
Basement	1070	99.406
Lot Coverage(50%)		
Allowable Lot Coverage	1326.438000	123.230123
Proposed Lot Covered	1414.800	131.439
Lot Covered %	31.998	
Front Yard Landscaping Calculation		
Front Yard Area	1045.500	97.130
Driveway Area	475.200	44.148
Landscape Req.	522.750000	48.585
(50% of total area)		
Landscape proposed	570.300	52.983
Front Yard-Driveway)		
Soft Landscaping Req. (75% of Landscape)	427.725	39.737
Soft Landscape Proposed	509	47.288

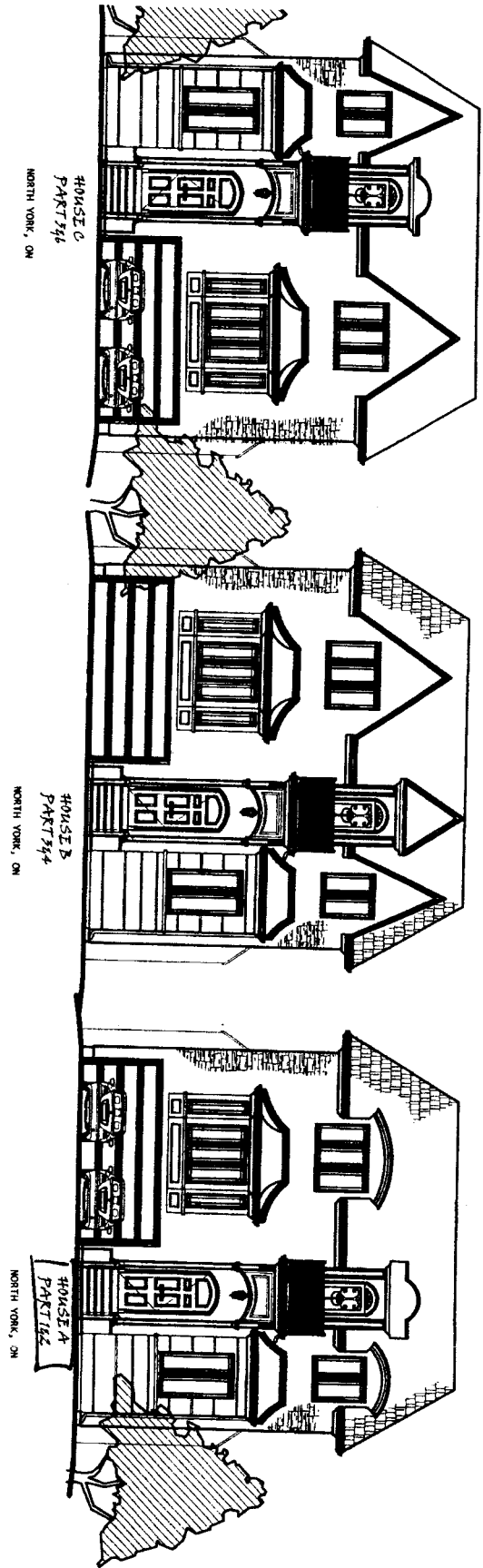
THIS TABLE IS SIMILAR FOR ALL THREE HOUSES



SCALE: 1:200

A01-A-SITE PLAN

A0272/15N1



MCKEE AVE

NORTON AVE

PARKVIEW AVE

KEY PLANNING

WILLOWDALE AVE



MAR 11 2015

Toronto
North York

MAR 11

Toronto

HOSSEINI HOMES CORPORATION

WE RESPECT NEW IDEAS.

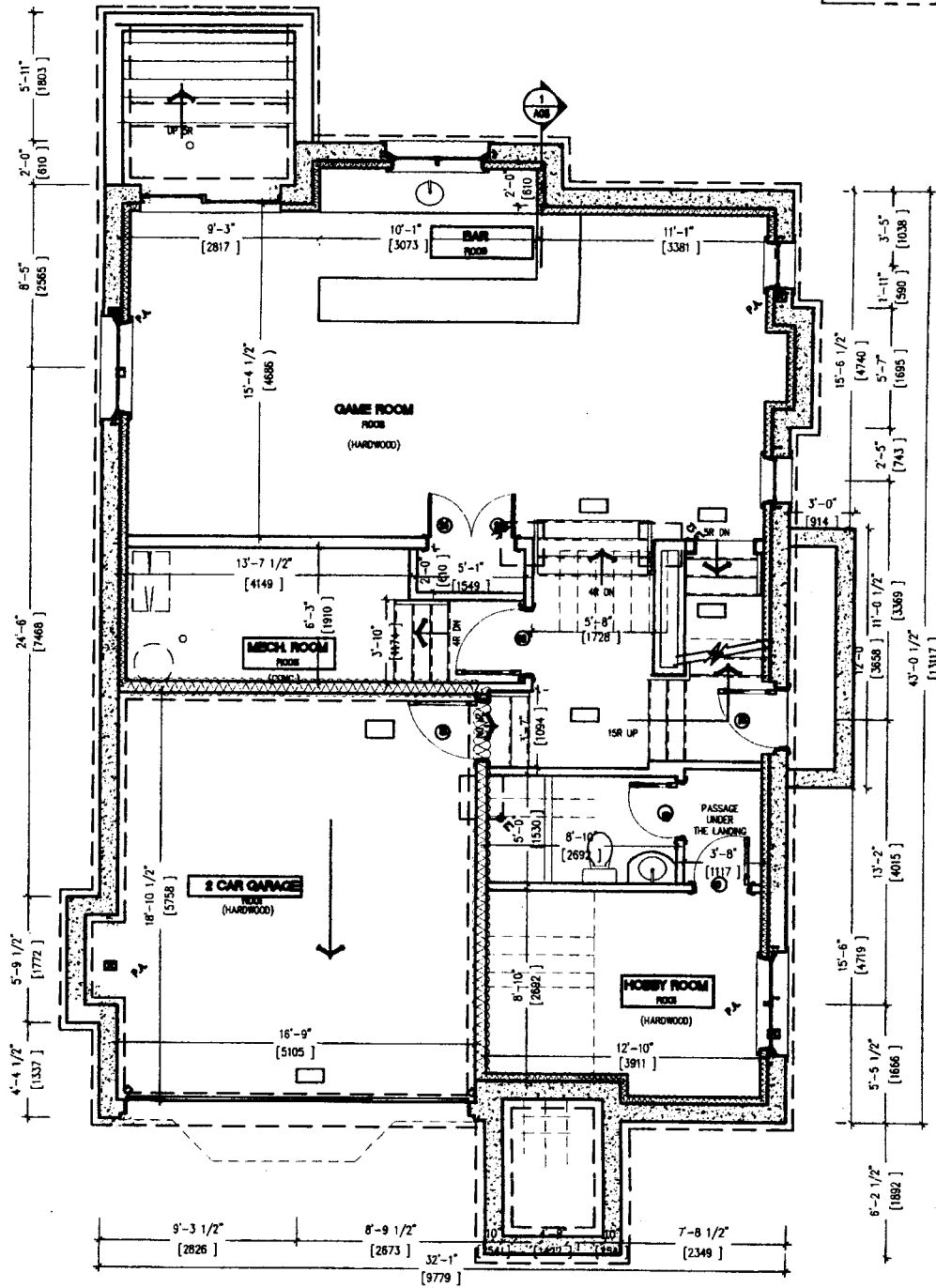
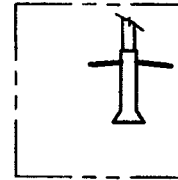
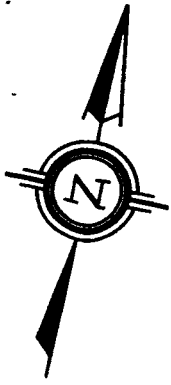


P.O. BOX 69587-5845 YONGE STREET, TORONTO, ON, M2M 4K3

TEL: (416) 720-6673 FAX: (416) 792-0272

WWW.HOSSEINIHOME.CO

A00

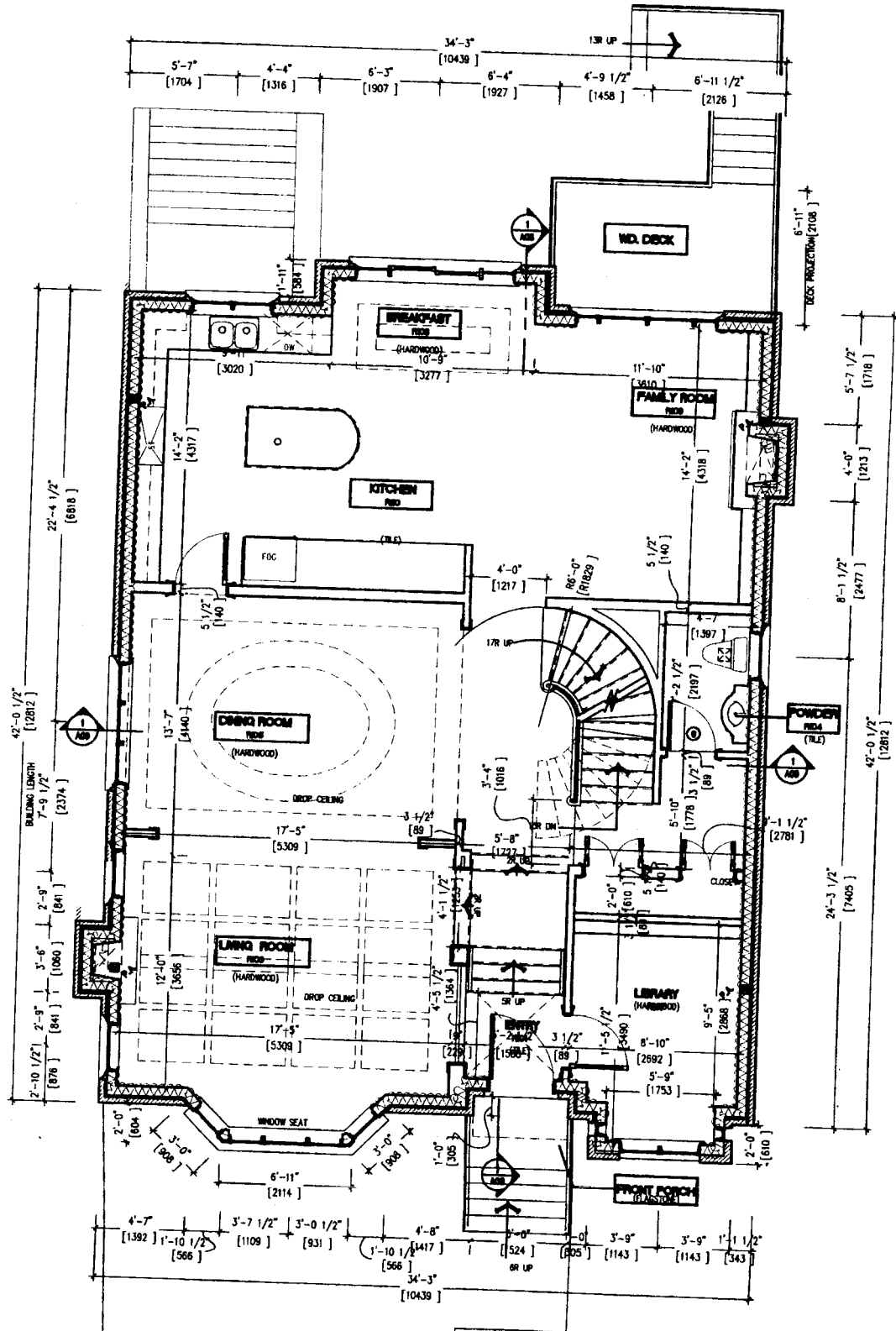
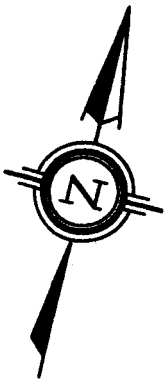


1 BASEMENT PLAN
A02 SCALE: 1/4" = 1'-0"

HOUSE A
PART 1 & 2

SCALE 1:100

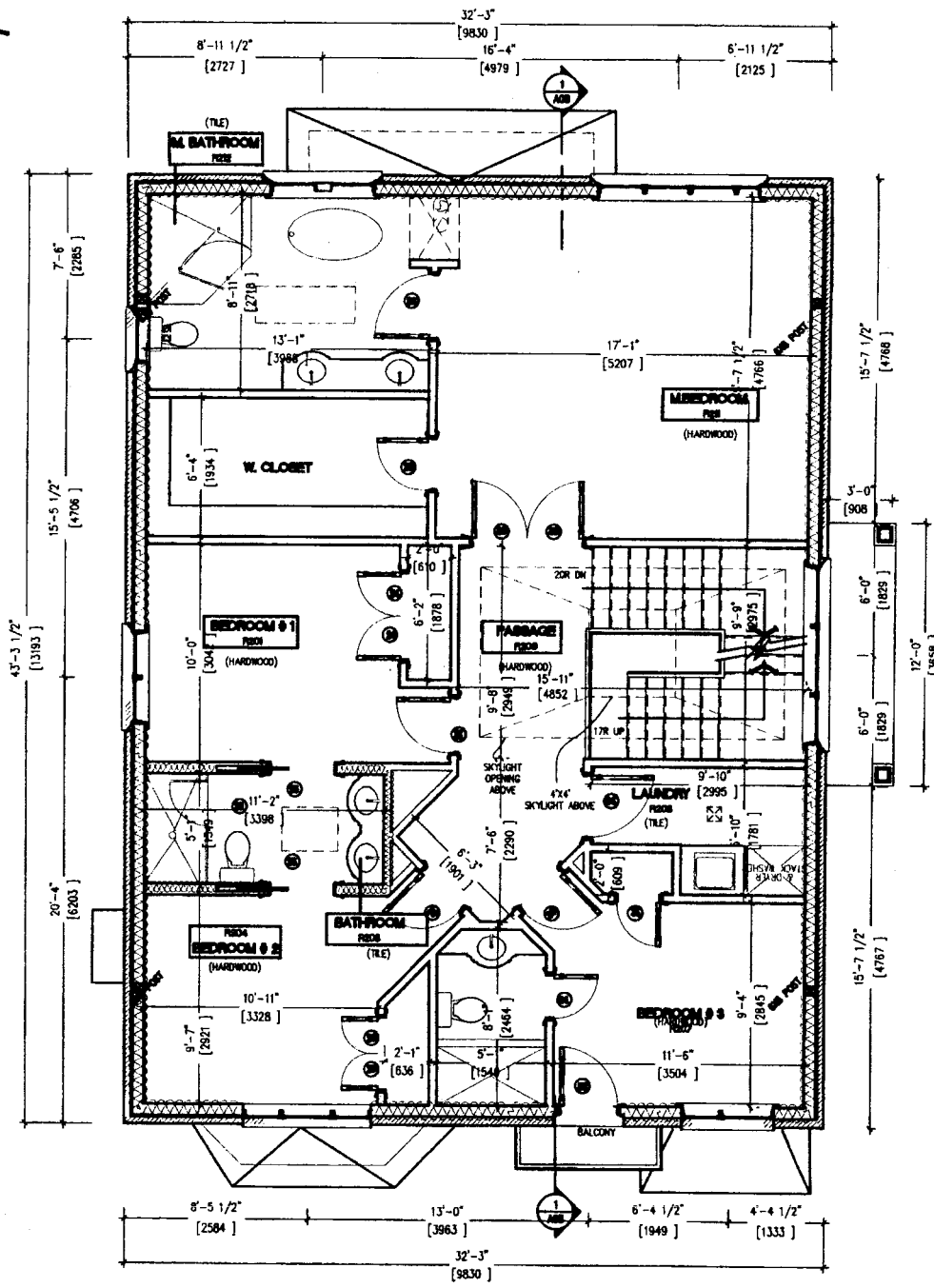
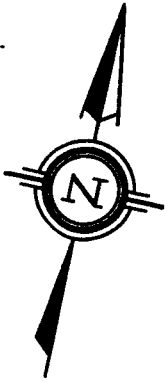
A02 BASMENT FLOOR PLAN



SCALE 1:100

HOUSE A
PART 1 & 2

1 FIRST FLOOR PLAN
AGE SCALE: 1/4" = 1'-0"
A03-FIRST FLOOR PLAN



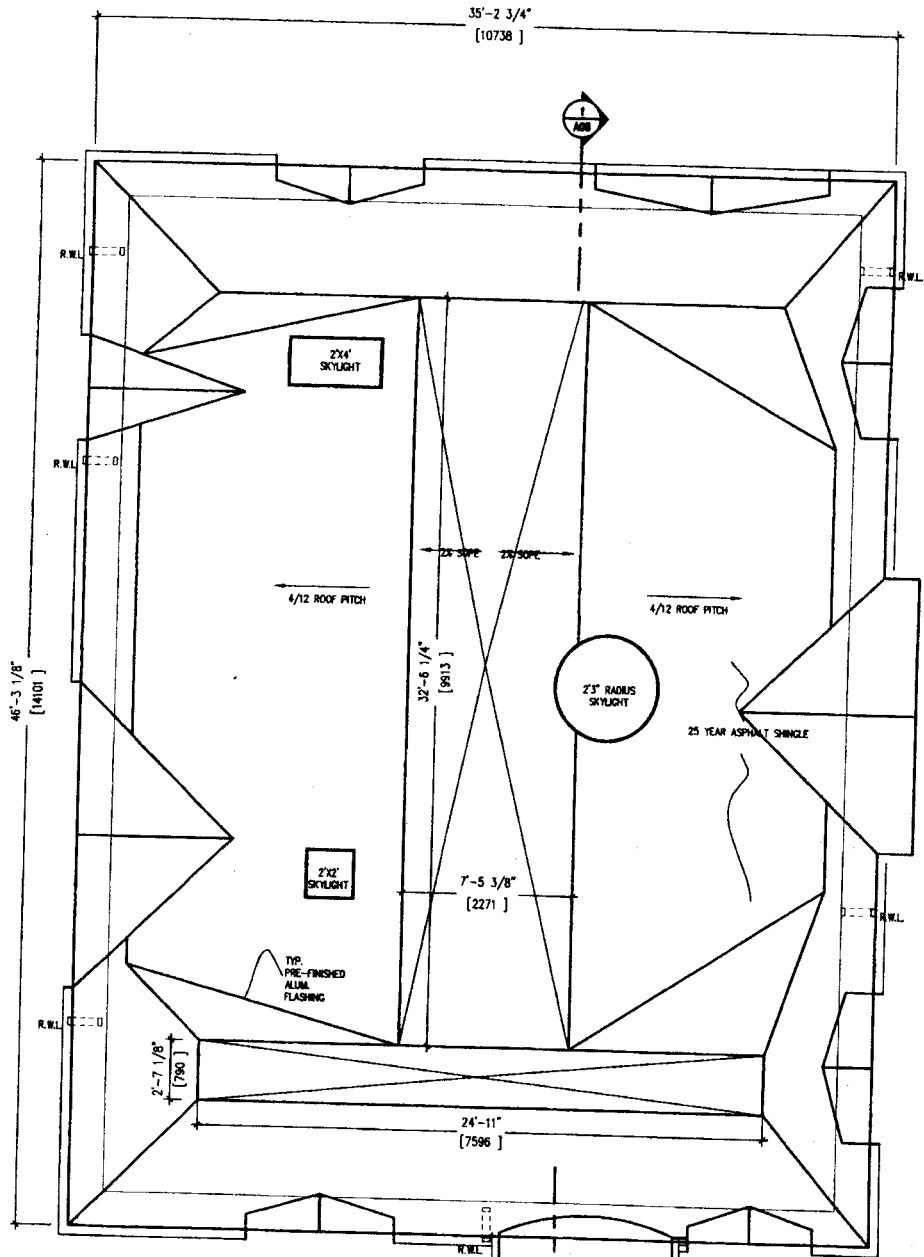
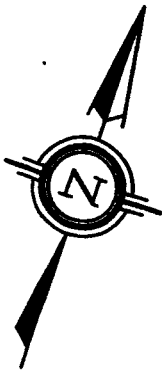
1 SECOND FLOOR PLAN
A04 SCALE: 1/4" = 1'-0"

HOUSE A
PART 1 & 2

SCALE 1:100

A04 SECOND FLOOR PLAN

FLAT ROOF CALCULATION:
 TOTAL ROOF AREA 1727.6 SQF
 FLAT ROOF AREA 424.26 SQF
 ALLOWABLE FLAT ROOF(OLD BY LAW) 25% OF TOTAL ROOF AREA
 FLAT ROOF% = 24.5%



1 ROOF PLAN
 A05 SCALE: 1/4" = 1'-0"

HOUSE A
PART 1 & 2

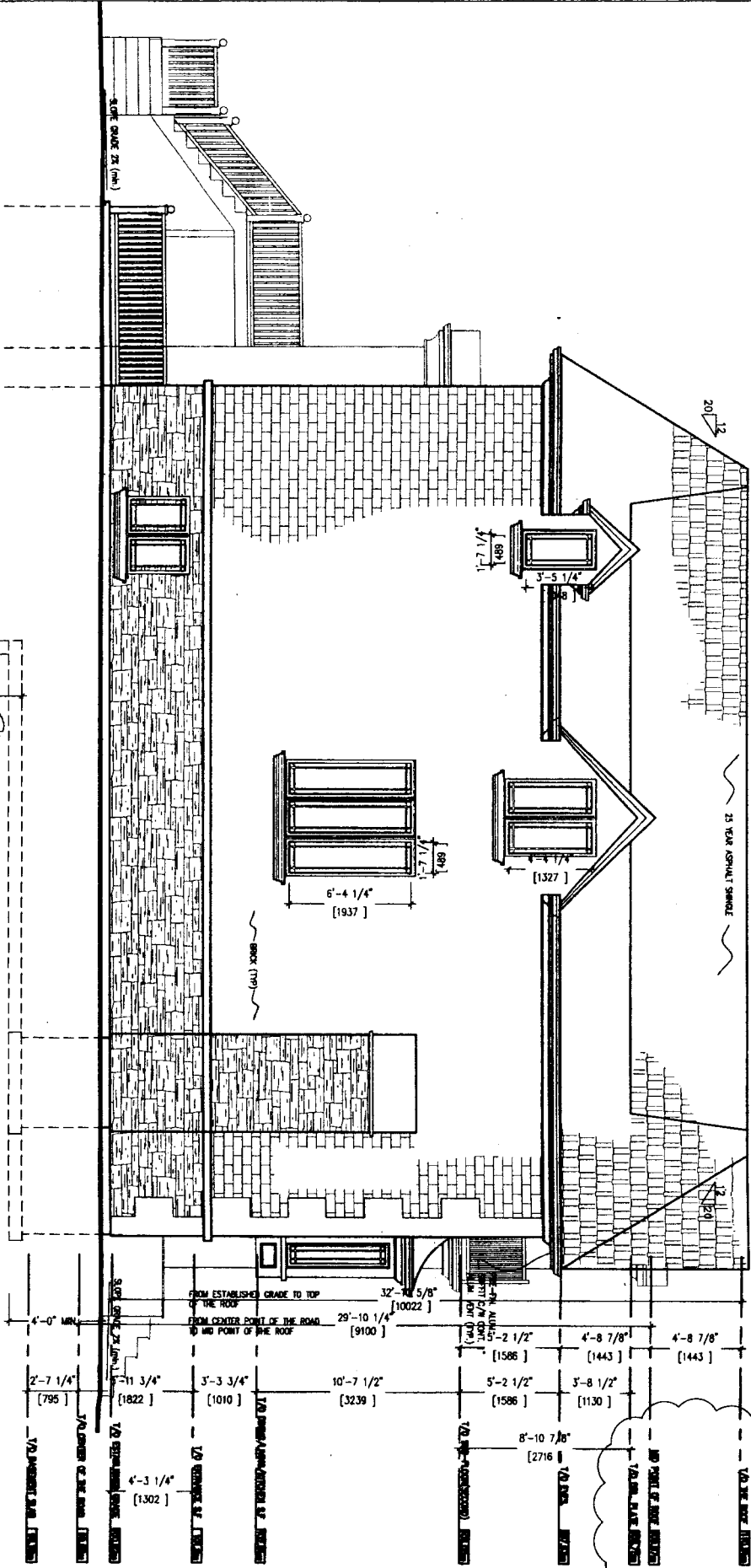
SCALE 1:100

A05 ROOF PLAN

HOUSE A
PART 1&2

1 WEST ELEVATION
A08 SCALE: 1/4" = 1'-0"

2'-0" MAX



SCALE 1:100

A08 EAST ELEVATION

Thursday, January 22, 2015

**NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)**

File Number:	B062/14NY	Zoning	R4/RD(f15.0;a550)(ZR)
Owner(s):	ZHUQI ZHANG XHUQI ZHANG	Ward:	Willowdale (23)
Agent:	MEHDI HOSSEINI		
Property Address:	370 WILLOWDALE AVE	Community:	North York
Legal Description:	PLAN 2633 LOT 59 PT LOT 58		

Notice was given and the application considered on Thursday, January 22, 2015, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into three parts for the purpose of lot additions. Related Committee of Adjustment files include B063/14NY/14NY, A859/14NY, A860/14NY, A861/14NY.

Conveyed - Part 1**Address to be assigned**

The frontage is 15.95m and the lot area is 205.436m². Part 1 will be added to Part 2 severed from B063/14NY to create a new building lot fronting Norton Ave. (House A) with a frontage of 12.88m and a lot area of 410.76m². The property will be redeveloped as the site of a new two-storey dwelling requiring variances to the Zoning By-law, as outlined in Application A859/14NY.

Conveyed - Part 3**Address to be assigned**

The frontage is 15.95m and the lot area is 205.595m². Part 3 will be added to Part 4 severed from B063/14NY to create a new building lot fronting Norton Ave. (House B) with a frontage of 12.88m and a lot area of 410.76m². The property will be redeveloped as the site of a new two-storey dwelling requiring variances to the Zoning By-law, as outlined in Application A860/14NY.

Conveyed - Parts 5**Address to be assigned**

The frontage is 15.95m and the lot area is 205.595m². Part 5 will be added to Part 6 severed from B063/14NY to create a new building lot fronting Norton Ave. (House C) with a frontage of 12.88m and a lot area of 410.76m². The property will be redeveloped as the site of a new two-storey dwelling requiring variances to the Zoning By-law, as outlined in Application A861/14NY.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**The Consent Application is Approved on Condition**

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of the this Decision:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division.
2. A draft Certificate of Official, as prescribed in O.Reg. 197/96 as Form 2 or 4, in a form satisfactory to the Deputy Secretary-Treasurer, that includes a completed and registerable description of the land that is the subject of the consent, shall be submitted to the Deputy Secretary-Treasurer within one year of the date of the giving of notice of this decision.
3. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with City Surveyor, Survey & Mapping, Engineering Services.
4. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Engineering Services.
5. **Three copies of the registered reference plan of survey** satisfying the requirements of the City Surveyor, shall be filed with the Committee of Adjustment.
6. The associated minor variance decisions, A859/14NY, A860/14NY & A861/14NY be declared Final and Binding.
7. City of Toronto Municipal Code Chapter 813, Article II, City-owned trees
www.toronto.ca/trees/city_trees.htm
8. City of Toronto Municipal Code Chapter 813, Article III, Privately-owned trees
www.toronto.ca/trees/private_trees.htm
9. Where no street tree exists, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting the site to the satisfaction of the General Manager of Parks, Forestry and Recreation.
10. The applicant to satisfy the requirements of the Engineering and Construction Services Division;
 - a) The owner shall deposit prior to the stamping of the deeds for severance, a certified cheque with the Technical Services as security for the estimated cost of construction and a certified cheque for the 5% engineering review fee of the following works;
 - i) Construction of a new 250mm diameter sanitary sewer, approximately 50 metres in length, with a new maintenance hole at the upstream end with the sewer flowing east and connecting into the existing sanitary maintenance hole located in the intersection of Willowdale Avenue and Norton Avenue. Servicing of the three proposed houses with sanitary and domestic water connections. Disconnection of existing water and sanitary connections of the two houses located at 370 and 372 Willowdale Avenue. Restoration of all damaged surfaces. The cost of the above construction is estimated to be \$190,000;
 - ii) \$10,735.00 representing the 5% Engineering review fee of the above construction works.

- iii) The owner sign and adhere to the appropriate "Municipal Agreement" document;
- b) The owner shall convey to the City, at nominal cost, such lands to be free and clear of all encumbrances, save and except for utility poles and subject to a right-of-way for access purposes in favour of the Grantor until such times as said lands have been laid out and dedicated for public highway purposes:
 - i) 5.00m corner rounding at the northwest corner of Willowdale Avenue and Norton Avenue. Deeds for these lands, in a satisfactory form, shall be deposited with the City Solicitor and registered by the City prior to the stamping of the deeds for severance. A draft Reference Plan of Survey shall be submitted to the Executive Director of Engineering and Construction Services for review and approval, prior to depositing in the Land Registry Office, in metric units and integrated with the Ontario Co-ordinate System, showing as separate PARTS thereof the lands to be conveyed to the City and the remainder of the site including any appurtenant rights-of-way;
 - ii) The owner shall pay all costs for registration and preparation of reference plan(s).
- 11. Subsection 50(3) or (5) or subsection of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction shall apply.
- 12. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96.

Thursday, January 22, 2015

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B063/14NY	Zoning	R4/RD(f15.0;a550)(ZR)
Owner(s):	XIUHUA GUO	Ward:	Willowdale (23)
Agent:	MEHDI HOSSEINI		
Property Address:	372 WILLOWDALE AVE	Community:	
Legal Description:	PLAN 2633 S PT LOT 57		

Notice was given and the application considered on Thursday, January 22, 2015, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into three parts for the purpose of lot additions. Related Committee of Adjustment files include B062/14NY/14NY, A859/14NY, A860/14NY, A861/14NY.

Conveyed - Part 2**Address to be assigned**

The frontage is 15.95m and the lot area is 205.436m². Part 2 will be added to Part 1 (severed from B062/14NY, 370 Willowdale Ave.) to create a new building lot fronting Norton Ave. (House A) with a frontage of 12.88m and a lot area of 410.76m². The property will be redeveloped as the site of a new two-storey dwelling requiring variances to the Zoning By-law, as outlined in Application A859/14NY.

Conveyed - Part 4**Address to be assigned**

The frontage is 15.95m and the lot area is 205.595m². Part 4 will be added to Part 3 (severed from B062/14NY, 370 Willowdale Ave.) to create a new building lot fronting Norton Ave. (House B) with a frontage of 12.88m and a lot area of 410.76m². The property will be redeveloped as the site of a new two-storey dwelling requiring variances to the Zoning By-law, as outlined in Application A860/14NY.

Conveyed - Part 6**Address to be assigned**

The frontage is 15.95m and the lot area is 205.595m². Part 6 will be added to Part 5 (severed from B062/14NY, 370 Willowdale Ave.) to create a new building lot fronting Norton Ave. (House C) with a frontage of 12.88m and a lot area of 410.76m². The property will be redeveloped as the site of a new two-storey dwelling requiring variances to the Zoning By-law, as outlined in Application A861/14NY.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**The Consent Application is Approved on Condition**

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of the this Decision:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division.
2. A draft Certificate of Official, as prescribed in O.Reg. 197/96 as Form 2 or 4, in a form satisfactory to the Deputy Secretary-Treasurer, that includes a completed and registerable description of the land that is the subject of the consent, shall be submitted to the Deputy Secretary-Treasurer within one year of the date of the giving of notice of this decision.
3. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with City Surveyor, Survey & Mapping, Engineering Services.
4. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Engineering Services.
5. **Three copies of the registered reference plan of survey** satisfying the requirements of the City Surveyor, shall be filed with the Committee of Adjustment.
6. The associated minor variance decisions, A859/14NY, A860/14NY & A861/14NY be declared Final and Binding.
7. City of Toronto Municipal Code Chapter 813, Article II, City-owned trees
www.toronto.ca/trees/city_trees.htm
8. City of Toronto Municipal Code Chapter 813, Article III, Privately-owned trees
www.toronto.ca/trees/private_trees.htm
9. Where no street tree exists, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting the site to the satisfaction of the General Manager of Parks, Forestry and Recreation.
10. The applicant to satisfy the requirements of the Engineering and Construction Services Division;
 - a) The owner shall deposit prior to the stamping of the deeds for severance, a certified cheque with the Technical Services as security for the estimated cost of construction and a certified cheque for the 5% engineering review fee of the following works;
 - i) Construction of a new 250mm diameter sanitary sewer, approximately 50 metres in length, with a new maintenance hole at the upstream end with the sewer flowing east and connecting into the existing sanitary maintenance hole located in the intersection of Willowdale Avenue and Norton Avenue. Servicing of the three proposed houses with sanitary and domestic water connections. Disconnection of existing water and sanitary connections of the two houses located at 370 and 372 Willowdale Avenue. Restoration of all damaged surfaces. The cost of the above construction is estimated to be \$190,000;
 - ii) \$10,735.00 representing the 5% Engineering review fee of the above construction works.
 - iii) The owner sign and adhere to the appropriate "Municipal Agreement" document;

b) The owner shall convey to the City, at nominal cost, such lands to be free and clear of all encumbrances, save and except for utility poles and subject to a right-of-way for access purposes in favour of the Grantor until such times as said lands have been laid out and dedicated for public highway purposes:

i) 5.00m corner rounding at the northwest corner of Willowdale Avenue and Norton Avenue. Deeds for these lands, in a satisfactory form, shall be deposited with the City Solicitor and registered by the City prior to the stamping of the deeds for severance. A draft Reference Plan of Survey shall be submitted to the Executive Director of Engineering and Construction Services for review and approval, prior to depositing in the Land Registry Office, in metric units and integrated with the Ontario Co-ordinate System, showing as separate PARTS thereof the lands to be conveyed to the City and the remainder of the site including any appurtenant rights-of-way;

ii) The owner shall pay all costs for registration and preparation of reference plan(s).

11. Subsection 50(3) or (5) or subsection of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction shall apply.
12. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96.

Thursday, January 22, 2015

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A859/14NY	Zoning	R4/RD(f15.0;a550)(ZR)
Owner(s):	XIUHUA GUO XHUQI ZHANG	Ward:	Willowdale (23)
Agent:	MEHDI HOSSEINI		
Property Address:	370 WILLOWDALE AVE (PARTS 1 & 2)	Community:	North York
Legal Description:	PLAN 2633 LOT 59 PT LOT 58		

Notice was given and a Public Hearing was held on Thursday, January 22, 2015, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished. Committee of Adjustment files B062/14NY, B063/14NY/14NY, A859/14NY, A860/14NY, A861/14NY will be considered jointly

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.80.40(3), Zoning By-law No. 569-2013**
(B) Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the front street.
- 2. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
- 3. Chapter 10.20.30.20(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
- 4. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- 5. Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.21m.
The proposed front yard setback is 7.0m.

6. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed West side yard setback is 1.22m.
7. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed East side yard setback is 1.22m to the front porch portion of the dwelling only.
8. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of East side exterior main wall is 8.48m.
9. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of West side exterior main wall is 8.1m.
10. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m.
The proposed lot frontage is 12.88m.
11. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 410.76m².
12. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required West side yard setback is 1.58m.
The proposed West side yard setback is 1.22m.
13. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required East side yard setback is 3.0m.
The proposed East side yard setback is 1.22m to the front porch portion of the dwelling only and 1.8m for remainder of house.
14. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
15. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.
16. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.
17. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.82m.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. **Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
3. **Chapter 10.20.30.20(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
10. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m.
The proposed lot frontage is 12.88m.
11. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 410.76m².
15. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

1. **Chapter 10.5.80.40(3), Zoning By-law No. 569-2013**
(B) Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the front street.
4. **Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
5. **Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.21m.
The proposed front yard setback is 7.0m.
6. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569- 2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed West side yard setback is 1.22m.

7. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed East side yard setback is 1.22m **to the front porch portion of the dwelling only.**
8. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of East side exterior main wall is 8.48m.
9. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of West side exterior main wall is 8.1m.
13. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required East side yard setback is 3.0m.
The proposed East side yard setback is 1.22m **to the front porch portion of the dwelling only and 1.8m for remainder of house.**
14. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
12. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required West side yard setback is 1.58m.
The proposed West side yard setback is 1.22m.
16. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.
17. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.82m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

- 1) City of Toronto Municipal Code Chapter 813, Article II, City-owned trees
www.toronto.ca/trees/city_trees.htm
- 2) City of Toronto Municipal Code Chapter 813, Article III, Privately-owned trees
www.toronto.ca/trees/private_trees.htm
- 3) Where no street tree exists, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting the site to the satisfaction of the General Manager of Parks, Forestry and Recreation.

Thursday, January 22, 2015

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A860/14NY	Zoning	R4/RD(f15.0;a550)(ZR)
Owner(s):	XIUHUA GUO XHUQI ZHANG	Ward:	Willowdale (23)
Agent:	MEHDI HOSSEINI		
Property Address:	370 WILLOWDALE AVE (PARTS 3 & 4)	Community:	North York
Legal Description:	PLAN 2633 LOT 59 PT LOT 58		

Notice was given and a Public Hearing was held on Thursday, January 22, 2015, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished. Committee of Adjustment files B062/14NY, B063/14NY/14NY, A859/14NY, A860/14NY, A861/14NY will be considered jointly.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
- Chapter 10.20.30.20(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
- Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.21m.
The proposed front yard setback is 7.0m.
- Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed West side yard setback is 1.22m.

6. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed East side yard setback is 1.22m
7. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of East side exterior main wall is 8.19m.
8. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of West side exterior main wall is 8.55m.
9. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required West side yard setback is 1.58m.
The proposed West side yard setback is 1.22m.
10. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required East side yard setback is 1.58m.
The proposed East side yard setback is 1.22m.
11. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m .
The proposed lot frontage is 12.88m.
12. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 410.76m².
13. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
14. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.
15. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.05m.
16. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.78m.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
2. **Chapter 10.20.30.20(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
11. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m .
The proposed lot frontage is 12.88m.
12. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 410.76m².
14. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

3. **Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
4. **Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.21m.
The proposed front yard setback is 7.0m.
5. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed West side yard setback is 1.22m.
6. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed East side yard setback is 1.22m

7. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of East side exterior main wall is 8.19m.
8. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of West side exterior main wall is 8.55m.
9. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required West side yard setback is 1.58m.
The proposed West side yard setback is 1.22m.
10. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required East side yard setback is 1.58m.
The proposed East side yard setback is 1.22m.
13. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
15. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.05m.
16. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.78m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

- 1) City of Toronto Municipal Code Chapter 813, Article II, City-owned trees
(www.toronto.ca/trees/city_trees.htm)
- 2) City of Toronto Municipal Code Chapter 813, Article III, Privately-owned trees
(www.toronto.ca/trees/private_trees.htm)
- 3) Where no street tree exists, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting the site to the satisfaction of the General Manager of Parks, Forestry and Recreation.

Thursday, January 22, 2015

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A861/14NY	Zoning	R4/RD(f15.0;a550)(ZR)
Owner(s):	ZHUQI ZHANG XIUHUA GUO	Ward:	Willowdale (23)
Agent:	MEHDI HOSSEINI		
Property Address:	370 WILLOWDALE AVE (PARTS 5 & 6)	Community:	North York
Legal Description:	PLAN 2633 LOT 59 PT LOT 58		

Notice was given and a Public Hearing was held on Thursday, January 22, 2015, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished. Committee of Adjustment files B062/14NY, B063/14NY/14NY, A859/14NY, A860/14NY, A861/14NY will be considered jointly.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
- Chapter 10.20.30.20(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
- Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.21m.
The proposed front yard setback is 7.0m.
- Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed West side yard setback is 1.22m.

6. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed East side yard setback is 1.22m
7. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of West side exterior main wall is 8.27m.
8. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of East side exterior main wall is 8.27m.
9. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m .
The proposed lot frontage is 12.88m.
10. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 410.76m².
11. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required West side yard setback is 1.58m.
The proposed West side yard setback is 1.22m.
12. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required East side yard setback is 1.58m.
The proposed East side yard setback is 1.22m.
13. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
14. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.
15. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.09m.
16. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.82m.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
2. **Chapter 10.20.30.20(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
9. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m .
The proposed lot frontage is 12.88m.
10. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 410.76m².
14. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

3. **Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
4. **Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.21m.
The proposed front yard setback is 7.0m.
5. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed West side yard setback is 1.22m.
6. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed East side yard setback is 1.22m
7. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of West side exterior main wall is 8.27m.

8. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of East side exterior main wall is 8.27m.
11. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required West side yard setback is 1.58m.
The proposed West side yard setback is 1.22m.
12. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required East side yard setback is 1.58m.
The proposed East side yard setback is 1.22m.
13. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is **32.00%** of the lot area.
15. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.09m.
16. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.82m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

- 1) City of Toronto Municipal Code Chapter 813, Article II, City-owned trees
www.toronto.ca/trees/city_trees.htm
- 2) City of Toronto Municipal Code Chapter 813, Article III, Privately-owned trees
www.toronto.ca/trees/private_trees.htm
- 3) Where no street tree exists, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting the site to the satisfaction of the General Manager of Parks, Forestry and Recreation.



STAFF REPORT
Committee of Adjustment
Application

Date:	April 28, 2015
To:	Chair and Committee Members of the Committee of Adjustment North York District
From:	Allen Appleby, Director, Community Planning, North York District
Wards:	Ward 23 (Willowdale)
Reference:	File No. A0273/15NY Address: 370 WILLOWDALE AVENUE Application to be heard: Thursday, May 7, 2015 at 9:30 a.m.

RECOMMENDATION

Should the Committee approve this application, Planning recommends that any approval be subject to the following condition:

1. The proposed dwelling be built in accordance with the east and west elevation drawings, date stamped received by the City of Toronto Planning Division, April 28, 2015.

APPLICATION

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished. Previous Committee of Adjustment files include applications B062/14NY, B063/14NY, A859/14NY, A860/14NY, and A861/14NY. The lands were approved on condition for a consent to sever to create three building lots fronting Norton Avenue on January 22, 2015. The requested minor variances to construct the proposed dwellings were refused.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
2. **Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
3. **Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30% of the lot area: 123.23m².
The proposed lot coverage is 33.4% of the lot area: 137.37m².
4. **Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.21m.
The proposed front yard setback is 7.0m.

5. **Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed west side yard setback is 1.22m.
6. **Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed east side yard setback is 1.22m.
7. **Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of east side exterior main wall is 8.19m and the proposed height of west side exterior main wall is 8.55m.
8. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required west side yard setback is 1.58m.
The proposed west side yard setback is 1.22m.
9. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required east side yard setback is 1.58m.
The proposed east side yard setback is 1.22m.
10. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m.
The proposed lot frontage is 12.88m.
11. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m²
The proposed lot area is 410.76m².
12. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 33.1% of the lot area.
13. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.
14. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.05m.
15. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.78m.

COMMENTS

The subject property is located east of Yonge Street and north of Sheppard Avenue East and is designated *Neighbourhoods* in the City of Toronto Official Plan. The Official Plan acknowledges that *Neighbourhoods*, while stable, will be subject to physical change in the form of enhancements, additions, and infill housing. The key policy of the Plan is to ensure that new development will respect and reinforce the existing physical character of the neighbourhood.

Section 4.1 of the Plan outlines the development policies for *Neighbourhoods*. Policy 4.1.5 states that development in established *Neighbourhoods* will respect and reinforce the existing physical character of the neighbourhood, including in particular:

- c) Heights, massing, scale and dwelling type of nearby residential properties.

The Plan affirms that no changes will be made through rezoning, minor variance, consent or other public action that are out of keeping with the physical character of the neighbourhood.

The applicant proposes to construct a new two-storey detached dwelling with an integral, at grade garage. Staff have reviewed the submitted plans and note that Variance No. 7 for side exterior main wall heights of 8.19 and 8.55 metres is attributed to gabled windows located on the east and west sides of the building. To ensure that the requested main wall height variance remains applicable only to the portion of wall containing the windows, Planning staff recommend that approval of this application be subject to the proposed dwelling being built in accordance with the east and west elevation drawings, date stamped received by the City of Toronto Planning Division, April 28, 2015.

Respectfully submitted,

CONTACT

Carla Tsang, Assistant Planner
Tel: 416-395-7137
Fax: 416-395-7155
E-mail: ctsang@toronto.ca

SIGNATURE



jr. Allen Appleby
Director, Community Planning, North York District

A0273/15NY – 370 WILLOWDALE AVENUE

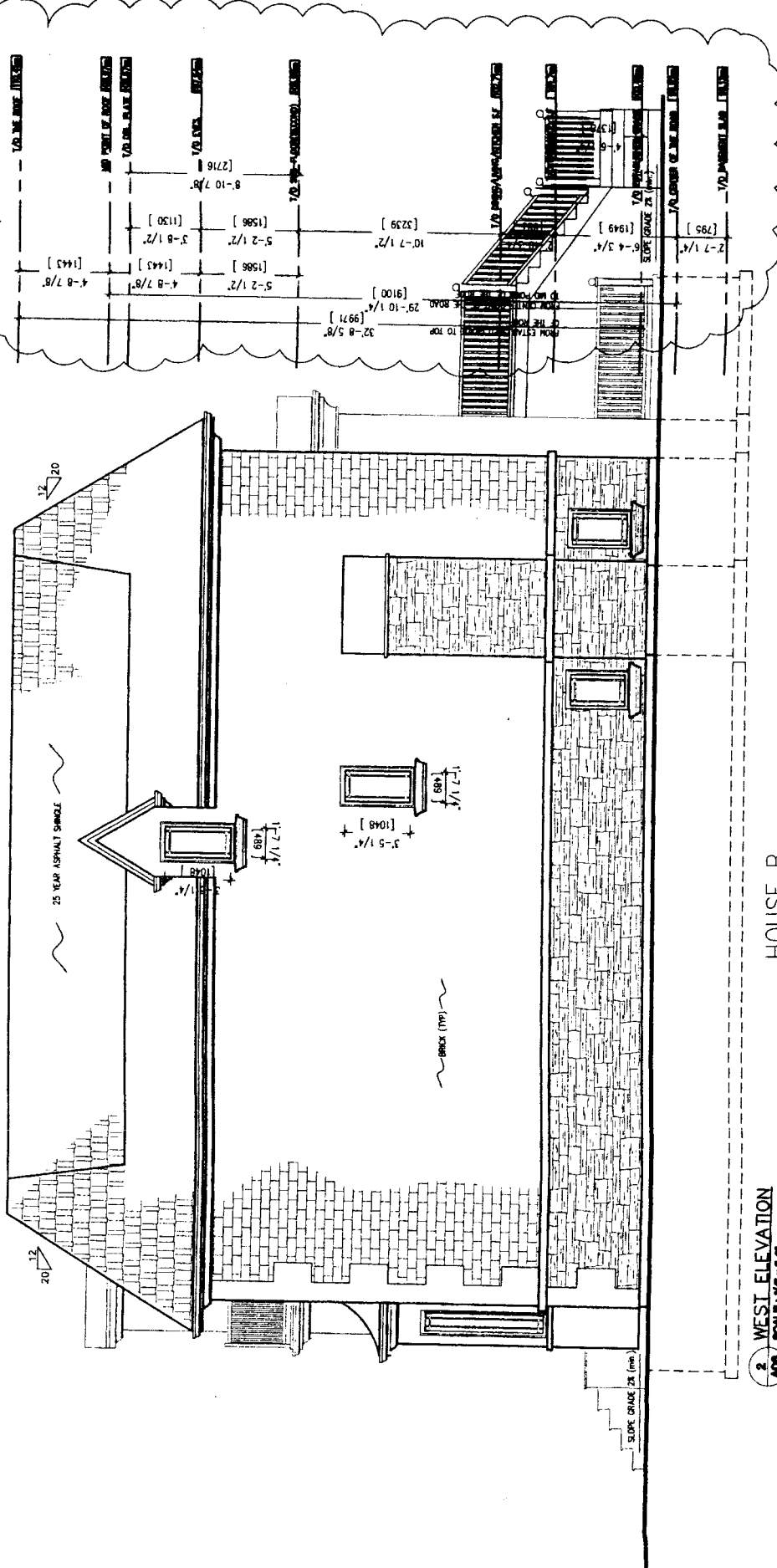
RECEIVED

APR 28 2015

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

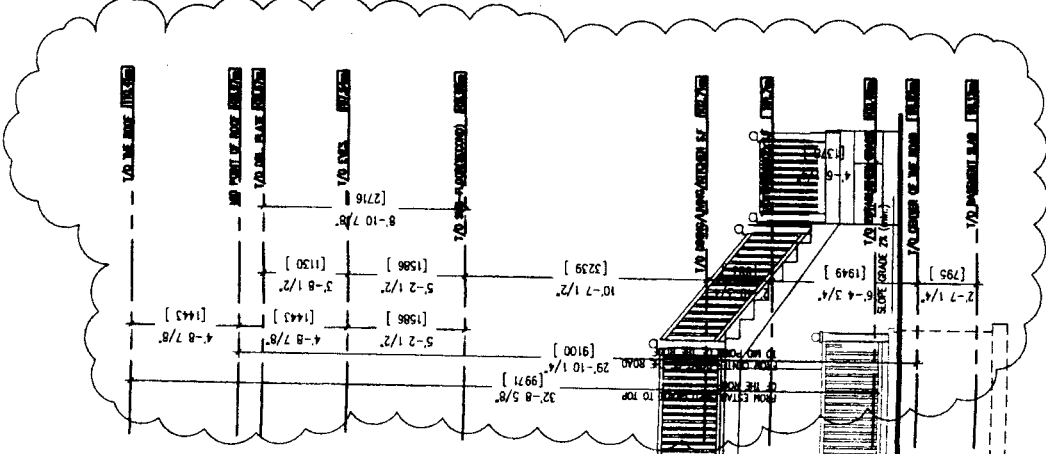
WEST
ELEVATION

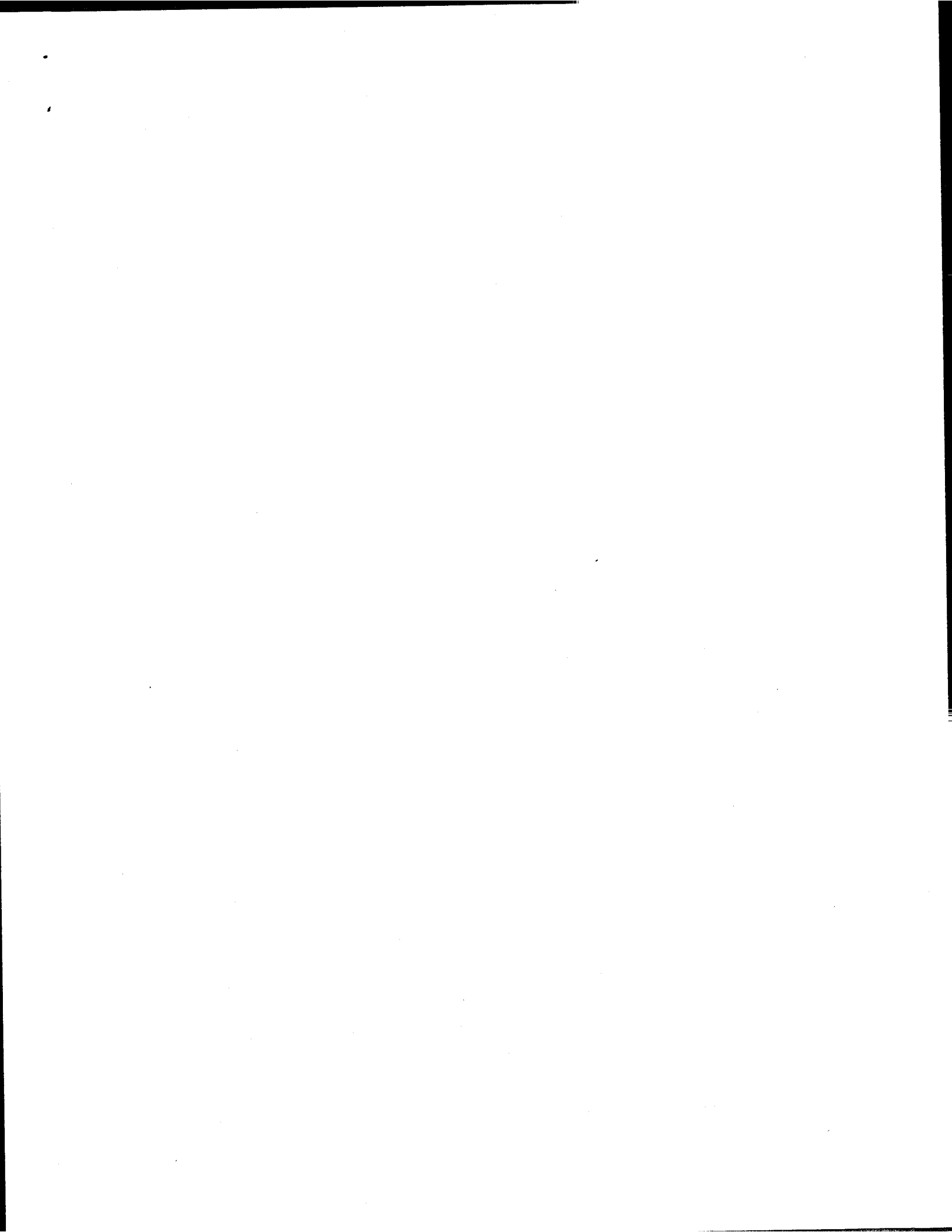
SCALE 1:100



HOUSE B
PART 3&4

2 WEST ELEVATION
A08 SCALE 1/4" = 1'-0"





Mailed on/before: Monday, April 27, 2015

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, May 7, 2015 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0273/15NY	Zoning	R4/RD(f15.0; a550)(ZR)
Owner(s):	ZHUQI ZHANG XHUQI ZHANG	Ward:	Willowdale (23)
Agent:	MEHDI HOSSEINI		
Property Address:	370 WILLOWDALE AVE	Community:	North York
Legal Description:	PLAN 2633 LOT 59 PT LOT 58		

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished. Previous Committee of Adjustment files include applications B062/14NY, B063/14NY, A859/14NY, A860/14NY, and A861/14NY. The lands were approved on condition for a consent to sever to create three building lots fronting Norton Avenue on January 22, 2015. The requested minor variances to construct the proposed dwellings were refused.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
- Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
- Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30% of the lot area: 123.23m².
The proposed lot coverage is 33.4% of the lot area: 137.37m².
- Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.21m.

The proposed front yard setback is 7.0m.

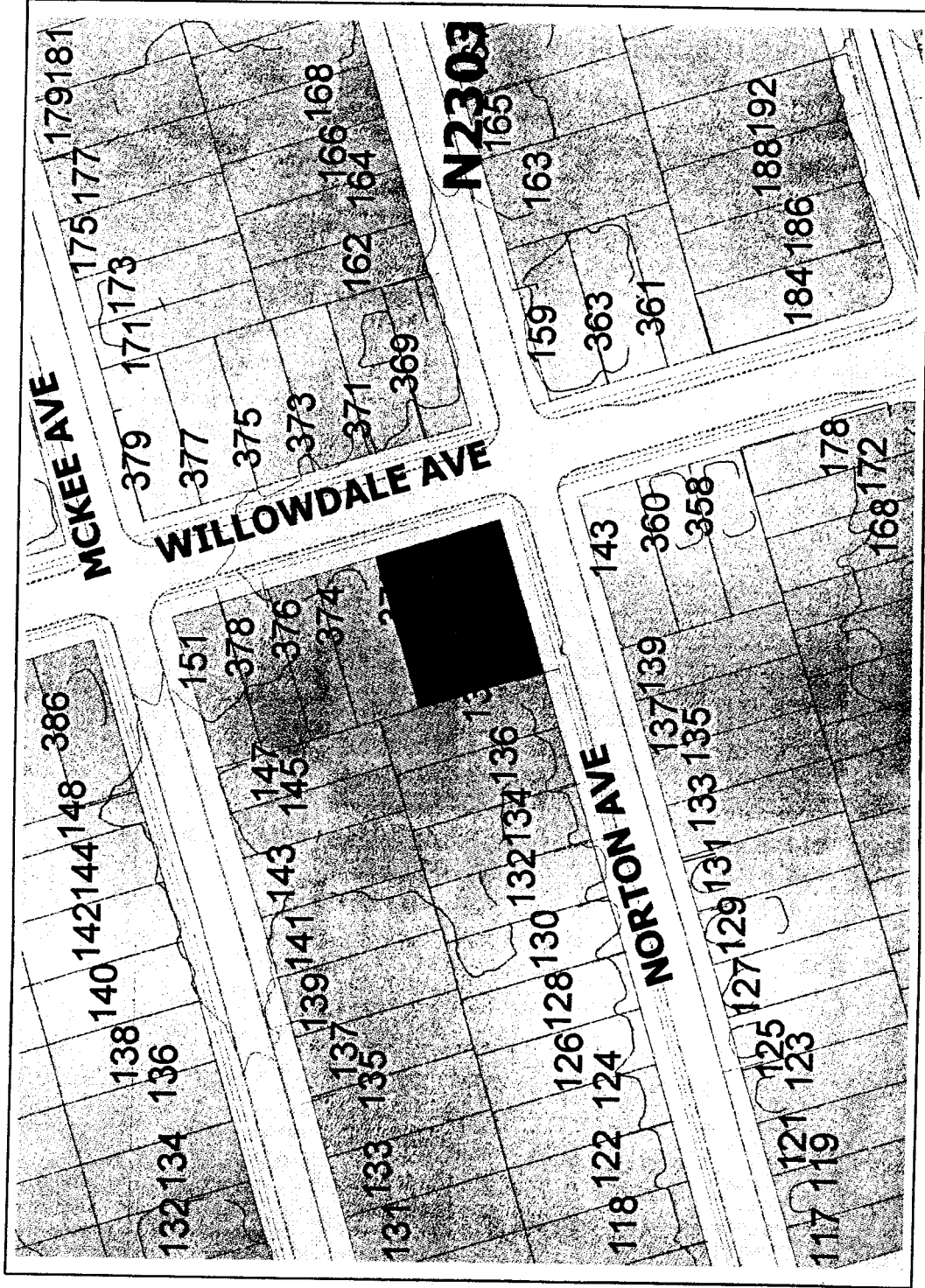
5. **Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed west side yard setback is 1.22m.
6. **Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed east side yard setback is 1.22m.
7. **Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of east side exterior main wall is 8.19m and the proposed height of west side exterior main wall is 8.55m.
8. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required west side yard setback is 1.58m.
The proposed west side yard setback is 1.22m.
9. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required east side yard setback is 1.58m.
The proposed east side yard setback is 1.22m.
10. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m.
The proposed lot frontage is 12.88m.
11. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m²
The proposed lot area is 410.76m².
12. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 33.1% of the lot area.
13. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.
14. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.05m.
15. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.78m.

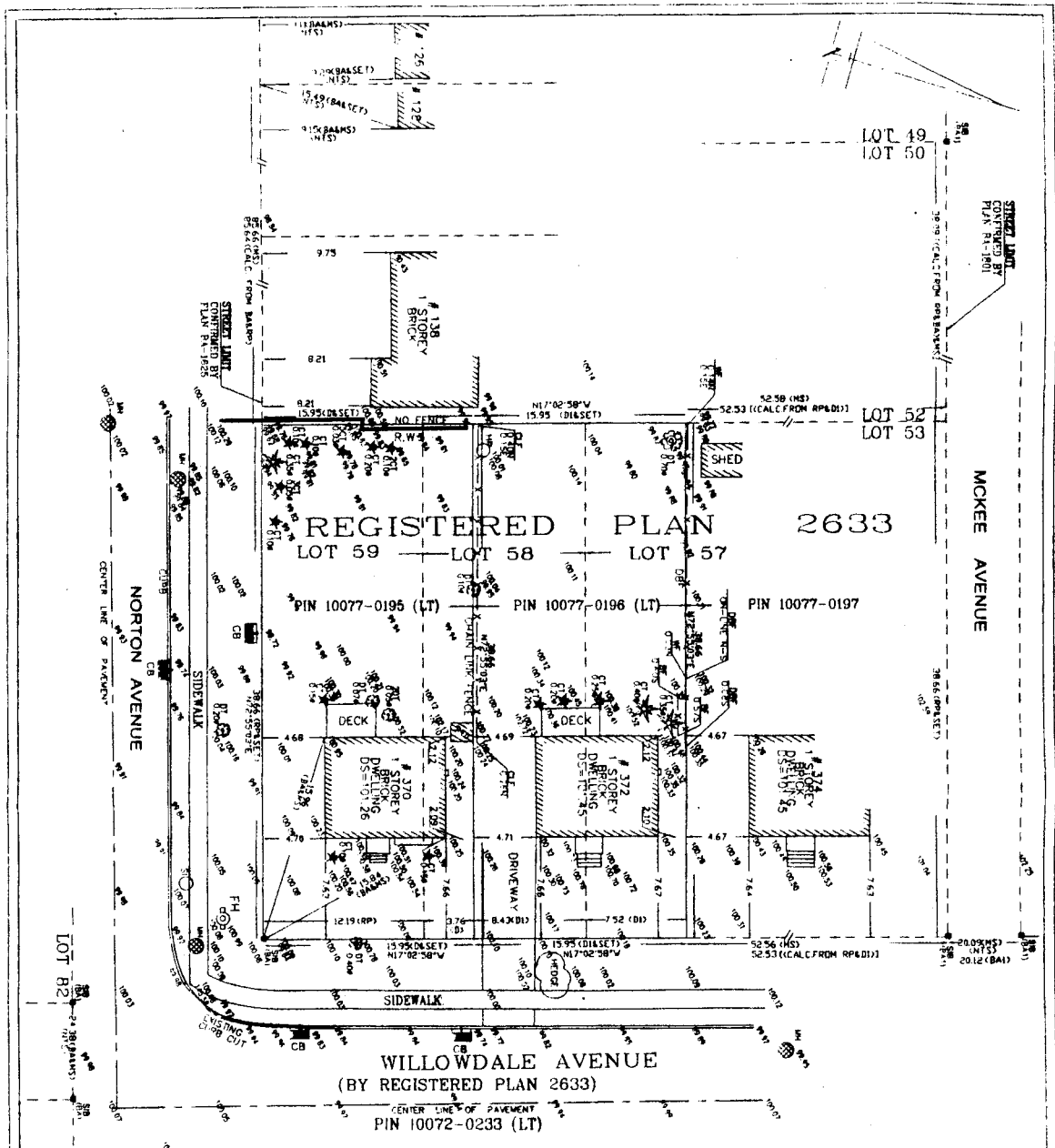
:sl



370 (372) Willowdale Ave.

A0273/15NY





STREET LIMIT CONTAINED BY PLAN R1-1901

MOKEE AVENUE

REGISTERED PLAN 2633

LOT 59 LOT 58 LOT 57

PIN 10077-0195 (LT) PIN 10077-0196 (LT) PIN 10077-0197

NORTON AVENUE

WILLOWDALE AVENUE
(BY REGISTERED PLAN 2633)

PIN 10072-0233 (LT)

SURVEYOR'S REAL PROPERTY REPORT OF
PART 1:
PLAN OF LOTS 59, 58 & PART OF LOT 57
REGISTERED PLAN 2633
CITY OF TORONTO
 (FORMERLY THE CITY OF NORTH YORK)

SCALE = 1" = 300'
 METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

© COPYRIGHT 2014
 THE REPRODUCTION AND ADAPTATION OR USE OF THIS REPORT IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR PURPOSE IS STRICTLY PROHIBITED.

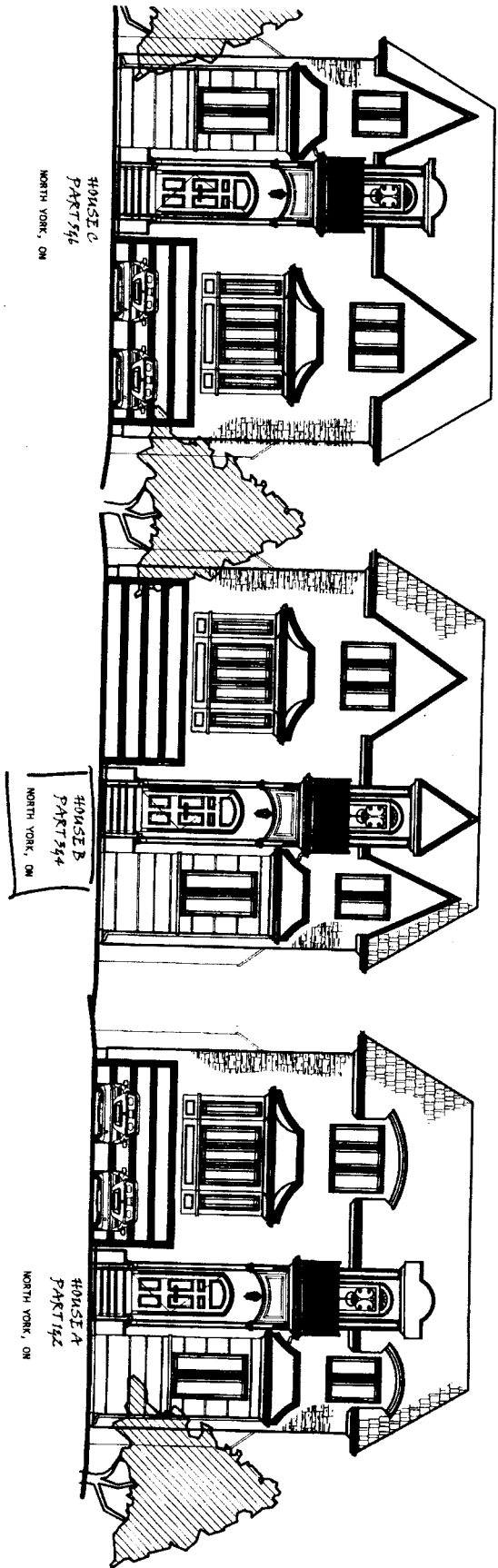
PART 2:
 REPORT
 THIS REPORT WAS PREPARED FOR MITSCHKE AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.
 BOUNDARIES
 LOTS 59, 58 & PART OF LOT 57, REGISTERED PLAN 2633
 TITLE SEARCH INDICATES
 NO EXISTENCE OF RIGHT OR WAS REGISTERED ON TITLE
 ZONING
 NO CONFLICT WITH RESPECT TO MUNICIPAL ZONING BY LAW HAS BEEN MADE FOR THE SUBJECT PROPERTY (TEMPERANCE)
 ENCROACHMENTS
 PLEASE NOTE THE POSITION OF THE FENCES IN RELATION TO THE SOUTHERLY, & NORTHERLY BOUNDARIES; THEY ARE LOCATED OVER THE SUBJECT BOUNDARIES TO THE EXTENT SHOWN ON THE PLAN
 GEODETIC
 ELEVATIONS SHOWN HEREON ARE LOCAL

LEGEND:

■	EXISTING SURVEY MONUMENT FOUND	RI	RECORDING INSTRUMENT
□	STANDARD MONUMENT SET	CB	CADASTRAL BOUNDARY
○	IRON BAR WITH SPINDLE	DI	DIAPHRAGM WALL
△	WOODEN POST	DR	DRIVEWAY
▽	WOODEN POST WITH SPINDLE	DS	DRIVEWAY SIDEWALK
◇	CHAIN LINK FENCE	DT	DECK
◇	REGISTERED PLAN 2633	CT	COURTYARD
◇	REGISTERED PLAN 2633	CS	CONCRETE SIDEWALK
◇	REGISTERED PLAN 2633	DS	DRIVEWAY SIDEWALK
◇	REGISTERED PLAN 2633	DS	DRIVEWAY SIDEWALK

SURVEYOR'S CERTIFICATE
 I, THE SURVEYOR, CERTIFY THAT THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 23rd DAY OF JULY, 2014.
 DATE: AUGUST 19, 2014

MITSCHE & AZIZ INC.
 ONSHORE LAND SURVEYING



MCKEE AVE

NORTON AVE

PARKVIEW AVE

WILLOWDALE AVE



KEY PLANN TS

HOSSEINI HOMES CORPORATION

WE RESPECT NEW IDEAS.



P.O. BOX 69587-5845 YONGE STREET, TORONTO, ON, M2M 4K3

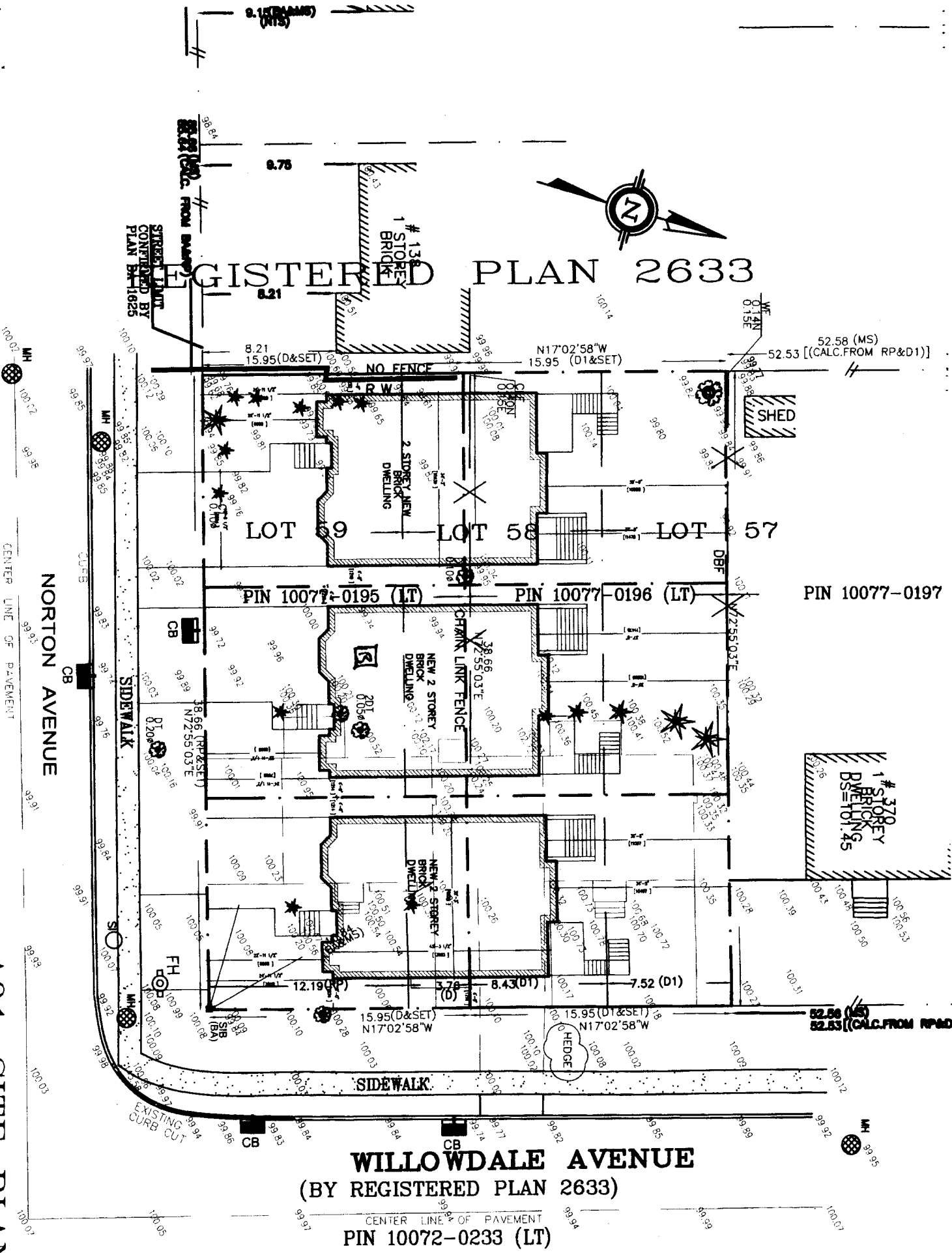
TELL: (416) 720-6673 FAX: (416) 792-0272

WWW.HOSSEINIHOME.CO.COM

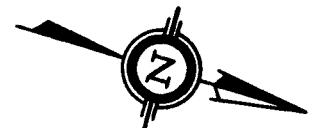
A00

SCALE: 1:300

A01-SITE PLAN



REGISTERED PLAN 2633



WILLOWDALE AVENUE
 (BY REGISTERED PLAN 2633)

CENTER LINE OF PAVEMENT
 PIN 10072-0233 (LT)

PIN 10077-0197

PIN 10077-0195 (LT)

PIN 10077-0196 (LT)

370
 1 STOREY
 BRICK
 DWELLING
 45

138
 1 STOREY
 BRICK
 DWELLING

2 STOREY
 NEW
 BRICK
 DWELLING

NEW 2 STOREY
 BRICK
 DWELLING

NEW 2 STOREY
 BRICK
 DWELLING

SHED

STREET PLANT
 CONFIRMED BY
 PLAN BR 1825

NORTON AVENUE

SIDEWALK

EXISTING CURB CUT

CENTER LINE OF PAVEMENT

9.15 (D&SET)
 (NTS)

8.75

8.21

15.95 (D&SET)

N17°02'58"W
 15.95 (D1&SET)

ME
 0.1 SE

52.58 (MS)
 52.53 ((CALC. FROM RP&D1))

NO FENCE

CHAIN LINK FENCE

HEDGE

52.56 (MS)
 52.53 ((CALC. FROM RP&D1))

15.95 (D1&SET)
 N17°02'58"W

5.78 (D)

8.43 (D1)

7.52 (D1)

38.66 (TP&SET)
 N72°55'03"E

38.66
 N72°55'03"E

17.55 (D1)
 0.37 E

MH
 100.02

MH
 100.72

MH
 99.98

MH
 99.85

MH
 99.82

MH
 99.79

MH
 99.76

MH
 99.73

MH
 99.70

MH
 99.67

MH
 99.64

MH
 99.61

MH
 99.58

MH
 99.55

MH
 99.52

MH
 99.49

MH
 99.46

MH
 99.43

MH
 99.40

MH
 99.37

MH
 99.34

MH
 99.31

MH
 99.28

MH
 99.25

MH
 99.22

MH
 99.19

MH
 99.16

MH
 99.13

MH
 99.10

MH
 99.07

MH
 99.04

MH
 99.01

MH
 98.98

MH
 98.95

MH
 98.92

MH
 98.89

MH
 98.86

MH
 98.83

MH
 98.80

MH
 98.77

MH
 98.74

MH
 98.71

MH
 98.68

MH
 98.65

MH
 98.62

MH
 98.59

MH
 98.56

MH
 98.53

MH
 98.50

MH
 98.47

MH
 98.44

MH
 98.41

MH
 98.38

MH
 98.35

MH
 98.32

MH
 98.29

MH
 98.26

MH
 98.23

MH
 98.20

MH
 98.17

MH
 98.14

MH
 98.11

MH
 98.08

MH
 98.05

MH
 98.02

MH
 97.99

MH
 97.96

MH
 97.93

MH
 97.90

MH
 97.87

MH
 97.84

MH
 97.81

MH
 97.78

MH
 97.75

MH
 97.72

MH
 97.69

MH
 97.66

MH
 97.63

MH
 97.60

MH
 97.57

MH
 97.54

MH
 97.51

MH
 97.48

MH
 97.45

MH
 97.42

MH
 97.39

MH
 97.36

MH
 97.33

MH
 97.30

MH
 97.27

MH
 97.24

MH
 97.21

MH
 97.18

MH
 97.15

MH
 97.12

MH
 97.09

MH
 97.06

MH
 97.03

MH
 97.00

MH
 96.97

MH
 96.94

MH
 96.91

MH
 96.88

MH
 96.85

MH
 96.82

MH
 96.79

MH
 96.76

MH
 96.73

MH
 96.70

MH
 96.67

MH
 96.64

MH
 96.61

MH
 96.58

MH
 96.55

MH
 96.52

MH
 96.49

MH
 96.46

MH
 96.43

MH
 96.40

MH
 96.37

MH
 96.34

MH
 96.31

MH
 96.28

MH
 96.25

MH
 96.22

MH
 96.19

MH
 96.16

MH
 96.13

MH
 96.10

MH
 96.07

MH
 96.04

MH
 96.01

MH
 95.98

MH
 95.95

MH
 95.92

MH
 95.89

MH
 95.86

MH
 95.83

MH
 95.80

MH
 95.77

MH
 95.74

MH
 95.71

MH
 95.68

MH
 95.65

MH
 95.62

MH
 95.59

MH
 95.56

MH
 95.53

MH
 95.50

MH
 95.47

MH
 95.44

MH
 95.41

MH
 95.38

MH
 95.35

MH
 95.32

MH
 95.29

MH
 95.26

MH
 95.23

MH
 95.20

MH
 95.17

MH
 95.14

MH
 95.11

MH
 95.08

MH
 95.05

MH
 95.02

MH
 94.99

MH
 94.96

MH
 94.93

MH
 94.90

MH
 94.87

MH
 94.84

MH
 94.81

MH
 94.78

MH
 94.75

MH
 94.72

MH
 94.69

MH
 94.66

MH
 94.63

MH
 94.60

MH
 94.57

MH
 94.54

MH
 94.51

MH
 94.48

MH
 94.45

MH
 94.42

MH
 94.39

MH
 94.36

MH
 94.33

MH
 94.30

MH
 94.27

MH
 94.24

MH
 94.21

MH
 94.18

MH
 94.15

MH
 94.12

MH
 94.09

MH
 94.06

MH
 94.03

MH
 94.00

MH
 93.97

MH
 93.94

MH
 93.91

MH
 93.88

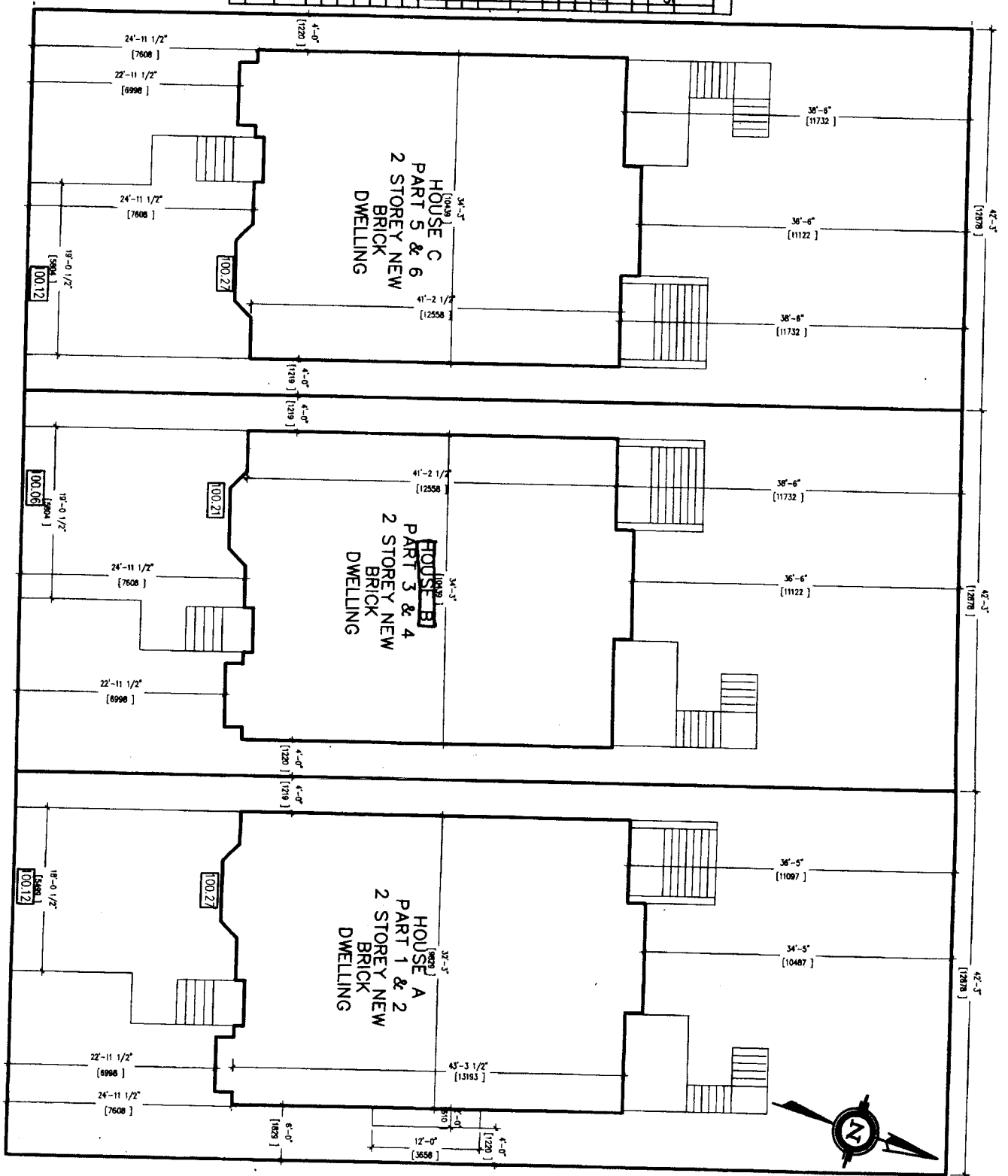
MH
 93.85

MH
 93.82

MH
 93.79

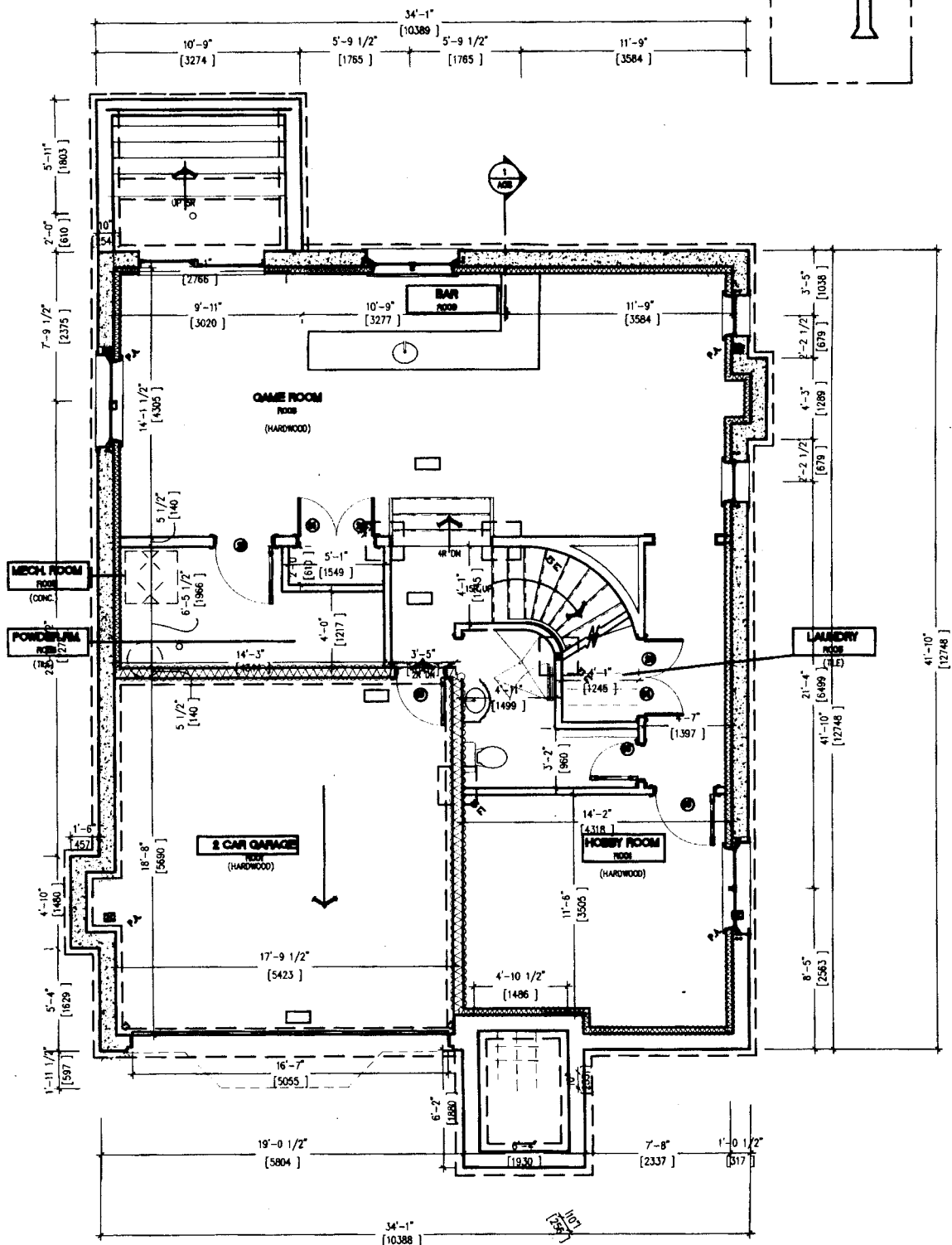
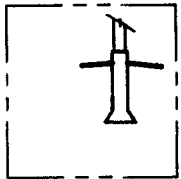
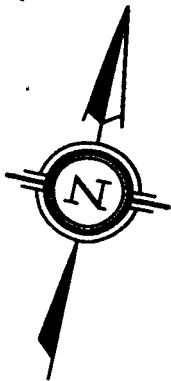
Proposed New House GFA Calculation		
Lot Area	4421.460	410.767075
G.F.A	1414.800	131.439
First Floor	1414.800	131.439
Second Floor	1414.800	131.439
Total GFA	2829.600	262.878
Basement	1070	99.406
Lot Coverage(30%)		
Allowable Lot Coverage	1326.438000	123.230123
Proposed Lot Covered	1414.800	131.439
Lot Covered %	31.995	
Front Yard Landscaping		
Calculation	1045.500	97.130
Front Yard Area	475.200	44.148
Driveway Area	572.750000	48.565
(50% of total area)	570.300	52.985
Landscape proposed		
(Front Yard-Driveway)	427.725	39.737
Soft Landscaping Req. (75% of Landscape)		
Soft Landscape Proposed	508	47.288

THIS TABLE IS SIMILAR FOR ALL THREE HOUSES



SCALE: 1:200

A01-A-SITE PLAN

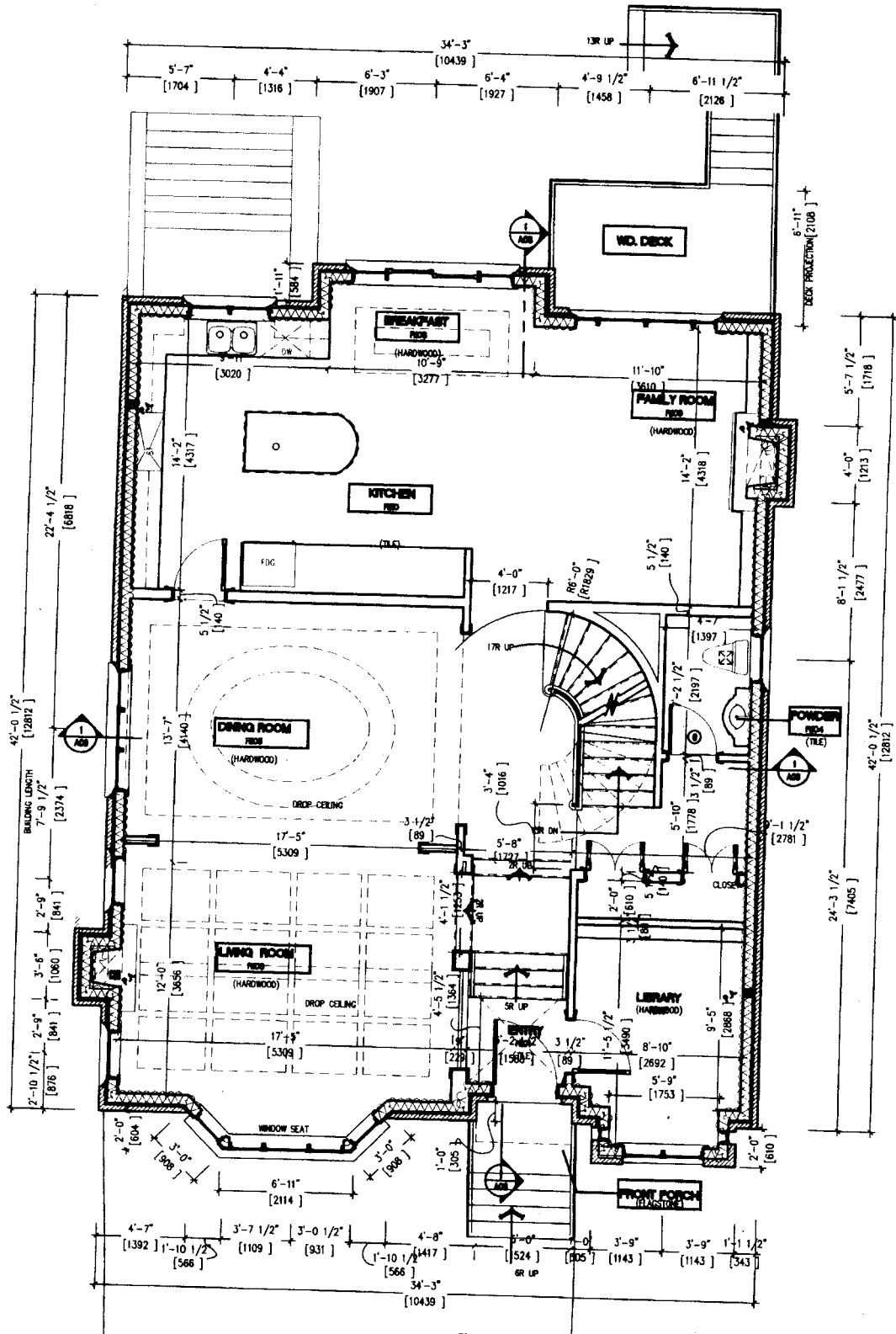
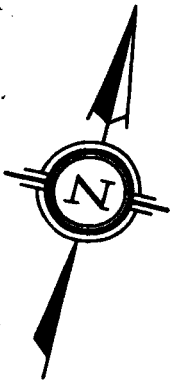


1 BASEMENT PLAN
A02 SCALE: 1/4" = 1'-0"

HOUSE B
PART 3 & 4

SCALE 1:100

A02 BASMENT FLOOR PLAN

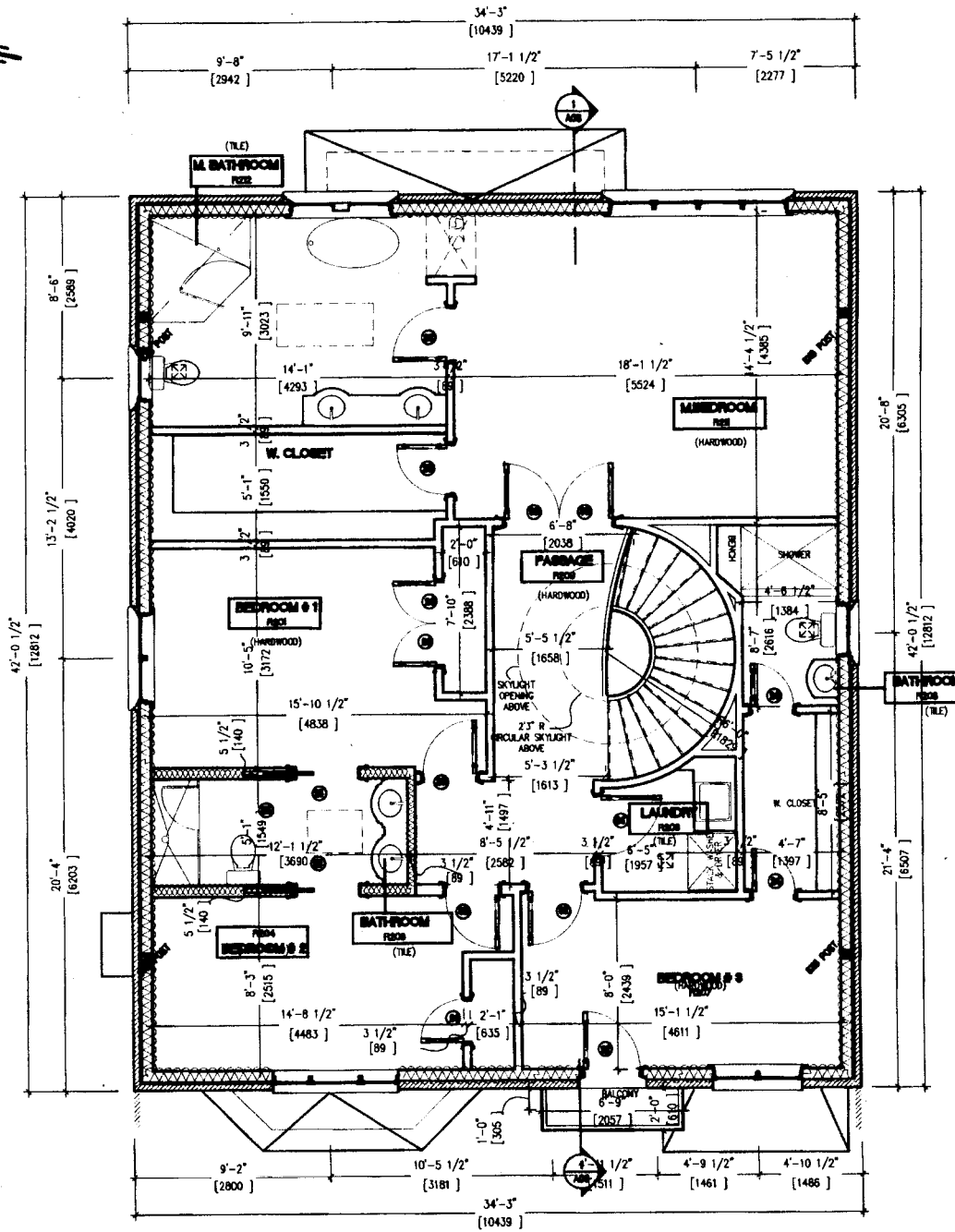
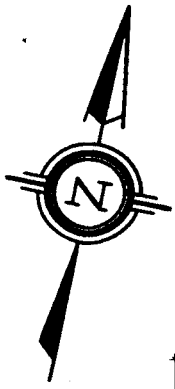


HOUSE B
PART 3 & 4

1 FIRST FLOOR PLAN
A03
SCALE: 1/4" = 1'-0"

SCALE 1:100

A03-FIRST FLOOR PLAN

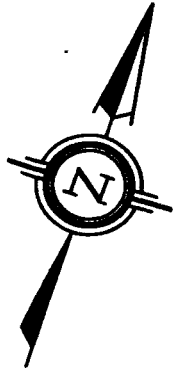


1 SECOND FLOOR PLAN
A04 SCALE: 1/4" = 1'-0"

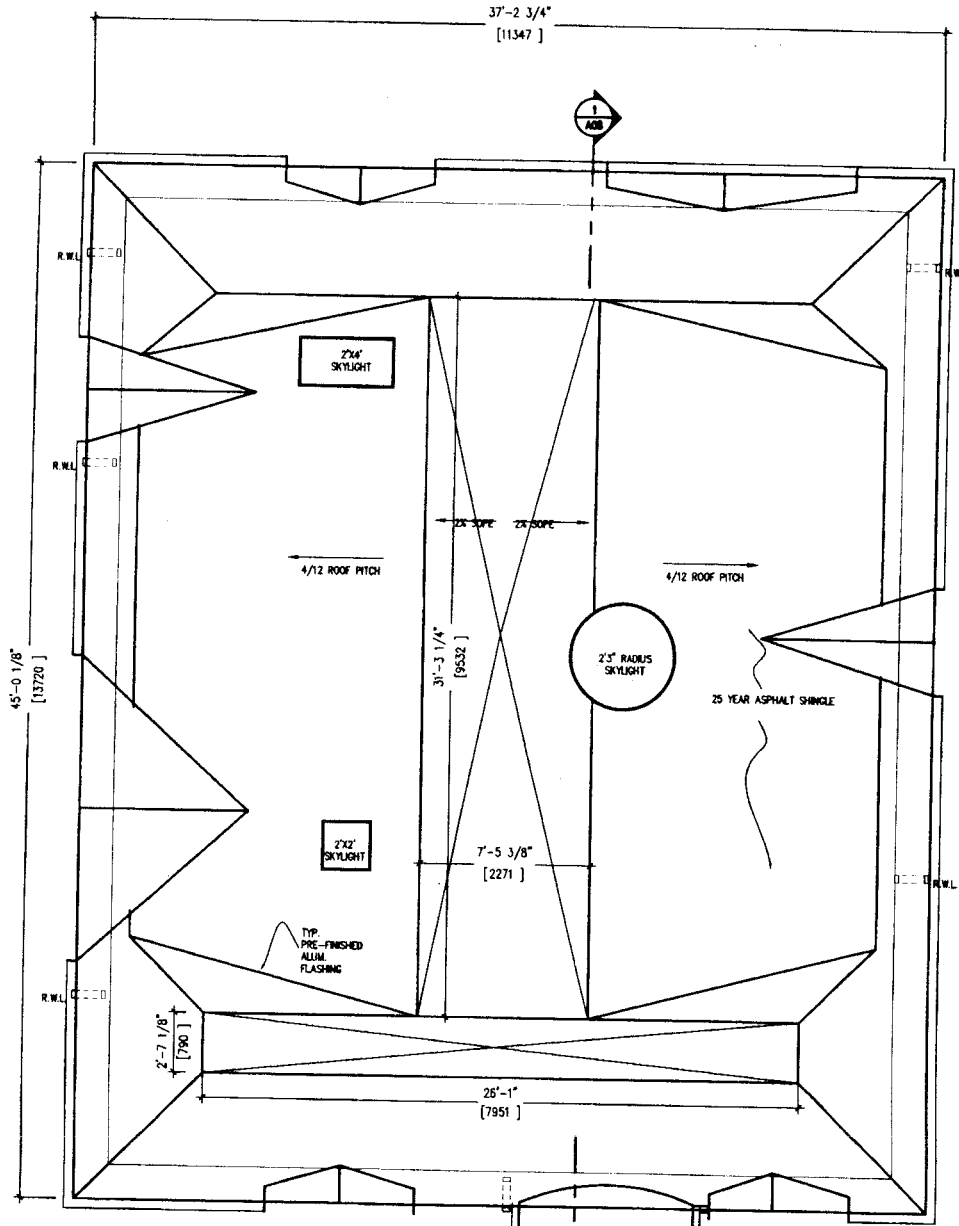
HOUSE B
PART 3 & 4

SCALE 1:100

A04 SECOND FLOOR PLAN



FLAT ROOF CALCULATION:	
TOTAL ROOF AREA	1727.6 SQF
FLAT ROOF AREA	424.26 SQF
ALLOWABLE FLAT ROOF(OLD BY LAW)	25% OF TOTAL ROOF AREA
FLAT ROOF%	= 24.5%

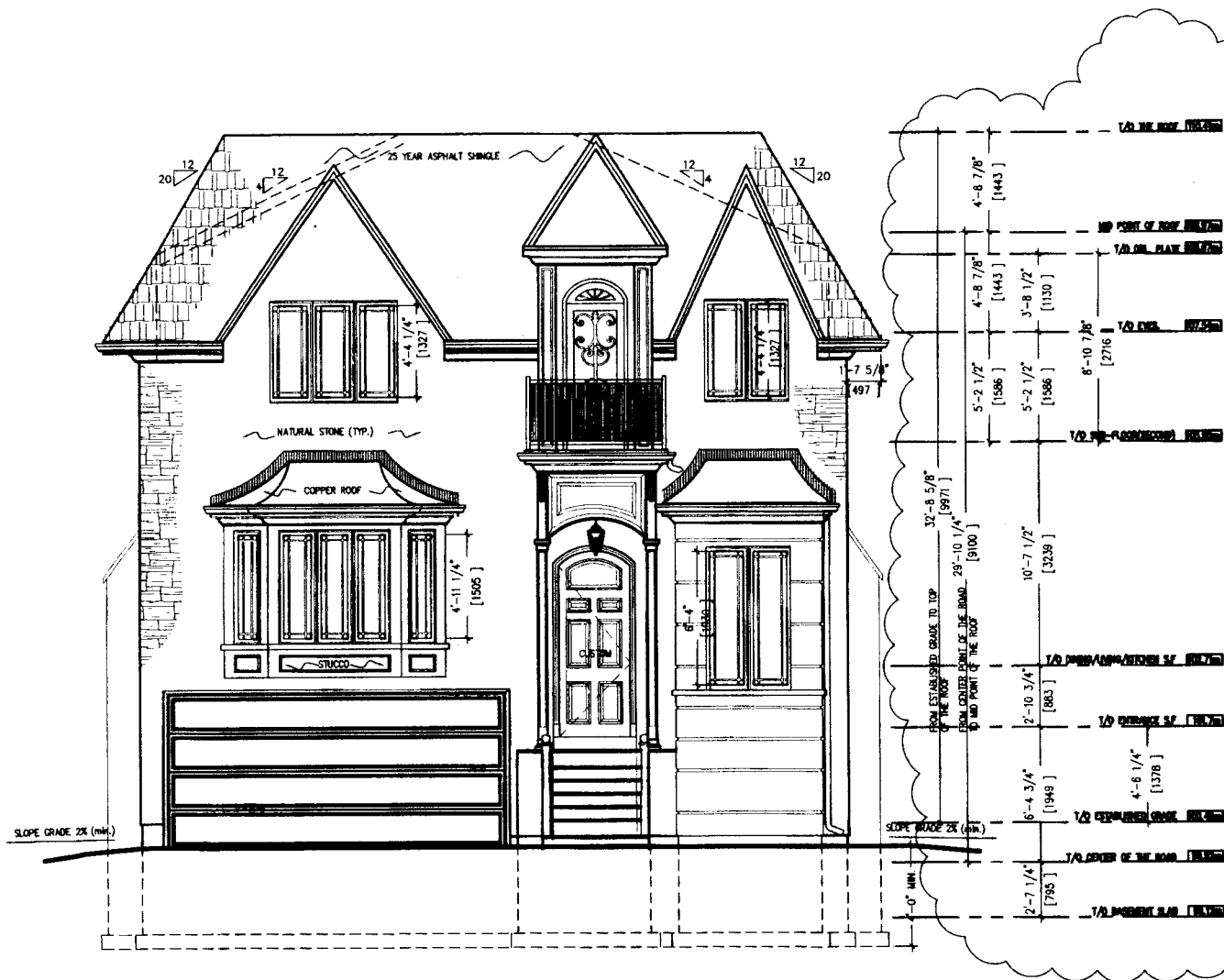


1 ROOF PLAN
A05 SCALE: 1/4" = 1'-0"

HOUSE B
PART 3 & 4

SCALE 1:100

A05 ROOF PLAN



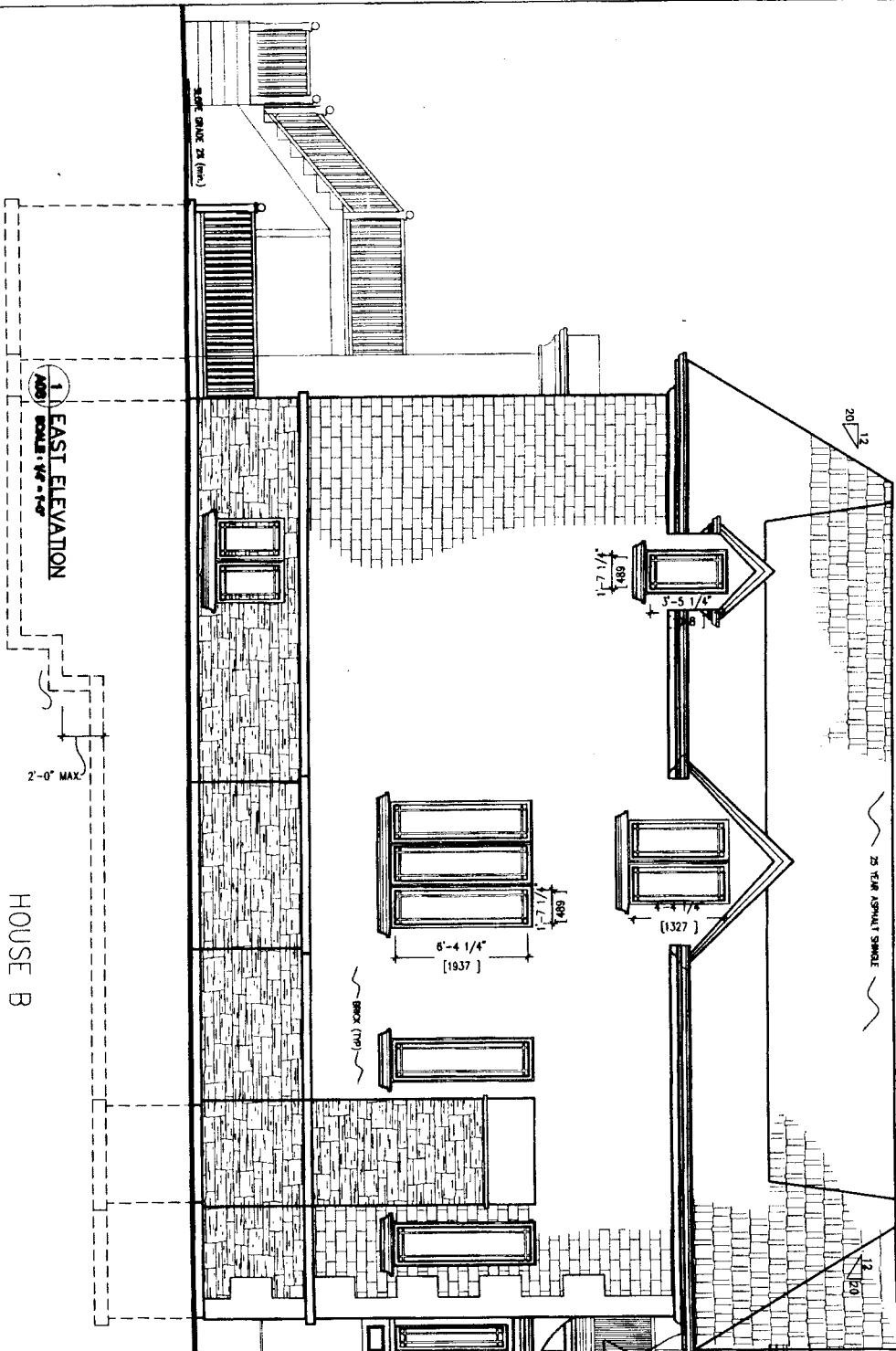
HOUSE B
PART 3&4

1 SOUTH ELEVATION
A06 SCALE: 1/4" = 1'-0"

SCALE 1:100

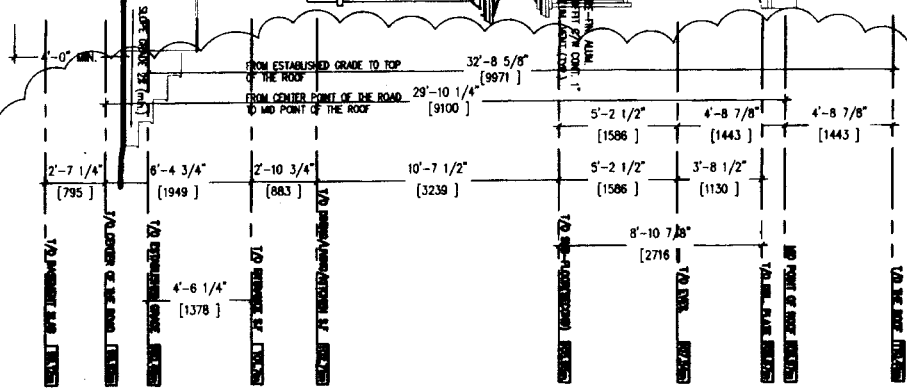
A06 FRONT ELEVATION

HOUSE B
PART 3&4



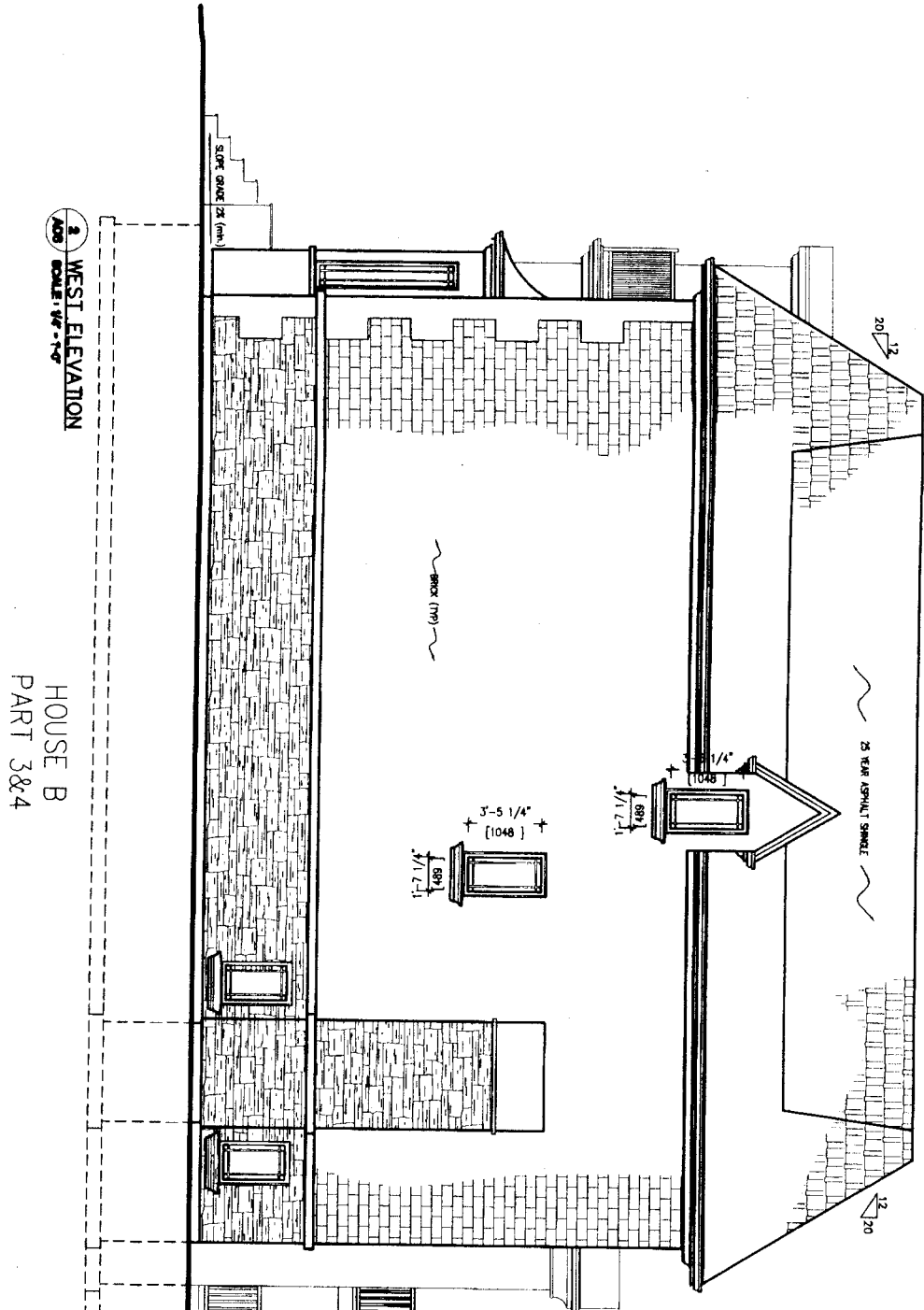
1 EAST ELEVATION
A08 SCALE: 1/4" = 1'-0"

2'-0" MAX.



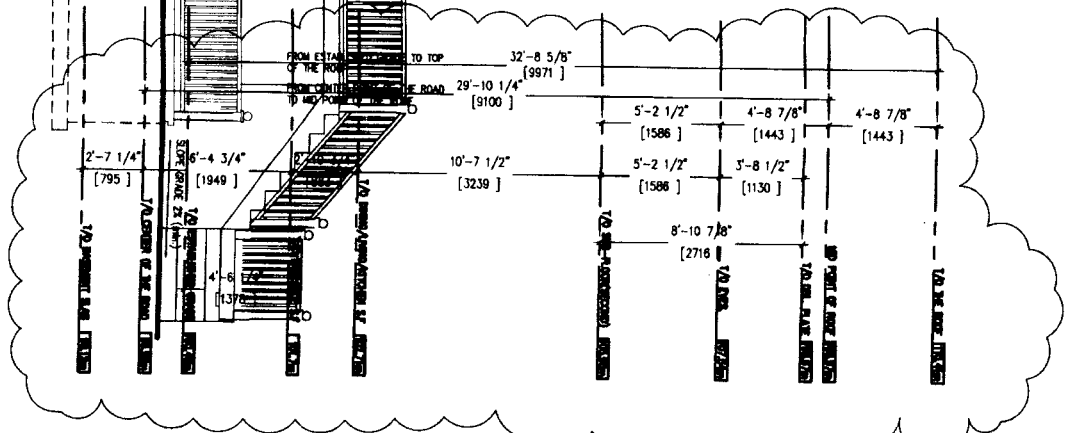
SCALE 1:100

A08 EAST ELEVATION



WEST ELEVATION
SCALE: 1/4" = 1'-0"

HOUSE B
PART 3&4



SCALE 1:100

A08 EAST ELEVATION

Thursday, January 22, 2015

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B062/14NY	Zoning	R4/RD(f15.0;a550)(ZR)
Owner(s):	ZHUQI ZHANG XHUQI ZHANG	Ward:	Willowdale (23)
Agent:	MEHDI HOSSEINI		
Property Address:	370 WILLOWDALE AVE	Community:	North York
Legal Description:	PLAN 2633 LOT 59 PT LOT 58		

Notice was given and the application considered on Thursday, January 22, 2015, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into three parts for the purpose of lot additions. Related Committee of Adjustment files include B063/14NY/14NY, A859/14NY, A860/14NY, A861/14NY.

Conveyed - Part 1**Address to be assigned**

The frontage is 15.95m and the lot area is 205.436m². Part 1 will be added to Part 2 severed from B063/14NY to create a new building lot fronting Norton Ave. (House A) with a frontage of 12.88m and a lot area of 410.76m². The property will be redeveloped as the site of a new two-storey dwelling requiring variances to the Zoning By-law, as outlined in Application A859/14NY.

Conveyed - Part 3**Address to be assigned**

The frontage is 15.95m and the lot area is 205.595m². Part 3 will be added to Part 4 severed from B063/14NY to create a new building lot fronting Norton Ave. (House B) with a frontage of 12.88m and a lot area of 410.76m². The property will be redeveloped as the site of a new two-storey dwelling requiring variances to the Zoning By-law, as outlined in Application A860/14NY.

Conveyed - Parts 5**Address to be assigned**

The frontage is 15.95m and the lot area is 205.595m². Part 5 will be added to Part 6 severed from B063/14NY to create a new building lot fronting Norton Ave. (House C) with a frontage of 12.88m and a lot area of 410.76m². The property will be redeveloped as the site of a new two-storey dwelling requiring variances to the Zoning By-law, as outlined in Application A861/14NY.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**The Consent Application is Approved on Condition**

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of the this Decision:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division.
2. A draft Certificate of Official, as prescribed in O.Reg. 197/96 as Form 2 or 4, in a form satisfactory to the Deputy Secretary-Treasurer, that includes a completed and registerable description of the land that is the subject of the consent, shall be submitted to the Deputy Secretary-Treasurer within one year of the date of the giving of notice of this decision.
3. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with City Surveyor, Survey & Mapping, Engineering Services.
4. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Engineering Services.
5. **Three copies of the registered reference plan of survey** satisfying the requirements of the City Surveyor, shall be filed with the Committee of Adjustment.
6. The associated minor variance decisions, A859/14NY, A860/14NY & A861/14NY be declared Final and Binding.
7. City of Toronto Municipal Code Chapter 813, Article II, City-owned trees
www.toronto.ca/trees/city_trees.htm
8. City of Toronto Municipal Code Chapter 813, Article III, Privately-owned trees
www.toronto.ca/trees/private_trees.htm
9. Where no street tree exists, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting the site to the satisfaction of the General Manager of Parks, Forestry and Recreation.
10. The applicant to satisfy the requirements of the Engineering and Construction Services Division;
 - a) The owner shall deposit prior to the stamping of the deeds for severance, a certified cheque with the Technical Services as security for the estimated cost of construction and a certified cheque for the 5% engineering review fee of the following works;
 - i) Construction of a new 250mm diameter sanitary sewer, approximately 50 metres in length, with a new maintenance hole at the upstream end with the sewer flowing east and connecting into the existing sanitary maintenance hole located in the intersection of Willowdale Avenue and Norton Avenue. Servicing of the three proposed houses with sanitary and domestic water connections. Disconnection of existing water and sanitary connections of the two houses located at 370 and 372 Willowdale Avenue. Restoration of all damaged surfaces. The cost of the above construction is estimated to be \$190,000;
 - ii) \$10,735.00 representing the 5% Engineering review fee of the above construction works.

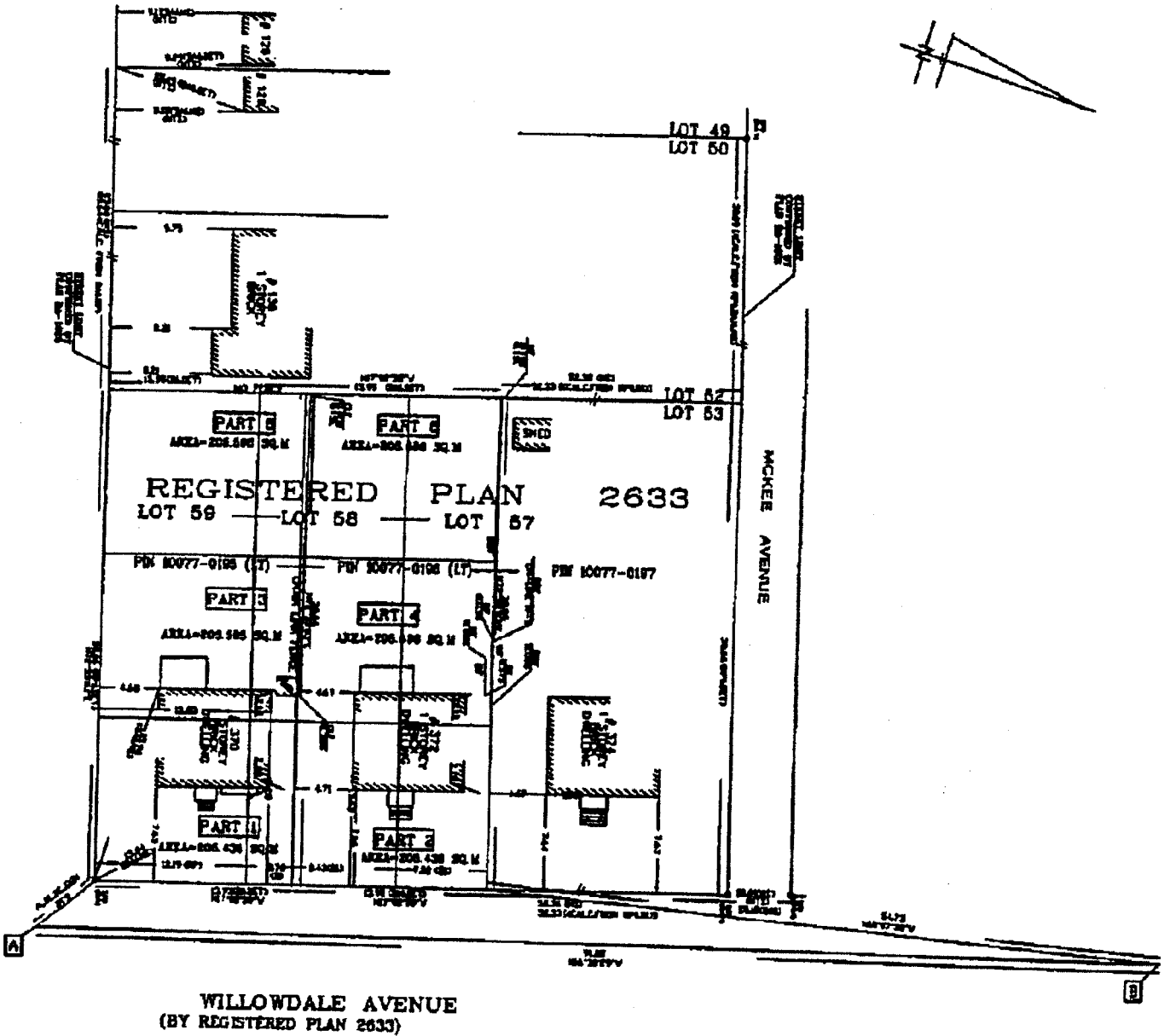
iii) The owner sign and adhere to the appropriate "Municipal Agreement" document;

b) The owner shall convey to the City, at nominal cost, such lands to be free and clear of all encumbrances, save and except for utility poles and subject to a right-of-way for access purposes in favour of the Grantor until such times as said lands have been laid out and dedicated for public highway purposes:

i) 5.00m corner rounding at the northwest corner of Willowdale Avenue and Norton Avenue. Deeds for these lands, in a satisfactory form, shall be deposited with the City Solicitor and registered by the City prior to the stamping of the deeds for severance. A draft Reference Plan of Survey shall be submitted to the Executive Director of Engineering and Construction Services for review and approval, prior to depositing in the Land Registry Office, in metric units and integrated with the Ontario Co-ordinate System, showing as separate PARTS thereof the lands to be conveyed to the City and the remainder of the site including any appurtenant rights-of-way;

ii) The owner shall pay all costs for registration and preparation of reference plan(s).

11. Subsection 50(3) or (5) or subsection of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction shall apply.
12. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96.



RECEIVED

NOV 05 2014

PE

Toronto Building
North York District

PLAN OF SURVEY OF
LOTS 59, 58 & PART OF LOT 57
REGISTERED PLAN 2633
CITY OF TORONTO
(FORMERLY THE CITY OF NORTH YORK)

DATE OF SURVEY: 2014		DATE OF PLAN: 2014	
DRAWN BY: [Name]		CHECKED BY: [Name]	
SCALE: 1:250		MATERIALS: [List]	
METHOD: [Description]		DATE OF PLAN: 2014	

SCHEDULE

NO.	DESCRIPTION	DATE
1
2
3
4
5
6
7
8
9
10

SCALE = 1 : 250
MATERIALS: [List]

REMARKS: [Text]

GENERAL NOTE: [Text]

DISTANCE NOTE: [Text]

USDS:

[List of symbols and their meanings]

OWNER'S CERTIFICATE:

[Text of owner's certificate]

MITSCHE & AZIZ INC.

DATE: 2014	SCALE: 1:250
DRAWN BY: [Name]	CHECKED BY: [Name]
DATE OF SURVEY: 2014	DATE OF PLAN: 2014

Thursday, January 22, 2015

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B063/14NY	Zoning:	R4/RD(f15.0;a550)(ZR)
Owner(s):	XIUHUA GUO	Ward:	Willowdale (23)
Agent:	MEHDI HOSSEINI		
Property Address:	372 WILLOWDALE AVE	Community:	
Legal Description:	PLAN 2633 S PT LOT 57		

Notice was given and the application considered on Thursday, January 22, 2015, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into three parts for the purpose of lot additions. Related Committee of Adjustment files include B062/14NY/14NY, A859/14NY, A860/14NY, A861/14NY.

Conveyed - Part 2**Address to be assigned**

The frontage is 15.95m and the lot area is 205.436m². Part 2 will be added to Part 1 (severed from B062/14NY, 370 Willowdale Ave.) to create a new building lot fronting Norton Ave. (House A) with a frontage of 12.88m and a lot area of 410.76m². The property will be redeveloped as the site of a new two-storey dwelling requiring variances to the Zoning By-law, as outlined in Application A859/14NY.

Conveyed - Part 4**Address to be assigned**

The frontage is 15.95m and the lot area is 205.595m². Part 4 will be added to Part 3 (severed from B062/14NY, 370 Willowdale Ave.) to create a new building lot fronting Norton Ave. (House B) with a frontage of 12.88m and a lot area of 410.76m². The property will be redeveloped as the site of a new two-storey dwelling requiring variances to the Zoning By-law, as outlined in Application A860/14NY.

Conveyed - Part 6**Address to be assigned**

The frontage is 15.95m and the lot area is 205.595m². Part 6 will be added to Part 5 (severed from B062/14NY, 370 Willowdale Ave.) to create a new building lot fronting Norton Ave. (House C) with a frontage of 12.88m and a lot area of 410.76m². The property will be redeveloped as the site of a new two-storey dwelling requiring variances to the Zoning By-law, as outlined in Application A861/14NY.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**The Consent Application is Approved on Condition**

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division.
2. A draft Certificate of Official, as prescribed in O.Reg. 197/96 as Form 2 or 4, in a form satisfactory to the Deputy Secretary-Treasurer, that includes a completed and registerable description of the land that is the subject of the consent, shall be submitted to the Deputy Secretary-Treasurer within one year of the date of the giving of notice of this decision.
3. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with City Surveyor, Survey & Mapping, Engineering Services.
4. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Engineering Services.
5. **Three copies of the registered reference plan of survey** satisfying the requirements of the City Surveyor, shall be filed with the Committee of Adjustment.
6. The associated minor variance decisions, A859/14NY, A860/14NY & A861/14NY be declared Final and Binding.
7. City of Toronto Municipal Code Chapter 813, Article II, City-owned trees
www.toronto.ca/trees/city_trees.htm
8. City of Toronto Municipal Code Chapter 813, Article III, Privately-owned trees
www.toronto.ca/trees/private_trees.htm
9. Where no street tree exists, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting the site to the satisfaction of the General Manager of Parks, Forestry and Recreation.
10. The applicant to satisfy the requirements of the Engineering and Construction Services Division;
 - a) The owner shall deposit prior to the stamping of the deeds for severance, a certified cheque with the Technical Services as security for the estimated cost of construction and a certified cheque for the 5% engineering review fee of the following works;
 - i) Construction of a new 250mm diameter sanitary sewer, approximately 50 metres in length, with a new maintenance hole at the upstream end with the sewer flowing east and connecting into the existing sanitary maintenance hole located in the intersection of Willowdale Avenue and Norton Avenue. Servicing of the three proposed houses with sanitary and domestic water connections. Disconnection of existing water and sanitary connections of the two houses located at 370 and 372 Willowdale Avenue. Restoration of all damaged surfaces. The cost of the above construction is estimated to be \$190,000;
 - ii) \$10,735.00 representing the 5% Engineering review fee of the above construction works.
 - iii) The owner sign and adhere to the appropriate "Municipal Agreement" document;

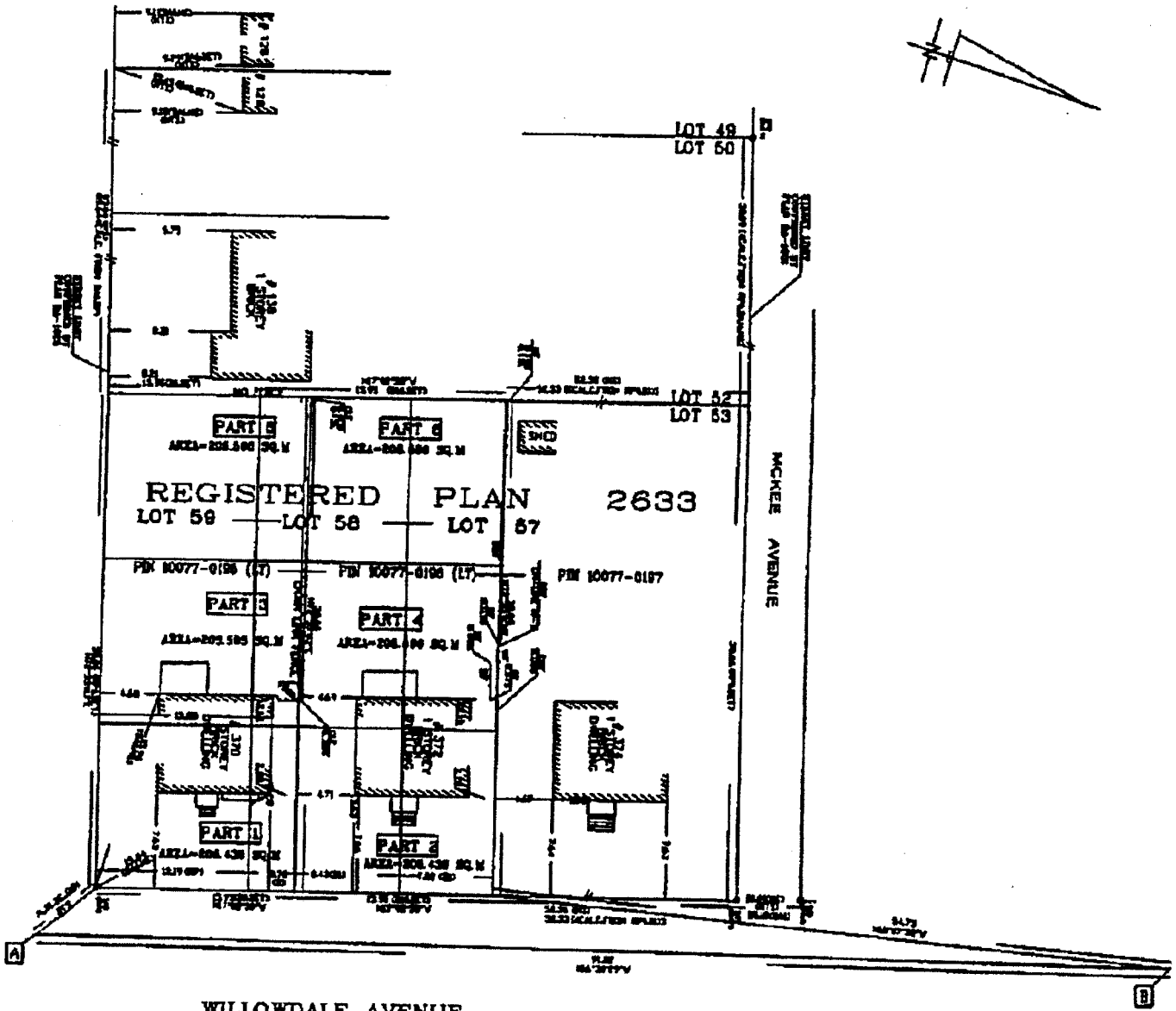
b) The owner shall convey to the City, at nominal cost, such lands to be free and clear of all encumbrances, save and except for utility poles and subject to a right-of-way for access purposes in favour of the Grantor until such times as said lands have been laid out and dedicated for public highway purposes:

i) 5.00m corner rounding at the northwest corner of Willowdale Avenue and Norton Avenue. Deeds for these lands, in a satisfactory form, shall be deposited with the City Solicitor and registered by the City prior to the stamping of the deeds for severance. A draft Reference Plan of Survey shall be submitted to the Executive Director of Engineering and Construction Services for review and approval, prior to depositing in the Land Registry Office, in metric units and integrated with the Ontario Co-ordinate System, showing as separate PARTS thereof the lands to be conveyed to the City and the remainder of the site including any appurtenant rights-of-way;

ii) The owner shall pay all costs for registration and preparation of reference plan(s).

11. Subsection 50(3) or (5) or subsection of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction shall apply.

12. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96.



REGISTERED PLAN 2633

LOT 59 LOT 58 LOT 67

PIN 10077-0186 (LT) PIN 10077-0188 (LT) PIN 10077-0187

PIN 10072-0233 (LT)

WILLOWDALE AVENUE
(BY REGISTERED PLAN 2633)

PIN 10072-0233 (LT)

RECEIVED

NOV 05 2014

PE

Toronto Building
North York District

PLAN OF SURVEY OF
LOTS 59, 58 & PART OF LOT 5
REGISTERED PLAN 2633
CITY OF TORONTO
(FORMERLY THE CITY OF NORTH YORK)

SCHEDULE

NO.	DESCRIPTION	AREA (SQ. M.)	REMARKS
1	LOT 59	2,811.15	
2	LOT 58	2,811.15	
3	PART OF LOT 5	2,811.15	
4	STORY OFFICE	2,811.15	
5	STORY OFFICE	2,811.15	
6	STORY OFFICE	2,811.15	
7	STORY OFFICE	2,811.15	
8	STORY OFFICE	2,811.15	
9	STORY OFFICE	2,811.15	
10	STORY OFFICE	2,811.15	

SCALE - 1 : 250
MITSCHKE & AZIZ INC. O.L.S.

REMARKS NOTE: THIS PLAN IS A REVISION OF THE PLAN OF SURVEY OF LOTS 59, 58 & PART OF LOT 5 REGISTERED PLAN 2633 CITY OF TORONTO (FORMERLY THE CITY OF NORTH YORK) DATED 1988.

NO.	DESCRIPTION	AREA (SQ. M.)	REMARKS
1	LOT 59	2,811.15	
2	LOT 58	2,811.15	
3	PART OF LOT 5	2,811.15	
4	STORY OFFICE	2,811.15	
5	STORY OFFICE	2,811.15	
6	STORY OFFICE	2,811.15	
7	STORY OFFICE	2,811.15	
8	STORY OFFICE	2,811.15	
9	STORY OFFICE	2,811.15	
10	STORY OFFICE	2,811.15	

DISTANCE NOTE: ALL DISTANCES ARE IN METERS AND DECIMALS THEREOF. DISTANCES ARE TO BE MEASURED ALONG THE CENTERLINE OF THE ROAD OR ALONG THE CENTERLINE OF THE LOT OR ALONG THE CENTERLINE OF THE STRIP OF LAND.

GENERAL NOTE

1. THIS PLAN IS A REVISION OF THE PLAN OF SURVEY OF LOTS 59, 58 & PART OF LOT 5 REGISTERED PLAN 2633 CITY OF TORONTO (FORMERLY THE CITY OF NORTH YORK) DATED 1988.

MITSCHKE & AZIZ INC.

1800 SHEPPARD AVENUE EAST, SUITE 100, SCARBOROUGH, ONTARIO M1S 1T5
TEL: (416) 291-7700 FAX: (416) 291-7701
WWW.MITSCHKEANDAZIZ.COM

Thursday, January 22, 2015

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A859/14NY	Zoning	R4/RD(f15.0;a550)(ZR)
Owner(s):	XIUHUA GUO XHUQI ZHANG	Ward:	Willowdale (23)
Agent:	MEHDI HOSSEINI		
Property Address:	370 WILLOWDALE AVE (PARTS 1 & 2)	Community:	North York
Legal Description:	PLAN 2633 LOT 59 PT LOT 58		

Notice was given and a Public Hearing was held on Thursday, January 22, 2015, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished. Committee of Adjustment files B062/14NY, B063/14NY/14NY, A859/14NY, A860/14NY, A861/14NY will be considered jointly

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.80.40(3), Zoning By-law No. 569-2013**
(B) Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the front street.
- Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
- Chapter 10.20.30.20(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
- Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.21m.
The proposed front yard setback is 7.0m.

6. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed West side yard setback is 1.22m.
7. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed East side yard setback is 1.22m to the front porch portion of the dwelling only.
8. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of East side exterior main wall is 8.48m.
9. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of West side exterior main wall is 8.1m.
10. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m .
The proposed lot frontage is 12.88m.
11. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 410.76m².
12. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required West side yard setback is 1.58m.
The proposed West side yard setback is 1.22m.
13. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required East side yard setback is 3.0m.
The proposed East side yard setback is 1.22m to the front porch portion of the dwelling only and 1.8m for remainder of house.
14. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
15. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.
16. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.
17. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.82m.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. **Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
3. **Chapter 10.20.30.20(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
10. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m.
The proposed lot frontage is 12.88m.
11. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 410.76m².
15. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

1. **Chapter 10.5.80.40(3), Zoning By-law No. 569-2013**
(B) Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the front street.
4. **Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
5. **Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.21m.
The proposed front yard setback is 7.0m.
6. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569- 2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed West side yard setback is 1.22m.

7. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed East side yard setback is 1.22m to the front porch portion of the dwelling only.
8. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of East side exterior main wall is 8.48m.
9. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of West side exterior main wall is 8.1m.
13. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required East side yard setback is 3.0m.
The proposed East side yard setback is 1.22m to the front porch portion of the dwelling only and 1.8m for remainder of house.
14. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
12. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required West side yard setback is 1.58m.
The proposed West side yard setback is 1.22m.
16. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.
17. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.82m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

- 1) City of Toronto Municipal Code Chapter 813, Article II, City-owned trees
www.toronto.ca/trees/city_trees.htm
- 2) City of Toronto Municipal Code Chapter 813, Article III, Privately-owned trees
www.toronto.ca/trees/private_trees.htm
- 3) Where no street tree exists, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting the site to the satisfaction of the General Manager of Parks, Forestry and Recreation.

Thursday, January 22, 2015

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A860/14NY	Zoning	R4/RD(f15.0;a550)(ZR)
Owner(s):	XIUHUA GUO XHUQI ZHANG	Ward:	Willowdale (23)
Agent:	MEHDI HOSSEINI		
Property Address:	370 WILLOWDALE AVE (PARTS 3 & 4)	Community:	North York
Legal Description:	PLAN 2633 LOT 59 PT LOT 58		

Notice was given and a Public Hearing was held on Thursday, January 22, 2015, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished. Committee of Adjustment files B062/14NY, B063/14NY/14NY, A859/14NY, A860/14NY, A861/14NY will be considered jointly.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
- Chapter 10.20.30.20(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
- Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.21m.
The proposed front yard setback is 7.0m.
- Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed West side yard setback is 1.22m.

6. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed East side yard setback is 1.22m
7. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of East side exterior main wall is 8.19m.
8. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of West side exterior main wall is 8.55m.
9. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required West side yard setback is 1.58m.
The proposed West side yard setback is 1.22m.
10. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required East side yard setback is 1.58m.
The proposed East side yard setback is 1.22m.
11. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m.
The proposed lot frontage is 12.88m.
12. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 410.76m².
13. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
14. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.
15. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.05m.
16. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.78m.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
2. **Chapter 10.20.30.20(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
11. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m .
The proposed lot frontage is 12.88m.
12. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 410.76m².
14. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

3. **Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
4. **Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.21m.
The proposed front yard setback is 7.0m.
5. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed West side yard setback is 1.22m.
6. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed East side yard setback is 1.22m

7. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of East side exterior main wall is 8.19m.
8. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of West side exterior main wall is 8.55m.
9. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required West side yard setback is 1.58m.
The proposed West side yard setback is 1.22m.
10. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required East side yard setback is 1.58m.
The proposed East side yard setback is 1.22m.
13. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
15. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.05m.
16. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.78m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

- 1) City of Toronto Municipal Code Chapter 813, Article II, City-owned trees
www.toronto.ca/trees/city_trees.htm
- 2) City of Toronto Municipal Code Chapter 813, Article III, Privately-owned trees
www.toronto.ca/trees/private_trees.htm
- 3) Where no street tree exists, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting the site to the satisfaction of the General Manager of Parks, Forestry and Recreation.

Thursday, January 22, 2015

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A861/14NY	Zoning	R4/RD(f15.0;a550)(ZR)
Owner(s):	ZHUQI ZHANG XIUHUA GUO	Ward:	Willowdale (23)
Agent:	MEHDI HOSSEINI		
Property Address:	370 WILLOWDALE AVE (PARTS 5 & 6)	Community:	North York
Legal Description:	PLAN 2633 LOT 59 PT LOT 58		

Notice was given and a Public Hearing was held on Thursday, January 22, 2015, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished. Committee of Adjustment files B062/14NY, B063/14NY/14NY, A859/14NY, A860/14NY, A861/14NY will be considered jointly.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
- Chapter 10.20.30.20(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
- Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.21m.
The proposed front yard setback is 7.0m.
- Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed West side yard setback is 1.22m.

6. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed East side yard setback is 1.22m
7. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of West side exterior main wall is 8.27m.
8. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of East side exterior main wall is 8.27m.
9. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m .
The proposed lot frontage is 12.88m.
10. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 410.76m².
11. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required West side yard setback is 1.58m.
The proposed West side yard setback is 1.22m.
12. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required East side yard setback is 1.58m.
The proposed East side yard setback is 1.22m.
13. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
14. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.
15. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.09m.
16. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.82m.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
2. **Chapter 10.20.30.20(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
9. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m .
The proposed lot frontage is 12.88m.
10. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 410.76m².
14. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

3. **Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
4. **Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.21m.
The proposed front yard setback is 7.0m.
5. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed West side yard setback is 1.22m.
6. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed East side yard setback is 1.22m
7. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of West side exterior main wall is 8.27m.

8. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of East side exterior main wall is 8.27m.
11. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required West side yard setback is 1.58m.
The proposed West side yard setback is 1.22m.
12. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required East side yard setback is 1.58m.
The proposed East side yard setback is 1.22m.
13. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
15. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.09m.
16. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.82m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

- 1) City of Toronto Municipal Code Chapter 813, Article II, City-owned trees
www.toronto.ca/trees/city_trees.htm
- 2) City of Toronto Municipal Code Chapter 813, Article III, Privately-owned trees
www.toronto.ca/trees/private_trees.htm
- 3) Where no street tree exists, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting the site to the satisfaction of the General Manager of Parks, Forestry and Recreation.



STAFF REPORT
Committee of Adjustment
Application

Date:	April 28, 2015
To:	Chair and Committee Members of the Committee of Adjustment North York District
From:	Allen Appleby, Director, Community Planning, North York District
Wards:	Ward 23 (Willowdale)
Reference:	File No. A0274/15NY Address: 370 WILLOWDALE AVENUE Application to be heard: Thursday, May 7, 2015 at 9:30 a.m.

RECOMMENDATION

Should the Committee approve this application, Planning recommends that any approval be subject to the following condition:

1. The proposed dwelling be built in accordance with the east and west elevation drawings, date stamped received by the City of Toronto Planning Division, April 28, 2015.

APPLICATION

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished. Previous Committee of Adjustment files include applications B062/14NY, B063/14NY, A859/14NY, A860/14NY, and A861/14NY. The lands were approved on condition for a consent to sever to create three building lots fronting Norton Avenue on January 22, 2015. The requested minor variances to construct the proposed dwellings were refused.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
2. **Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
3. **Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30% of the lot area: 123.23m².
The proposed lot coverage is 33.4% of the lot area: 137.37m².
4. **Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.21m.
The proposed front yard setback is 7.0m.

5. **Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed west side yard setback is 1.22m.
6. **Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed east side yard setback is 1.22m.
7. **Chapter 10.20.40.10.(1), Zoning By-law No. 569-2013**
The permitted maximum height of a building or structure is 10.0m.
The proposed height of the building is 10.2m.
8. **Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the west side exterior main wall is 8.27m and the proposed height of the east side exterior main wall is 8.27m.
9. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m .
The proposed lot frontage is 12.88m.
10. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m²
The proposed lot area is 410.76m².
11. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required west side yard setback is 1.58m.
The proposed west side yard setback is 1.22m.
12. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required east side yard setback is 1.58m.
The proposed east side yard setback is 1.22m.
13. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 33.1% of the lot area.
14. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.
15. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.09m.
16. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.82m.

COMMENTS

The subject property is located east of Yonge Street and north of Sheppard Avenue East and is designated *Neighbourhoods* in the City of Toronto Official Plan. The Official Plan acknowledges that *Neighbourhoods*, while stable, will be subject to physical change in the form of enhancements, additions, and infill housing. The key policy of the Plan is to ensure that new development will respect and reinforce the existing physical character of the neighbourhood.

Section 4.1 of the Plan outlines the development policies for *Neighbourhoods*. Policy 4.1.5 states that development in established *Neighbourhoods* will respect and reinforce the existing physical character of the neighbourhood, including in particular:

- c) Heights, massing, scale and dwelling type of nearby residential properties.

The Plan affirms that no changes will be made through rezoning, minor variance, consent or other public action that are out of keeping with the physical character of the neighbourhood.

The applicant proposes to construct a new two-storey detached dwelling with an integral, at grade garage. Staff have reviewed the submitted plans and note that Variance No. 8 for a side exterior main wall height of 8.27 metres is attributed to gabled windows located on the east and west sides of the building. To ensure that the requested main wall height variance remains applicable only to the portion of wall containing the windows, Planning staff recommend that approval of this application be subject to the proposed dwelling being built in accordance with the east and west elevation drawings, date stamped received by the City of Toronto Planning Division, April 28, 2015.

Respectfully submitted,

CONTACT

Carla Tsang, Assistant Planner

Tel: 416-395-7137

Fax: 416-395-7155

E-mail: ctsang@toronto.ca

SIGNATURE



Allen Appleby

Director, Community Planning, North York District

A0274/15NY - 370 WILLOWDALE AVENUE

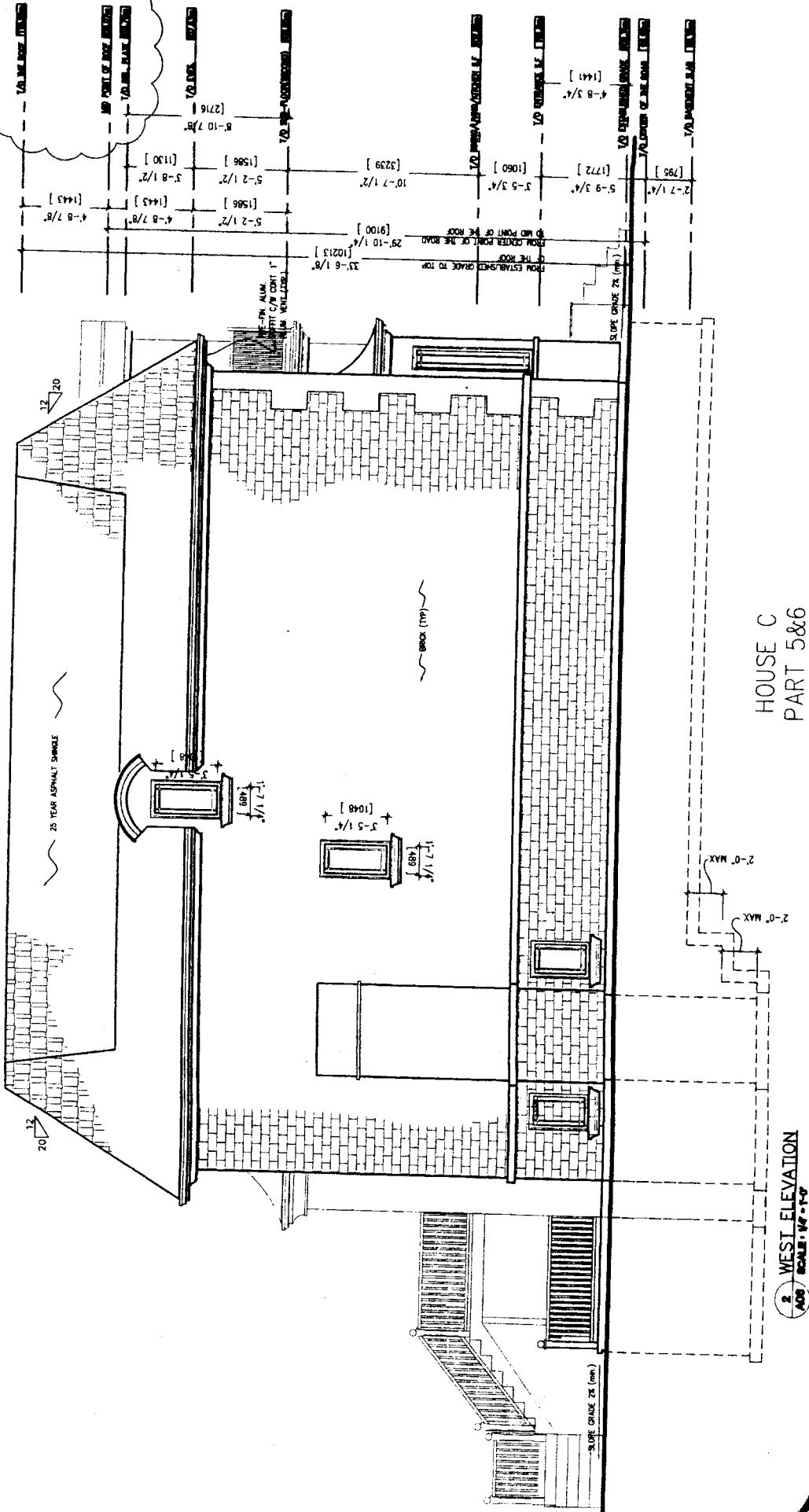
RECEIVED

APR 28 2015

CITY OF TORONTO PLANNING
CITY ENGINEER'S OFFICE

WEST ELEVATION

SCALE 1:100

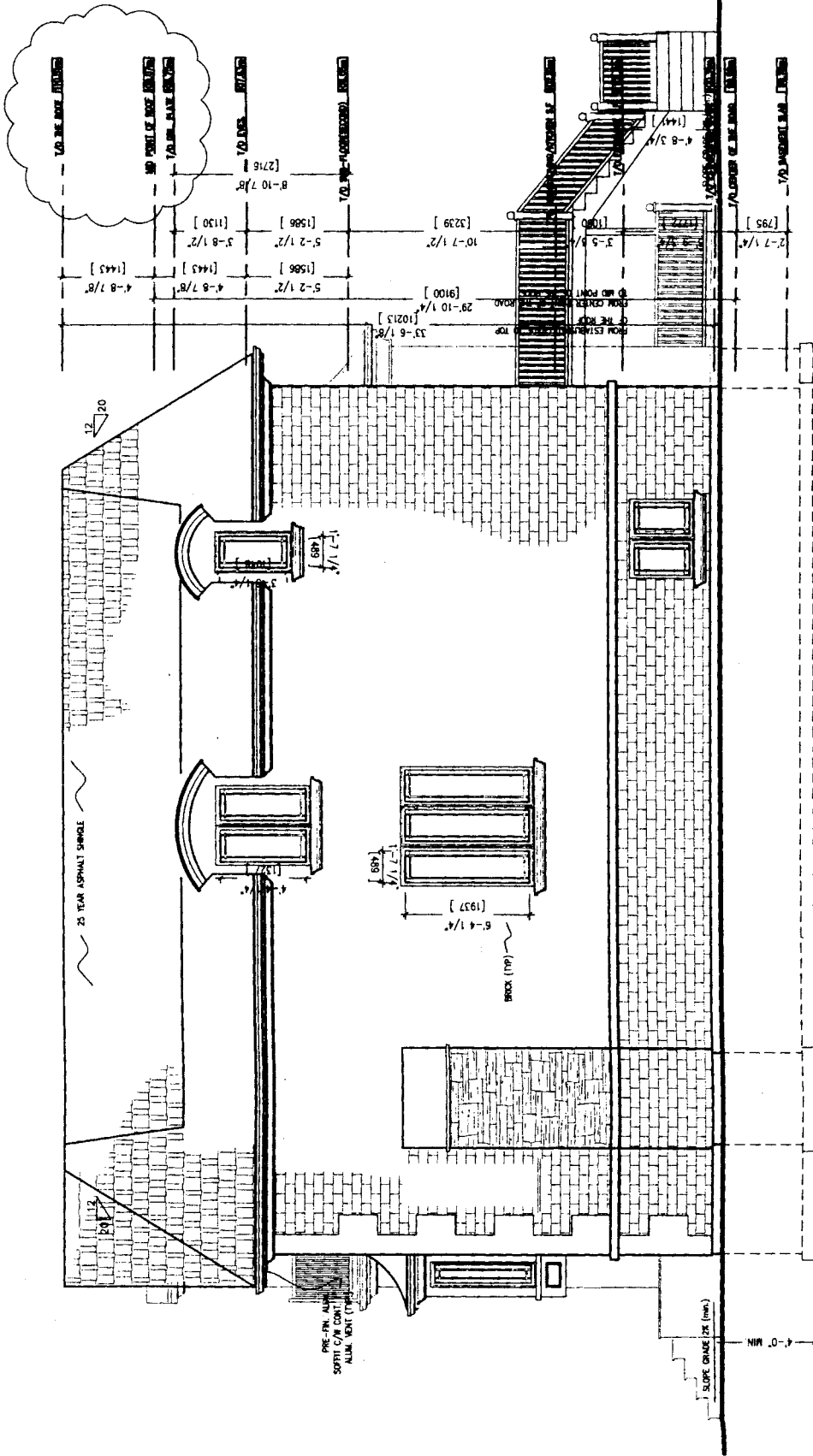


HOUSE C
PART 5&6

WEST ELEVATION
SCALE 1/4" = 1'-0"

A08 EAST ELEVATION

SCALE 1:100



RECEIVED

APR 28 2015

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

HOUSE C
PART 5&6

1 EAST ELEVATION
A08 SCALE 1/4" = 1'-0"

Mailed on/before: Monday, April 27, 2015

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, May 7, 2015 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0274/15NY	Zoning	R4/RD(f15.0; a550)(ZR)
Owner(s):	ZHUQI ZHANG XHUQI ZHANG	Ward:	Willowdale (23)
Agent:	MEHDI HOSSEINI		
Property Address:	370 WILLOWDALE AVE	Community:	North York
Legal Description:	PLAN 2633 LOT 59 PT LOT 58		

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished. Previous Committee of Adjustment files include applications B062/14NY, B063/14NY, A859/14NY, A860/14NY, and A861/14NY. The lands were approved on condition for a consent to sever to create three building lots fronting Norton Avenue on January 22, 2015. The requested minor variances to construct the proposed dwellings were refused.

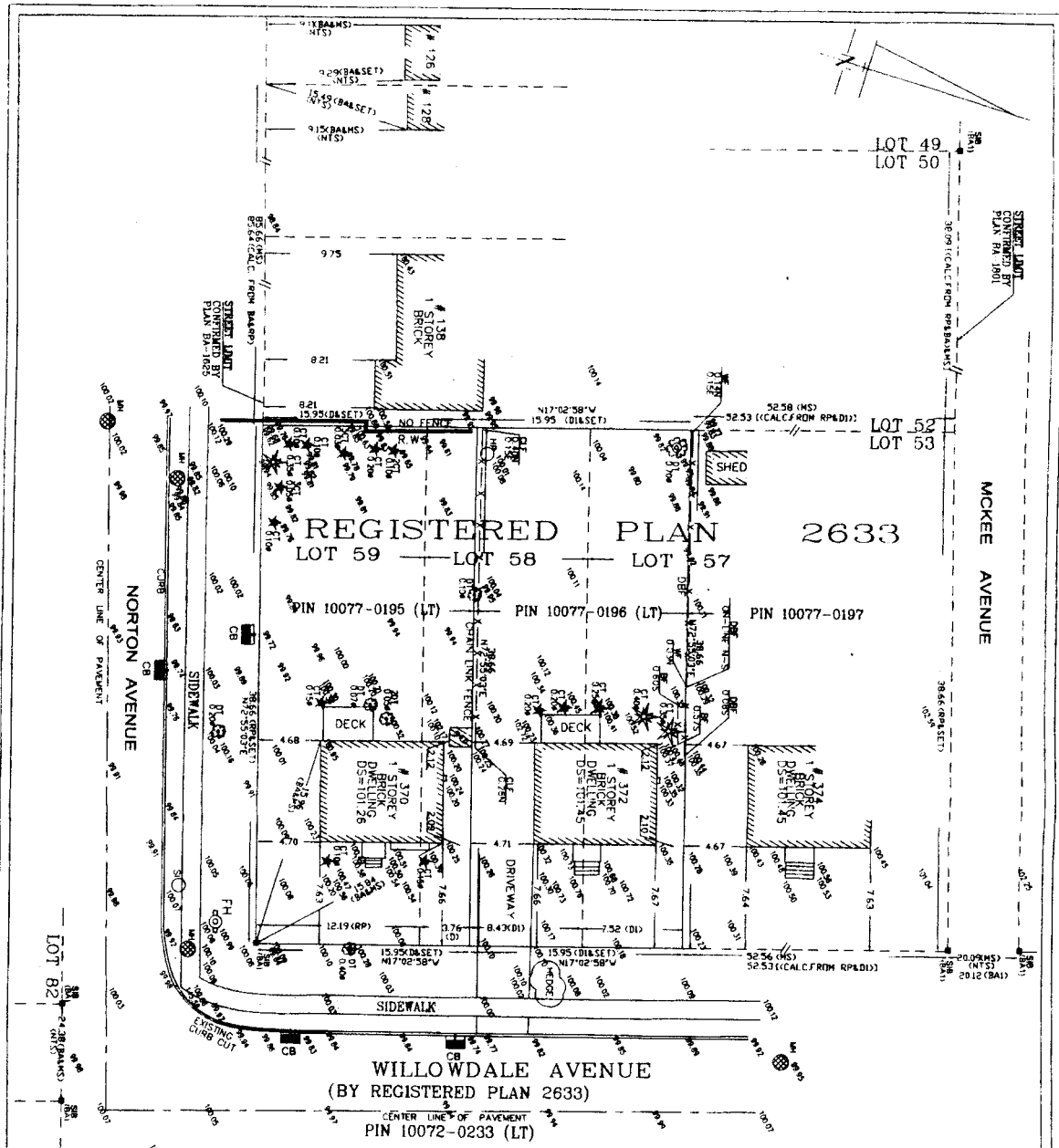
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
- 2. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
- 3. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30% of the lot area: 123.23m².
The proposed lot coverage is 33.4% of the lot area: 137.37m².
- 4. Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**

- The required minimum front yard setback is 8.21m.
The proposed front yard setback is 7.0m.
5. **Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed west side yard setback is 1.22m.
 6. **Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed east side yard setback is 1.22m.
 7. **Chapter 10.20.40.10.(1), Zoning By-law No. 569-2013**
The permitted maximum height of a building or structure is 10.0m.
The proposed height of the building is 10.2m.
 8. **Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the west side exterior main wall is 8.27m and the proposed height of the east side exterior main wall is 8.27m.
 9. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m .
The proposed lot frontage is 12.88m.
 10. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m²
The proposed lot area is 410.76m².
 11. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required west side yard setback is 1.58m.
The proposed west side yard setback is 1.22m.
 12. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required east side yard setback is 1.58m.
The proposed east side yard setback is 1.22m.
 13. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 33.1% of the lot area.
 14. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.
 15. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.09m.
 16. **Section 6(30)a, Zoning By-law No. 7625**

The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.82m.

:sl



STREET LIGHT
CONTAINED BY
PLAN BA-1801

MCKEE AVENUE

REGISTERED PLAN 2633

LOT 59 LOT 58 LOT 57
PIN 10077-0195 (LT) PIN 10077-0196 (LT) PIN 10077-0197

NORTON AVENUE

**WILLOWDALE AVENUE
(BY REGISTERED PLAN 2633)**

CENTER LINE OF PAVEMENT
PIN 10072-0233 (LT)

**SURVEYOR'S REAL PROPERTY REPORT OF
PART 1:
PLAN OF LOTS 59, 58 & PART OF LOT 57
REGISTERED PLAN 2633
CITY OF TORONTO
(FORMERLY THE CITY OF NORTH YORK)**

SCALE = 1 : 300
METRIC DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

MITSCHE & AZIZ INC., O.L.S.
COPYRIGHT © 2014
THE REPRODUCTION, ALTERATION OR USE OF THIS REPORT IN WHOLE OR IN PART WITHOUT THE EXPRESS PERMISSION OF MITSCHE & AZIZ INC. O.L.S. IS STRICTLY PROHIBITED.

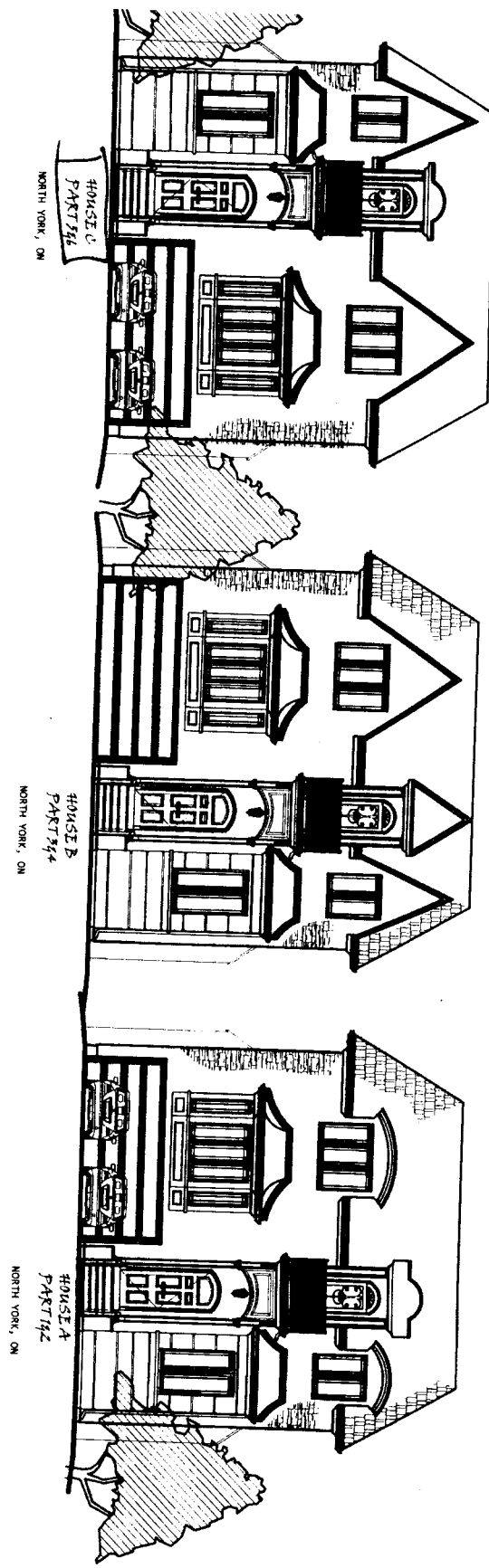
PART 2:
REPORT
• THIS REPORT WAS PREPARED FOR WADSWORTH AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES
BOUNDARIES
• LOTS 59, 58 & PART OF LOT 57, REGISTERED PLAN 2633
TITLE SEARCH INDICATES
• NO ENCUMBRANCES OR RIGHTS OF WAY'S REGISTERED ON TITLE
ZONING
• NO INVESTIGATION WITH RESPECT TO MUNICIPAL ZONING BY LAW HAS BEEN MADE FOR THE SUBJECT PROPERTY (PROPERTIES)
ENCROACHMENTS
• NO ENCROACHMENTS OR THE EGRESS IN RELATION TO THE SOUTHERLY, A NORTHERLY BOUNDARIES, THE 4/6' EGRESS TO THE SOUTHERLY, SUBJECT BOUNDARIES TO THE EXTENT SHOWN ON THE PLAN
GEODETTIC:
• ELEVATIONS SHOWN HEREON ARE LOCAL

LEGEND:

ORANGE	SURVEY MONUMENT FOUND	RE	THE HYDRANT
□	SURVEY MONUMENT SET	MA	MANHOLE
○	IRON BAR	HP	HYDRANT POLE
●	NORTH, EAST, SOUTH, WEST	WS	WATER MAIN
—	BOUND FENCE	SS	SEWER
—	REGISTERED PLAN 2633	OT	OPENING TREE
—	PLAN BA-1802	CT	CONCRETE TREE TRUNK
—	PLAN BA-1801	DI	DECIDUOUS TREE TRUNK
—	PLAN BA-1793	MS	METAL TREE TRUNK
—	RETAINING WALL	NS	NON SCALE

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYOR'S ACT AND THE REGULATIONS MADE UNDER IT.
2. THE SURVEY WAS COMPLETED ON THE 23rd DAY OF JULY, 2014
DATE: AUGUST 18, 2014

MITSCHE & AZIZ INC.
A. ABELSHAW
ONTARIO LAND SURVEYOR



MCKEE AVE

NORTON AVE

PARKVIEW AVE

WILLOWDALE AVE

KEY PLANNING



HOSSEINI HOMES CORPORATION

WE RESPECT NEW IDEAS.



P.O. BOX 69587-5845 YONGE STREET, TORONTO, ON, M2M 4K3

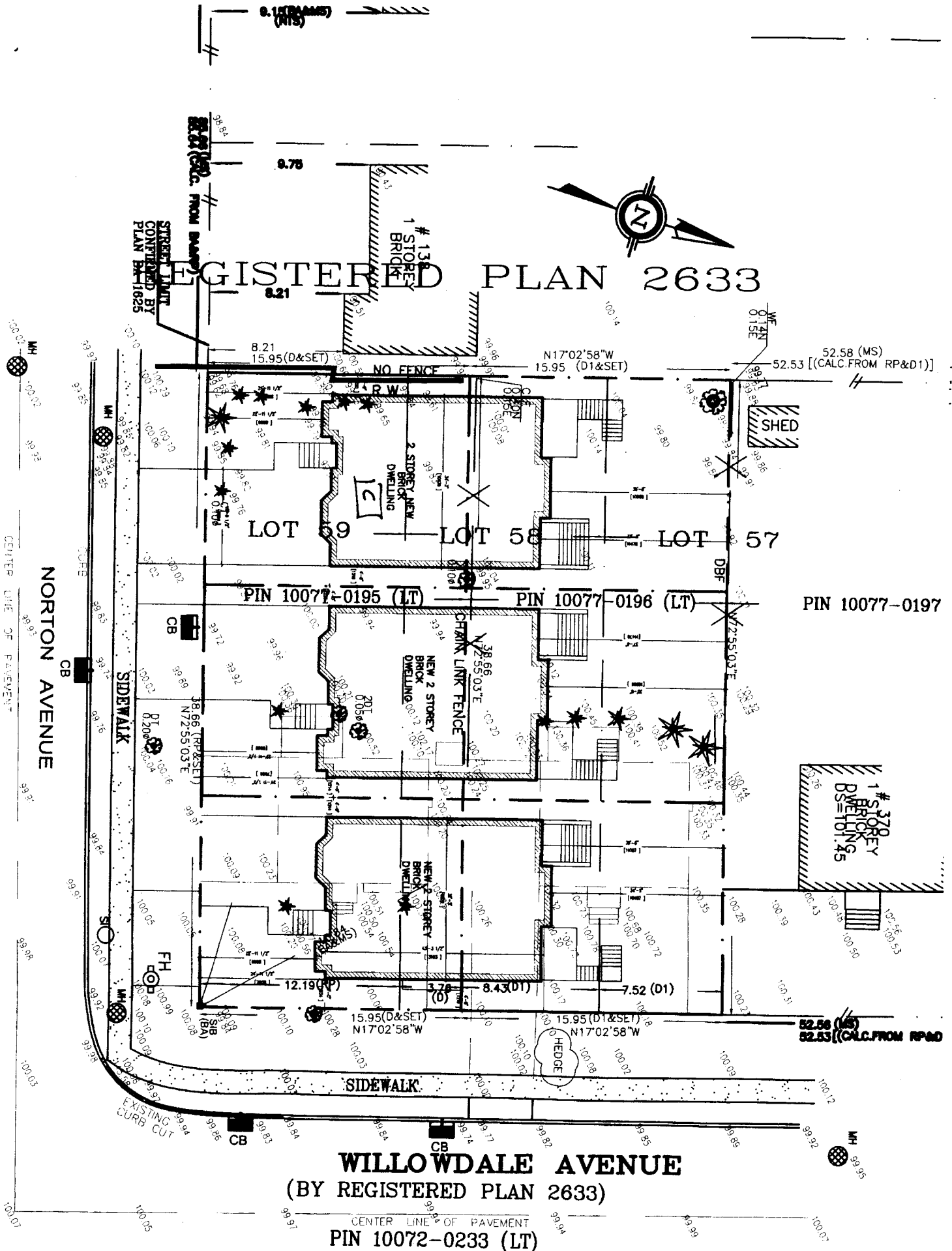
TEL: (416) 720-6673 FAX: (416) 792-0272

WWW.HOSSEINIHOME.CO.COM

A00

SCALE: 1:300

A01-SITE PLAN

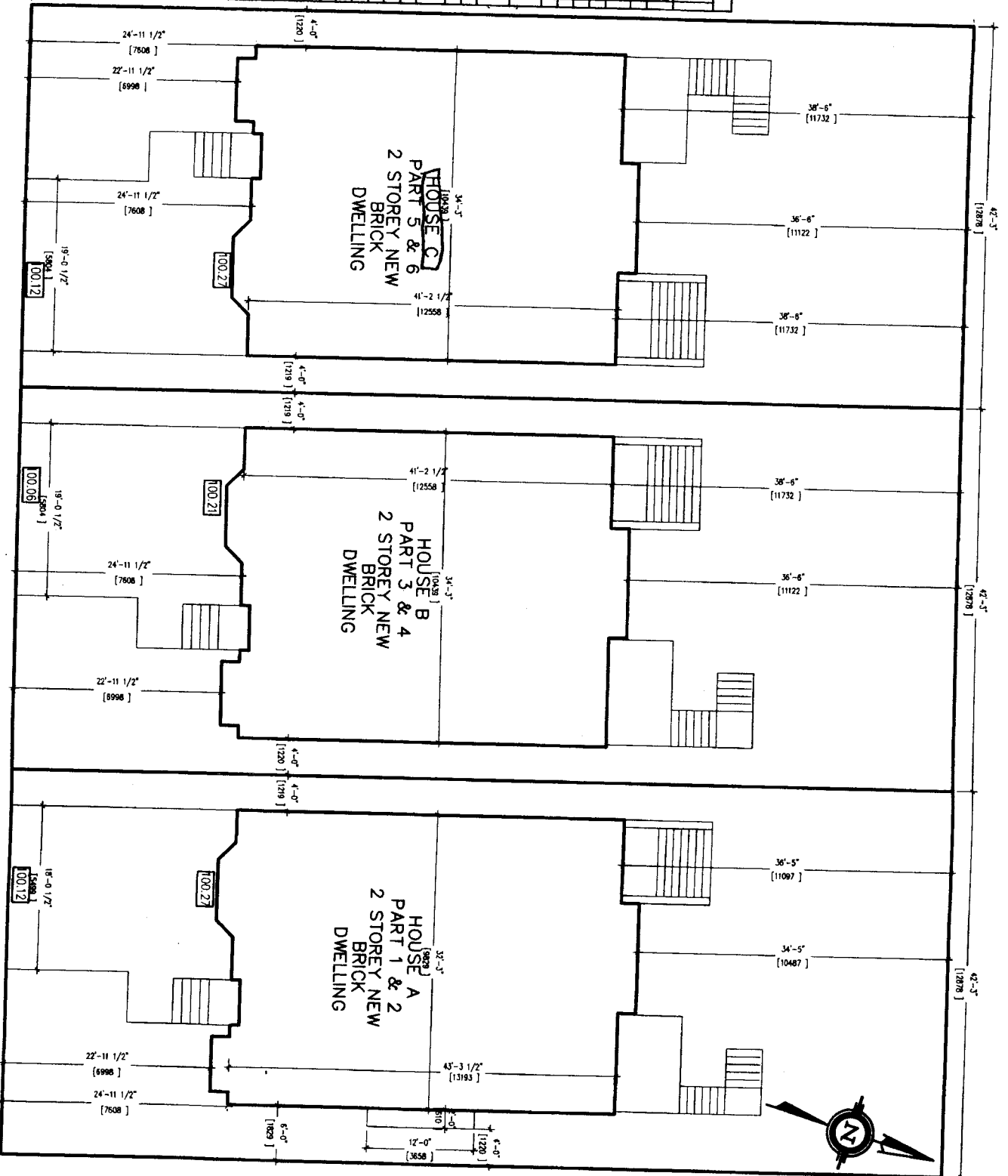


WILLOWDALE AVENUE
 (BY REGISTERED PLAN 2633)

CENTER LINE OF PAVEMENT
 PIN 10072-0233 (LT)

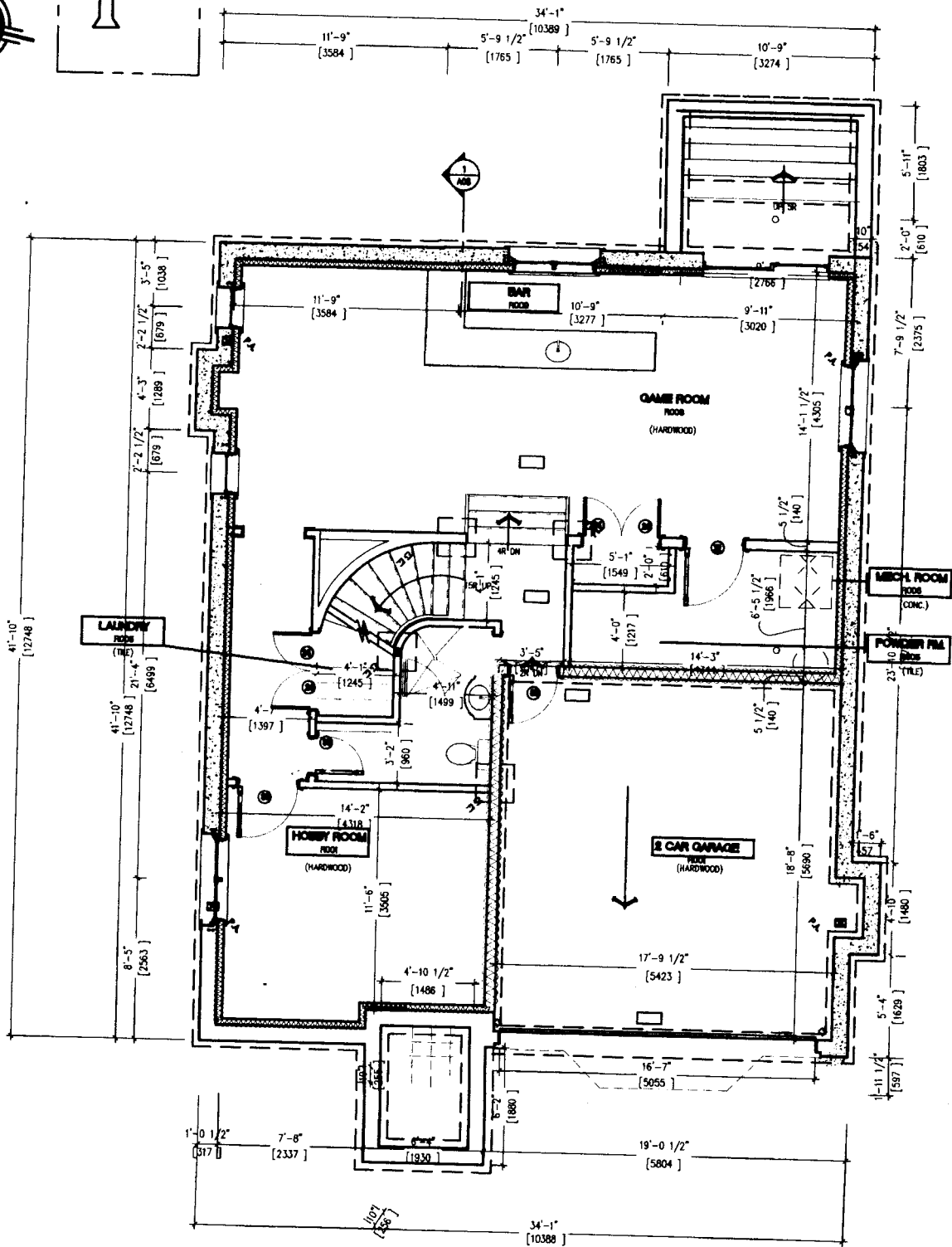
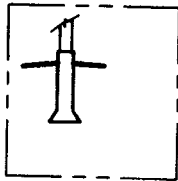
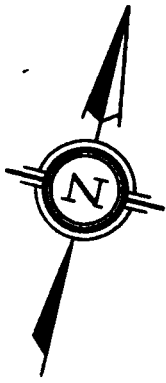
Proposed New House GFA Calculation		
	sqf	sqm
Lot Area	4421,480	410,787.075
G.F.A		
First Floor	1414,800	131,439
Second Floor	1414,800	131,439.221
Total GFA	2829,600	262,878
Basement		
Lot Coverage(30%)	1070	99,406
Allowable Lot Coverage	1326,436000	123,230123
Proposed Lot Covered	1414,800	131,439
Lot Covered %	31.998	
Front Yard Landscaping Calculation		
Front Yard Area	1045,500	97,130
Driveway Area	475,200	44,148
Landscape Req.	522,750000	48,565
(50% of total area)		
Landscape proposed	570,300	52,983
(Front Yard-Driveway)		
Soft Landscaping Req.	427,725	39,737
(75% of Landscape)		
Soft Landscape Proposed	509	47,288

THIS TABLE IS SIMILAR FOR ALL THREE HOUSES



SCALE: 1:200

A01-A-SITE PLAN

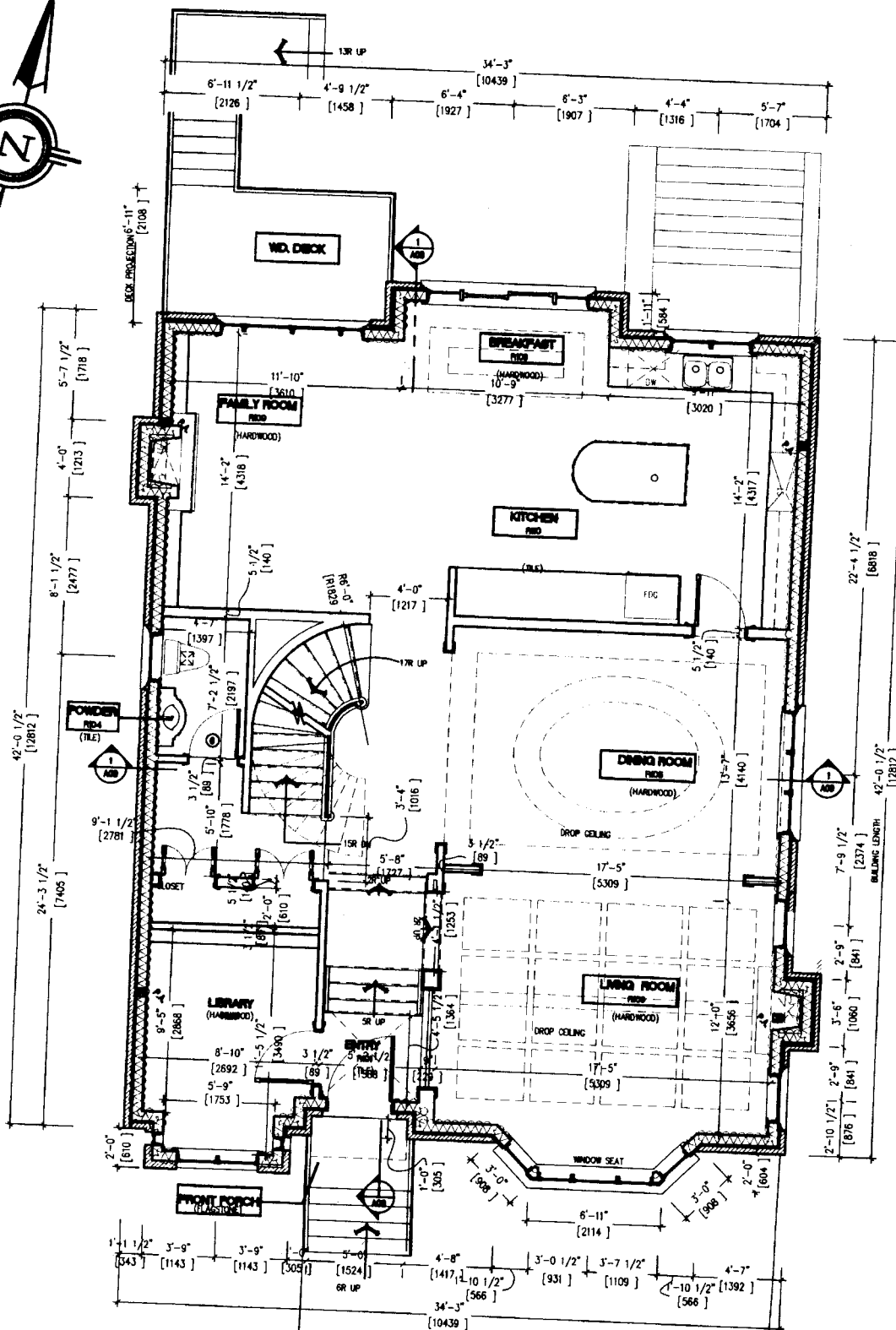
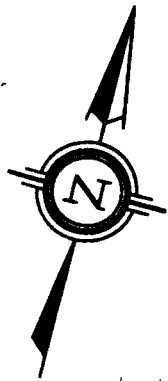


1 BASEMENT PLAN
A02 SCALE: 1/4" = 1'-0"

HOUSE C
PART 5 & 6

SCALE 1:100

A02 BASMENT FLOOR PLAN

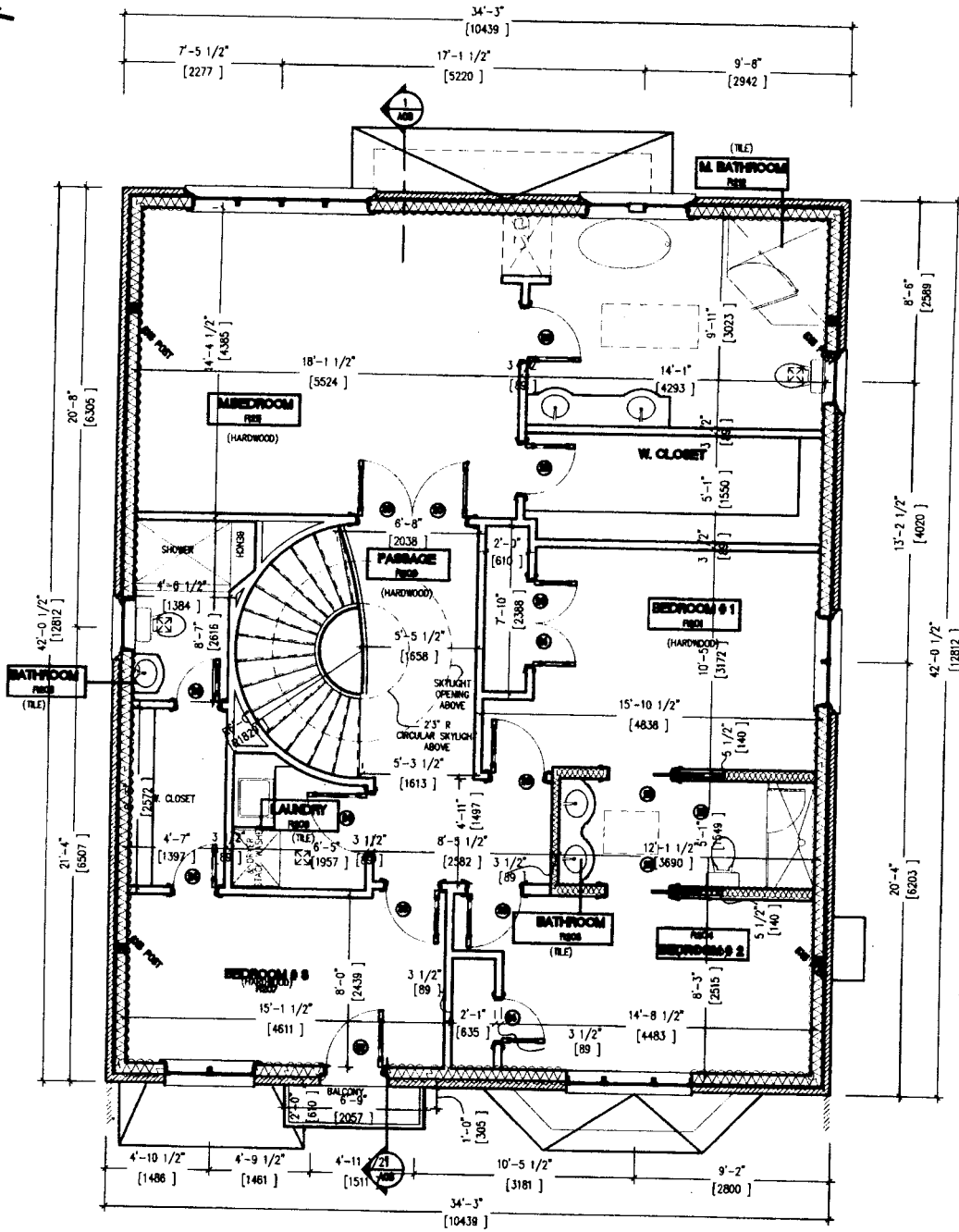
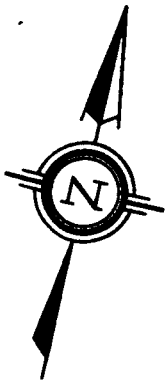


1 FIRST FLOOR PLAN
A03 SCALE: 1/4" = 1'-0"

HOUSE C
PART 5 & 6

SCALE 1:100

A03-FIRST FLOOR PLAN

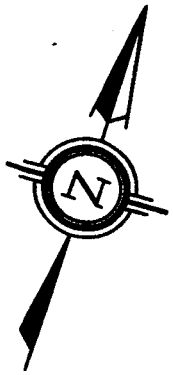


1 SECOND FLOOR PLAN
A04 SCALE: 1/4" = 1'-0"

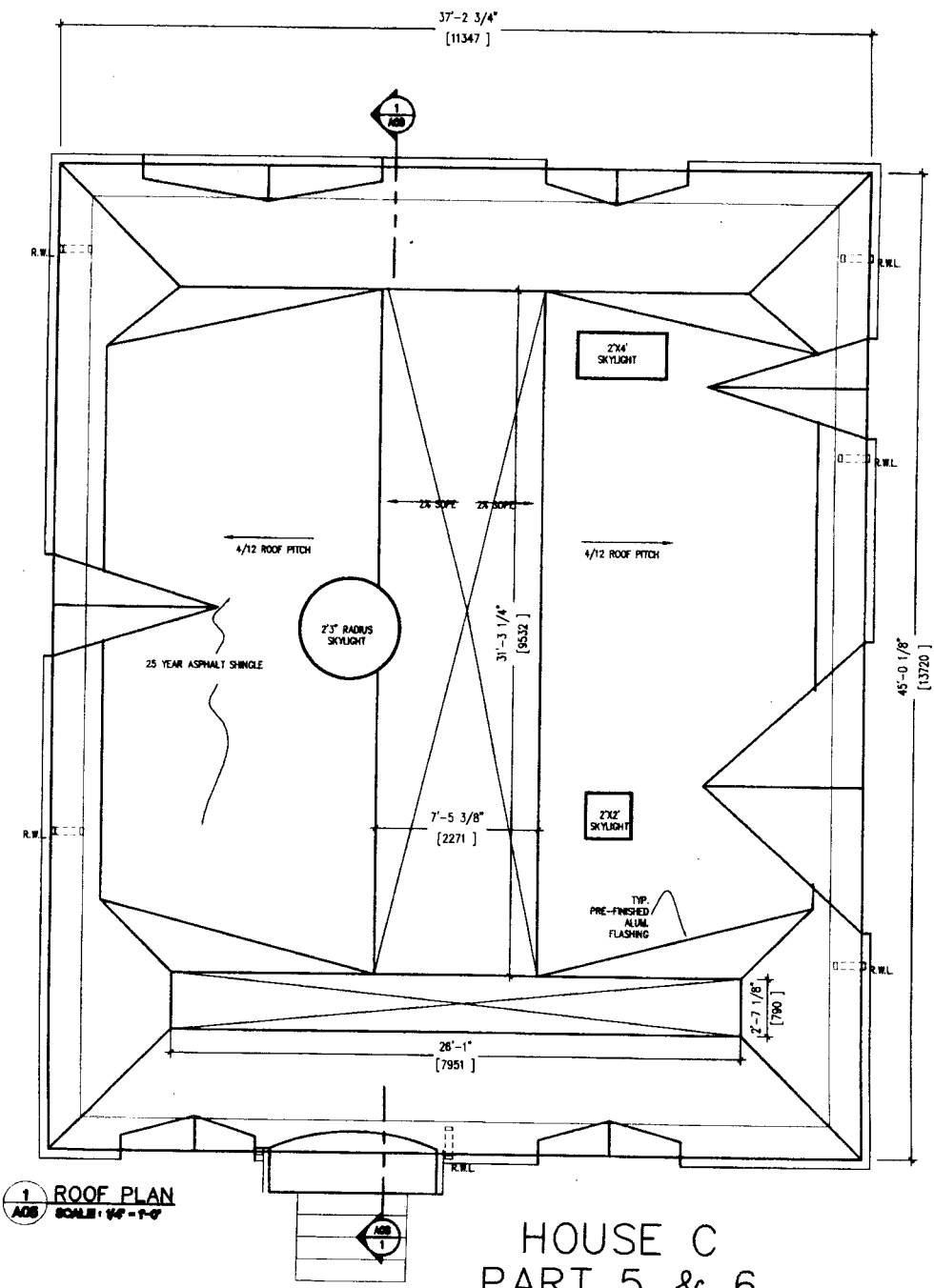
HOUSE C
PART 5 & 6

SCALE 1:100

A04 SECOND FLOOR PLAN



FLAT ROOF CALCULATION:	
TOTAL ROOF AREA	1727.6 SQF
FLAT ROOF AREA	424.26 SQF
ALLOWABLE FLAT ROOF (OLD BY LAW)	25% OF TOTAL ROOF AREA
FLAT ROOF%	= 24.5%

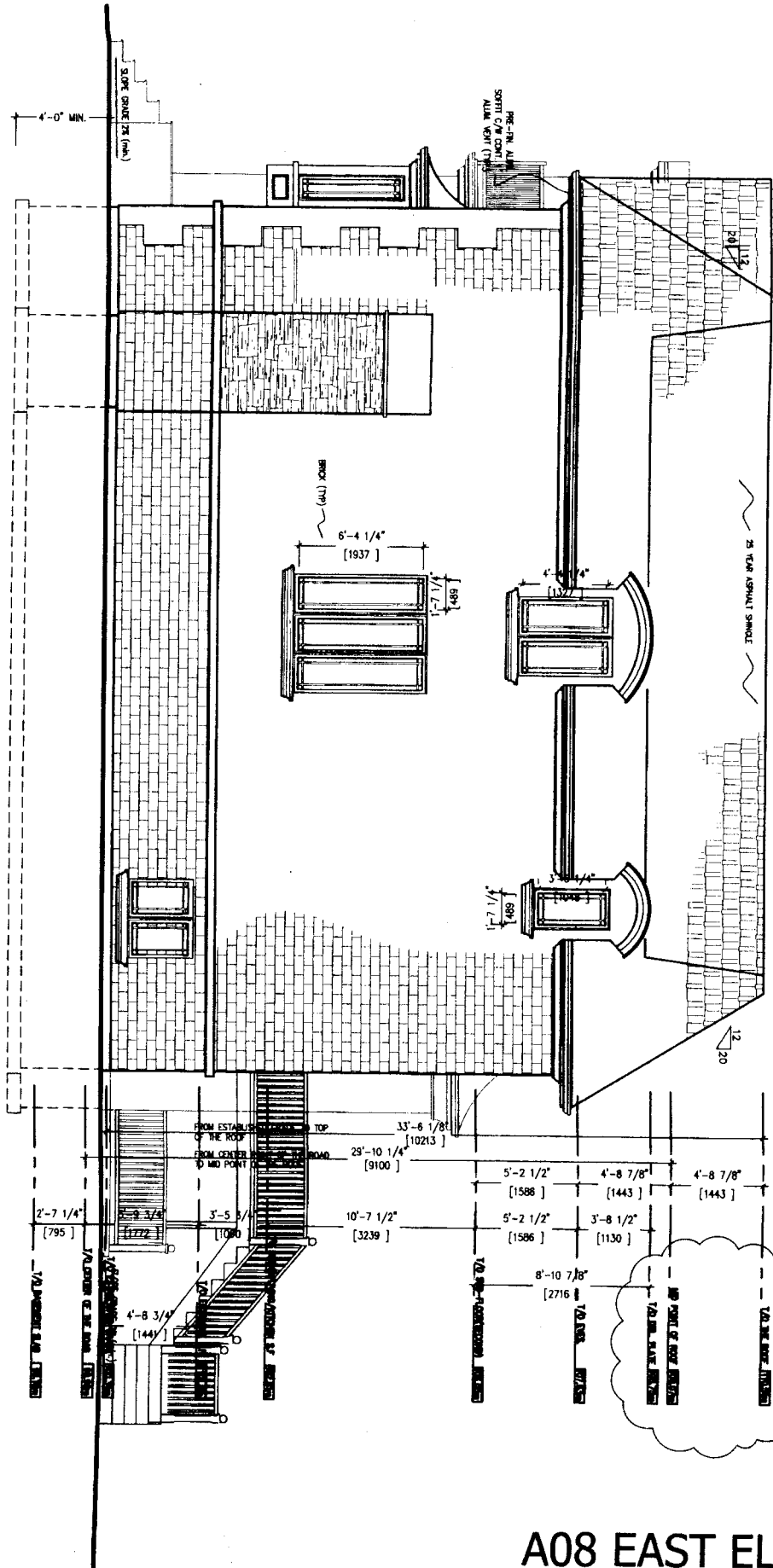


SCALE 1:100

A05 ROOF PLAN

HOUSE C
PART 5&6

1 EAST ELEVATION
A08 SCALE: 1/4" = 1'-0"

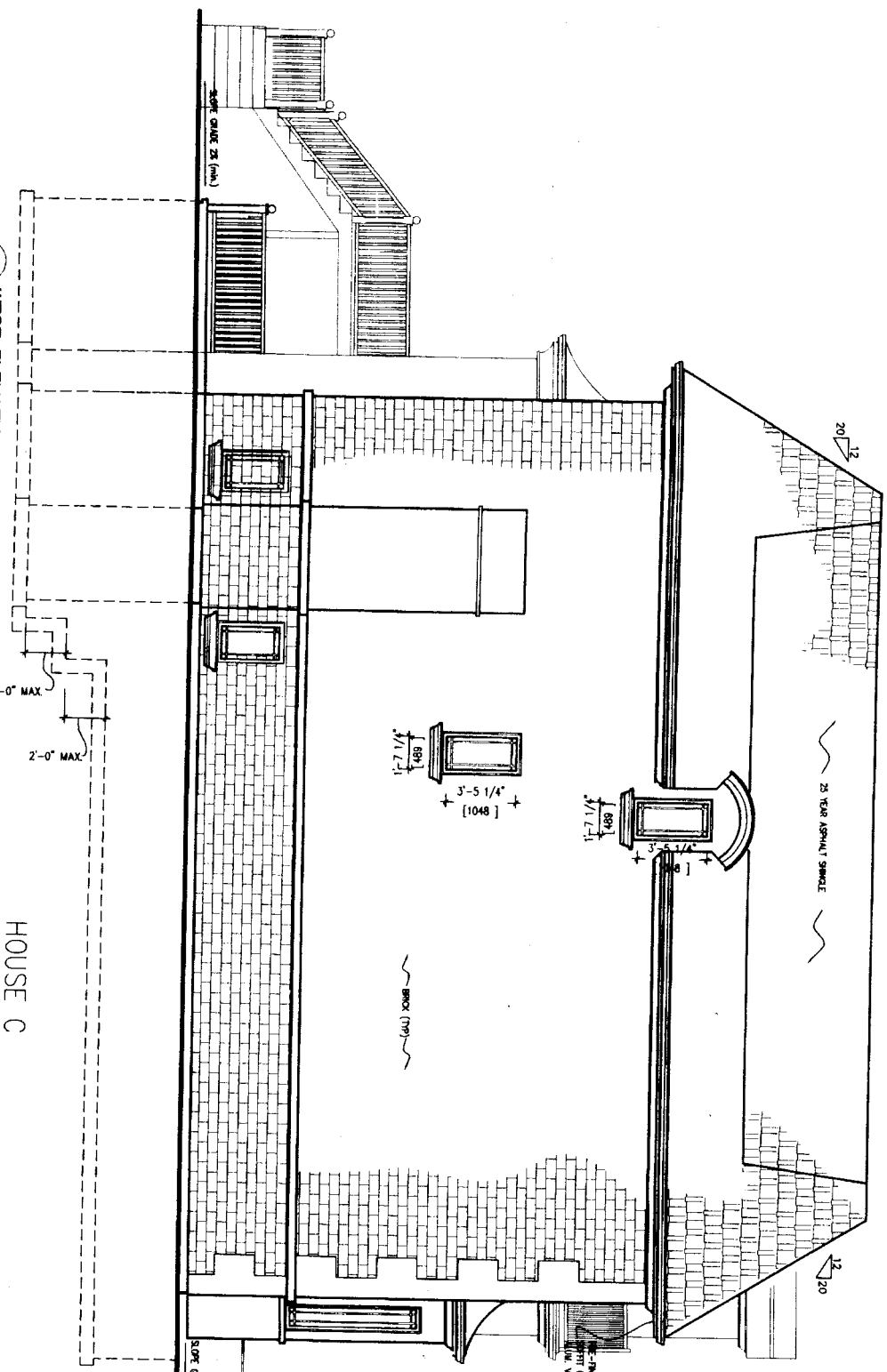


SCALE 1:100

A08 EAST ELEVATION

WEST ELEVATION
SCALE: 1/4" = 1'-0"

HOUSE C
PART 5&6



2'-7 1/4" [795]	5'-9 3/4" [1772]	3'-5 3/4" [1060]	10'-7 1/2" [3239]	5'-2 1/2" [1586]	4'-8 7/8" [1443]	4'-8 7/8" [1443]
FROM ESTABLISHED GRADE TO TOP OF THE ROOF			33'-6 1/8" [10213]	FROM CENTER POINT OF THE ROAD TO MID POINT OF THE ROOF		
29'-10 1/4" [9100]			8'-10 7/8" [2716]	TO THE CENTER OF THE ROAD		

SCALE 1:100

A08 EAST ELEVATION

Thursday, January 22, 2015

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B062/14NY	Zoning	R4/RD(f15.0;a550)(ZR)
Owner(s):	ZHUQI ZHANG XHUQI ZHANG	Ward:	Willowdale (23)
Agent:	MEHDI HOSSEINI		
Property Address:	370 WILLOWDALE AVE	Community:	North York
Legal Description:	PLAN 2633 LOT 59 PT LOT 58		

Notice was given and the application considered on Thursday, January 22, 2015, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into three parts for the purpose of lot additions. Related Committee of Adjustment files include B063/14NY/14NY, A859/14NY, A860/14NY, A861/14NY.

Conveyed - Part 1**Address to be assigned**

The frontage is 15.95m and the lot area is 205.436m². Part 1 will be added to Part 2 severed from B063/14NY to create a new building lot fronting Norton Ave. (House A) with a frontage of 12.88m and a lot area of 410.76m². The property will be redeveloped as the site of a new two-storey dwelling requiring variances to the Zoning By-law, as outlined in Application A859/14NY.

Conveyed - Part 3**Address to be assigned**

The frontage is 15.95m and the lot area is 205.595m². Part 3 will be added to Part 4 severed from B063/14NY to create a new building lot fronting Norton Ave. (House B) with a frontage of 12.88m and a lot area of 410.76m². The property will be redeveloped as the site of a new two-storey dwelling requiring variances to the Zoning By-law, as outlined in Application A860/14NY.

Conveyed - Parts 5**Address to be assigned**

The frontage is 15.95m and the lot area is 205.595m². Part 5 will be added to Part 6 severed from B063/14NY to create a new building lot fronting Norton Ave. (House C) with a frontage of 12.88m and a lot area of 410.76m². The property will be redeveloped as the site of a new two-storey dwelling requiring variances to the Zoning By-law, as outlined in Application A861/14NY.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**The Consent Application is Approved on Condition**

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of the this Decision:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division.
2. A draft Certificate of Official, as prescribed in O.Reg. 197/96 as Form 2 or 4, in a form satisfactory to the Deputy Secretary-Treasurer, that includes a completed and registerable description of the land that is the subject of the consent, shall be submitted to the Deputy Secretary-Treasurer within one year of the date of the giving of notice of this decision.
3. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with City Surveyor, Survey & Mapping, Engineering Services.
4. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Engineering Services.
5. **Three copies of the registered reference plan of survey** satisfying the requirements of the City Surveyor, shall be filed with the Committee of Adjustment.
6. The associated minor variance decisions, A859/14NY, A860/14NY & A861/14NY be declared Final and Binding.
7. City of Toronto Municipal Code Chapter 813, Article II, City-owned trees
www.toronto.ca/trees/city_trees.htm
8. City of Toronto Municipal Code Chapter 813, Article III, Privately-owned trees
www.toronto.ca/trees/private_trees.htm
9. Where no street tree exists, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting the site to the satisfaction of the General Manager of Parks, Forestry and Recreation.
10. The applicant to satisfy the requirements of the Engineering and Construction Services Division;
 - a) The owner shall deposit prior to the stamping of the deeds for severance, a certified cheque with the Technical Services as security for the estimated cost of construction and a certified cheque for the 5% engineering review fee of the following works;
 - i) Construction of a new 250mm diameter sanitary sewer, approximately 50 metres in length, with a new maintenance hole at the upstream end with the sewer flowing east and connecting into the existing sanitary maintenance hole located in the intersection of Willowdale Avenue and Norton Avenue. Servicing of the three proposed houses with sanitary and domestic water connections. Disconnection of existing water and sanitary connections of the two houses located at 370 and 372 Willowdale Avenue. Restoration of all damaged surfaces. The cost of the above construction is estimated to be \$190,000;
 - ii) \$10,735.00 representing the 5% Engineering review fee of the above construction works.

- iii) The owner sign and adhere to the appropriate "Municipal Agreement" document;
- b) The owner shall convey to the City, at nominal cost, such lands to be free and clear of all encumbrances, save and except for utility poles and subject to a right-of-way for access purposes in favour of the Grantor until such times as said lands have been laid out and dedicated for public highway purposes:
 - i) 5.00m corner rounding at the northwest corner of Willowdale Avenue and Norton Avenue. Deeds for these lands, in a satisfactory form, shall be deposited with the City Solicitor and registered by the City prior to the stamping of the deeds for severance. A draft Reference Plan of Survey shall be submitted to the Executive Director of Engineering and Construction Services for review and approval, prior to depositing in the Land Registry Office, in metric units and integrated with the Ontario Co-ordinate System, showing as separate PARTS thereof the lands to be conveyed to the City and the remainder of the site including any appurtenant rights-of-way;
 - ii) The owner shall pay all costs for registration and preparation of reference plan(s).
- 11. Subsection 50(3) or (5) or subsection of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction shall apply.
- 12. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96.

Thursday, January 22, 2015

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B063/14NY	Zoning	R4/RD(f15.0;a550)(ZR)
Owner(s):	XIUHUA GUO	Ward:	Willowdale (23)
Agent:	MEHDI HOSSEINI		
Property Address:	372 WILLOWDALE AVE	Community:	
Legal Description:	PLAN 2633 S PT LOT 57		

Notice was given and the application considered on Thursday, January 22, 2015, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into three parts for the purpose of lot additions. Related Committee of Adjustment files include B062/14NY/14NY, A859/14NY, A860/14NY, A861/14NY.

Conveyed - Part 2**Address to be assigned**

The frontage is 15.95m and the lot area is 205.436m². Part 2 will be added to Part 1 (severed from B062/14NY, 370 Willowdale Ave.) to create a new building lot fronting Norton Ave. (House A) with a frontage of 12.88m and a lot area of 410.76m². The property will be redeveloped as the site of a new two-storey dwelling requiring variances to the Zoning By-law, as outlined in Application A859/14NY.

Conveyed - Part 4**Address to be assigned**

The frontage is 15.95m and the lot area is 205.595m². Part 4 will be added to Part 3 (severed from B062/14NY, 370 Willowdale Ave.) to create a new building lot fronting Norton Ave. (House B) with a frontage of 12.88m and a lot area of 410.76m². The property will be redeveloped as the site of a new two-storey dwelling requiring variances to the Zoning By-law, as outlined in Application A860/14NY.

Conveyed - Part 6**Address to be assigned**

The frontage is 15.95m and the lot area is 205.595m². Part 6 will be added to Part 5 (severed from B062/14NY, 370 Willowdale Ave.) to create a new building lot fronting Norton Ave. (House C) with a frontage of 12.88m and a lot area of 410.76m². The property will be redeveloped as the site of a new two-storey dwelling requiring variances to the Zoning By-law, as outlined in Application A861/14NY.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**The Consent Application is Approved on Condition**

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of the this Decision:

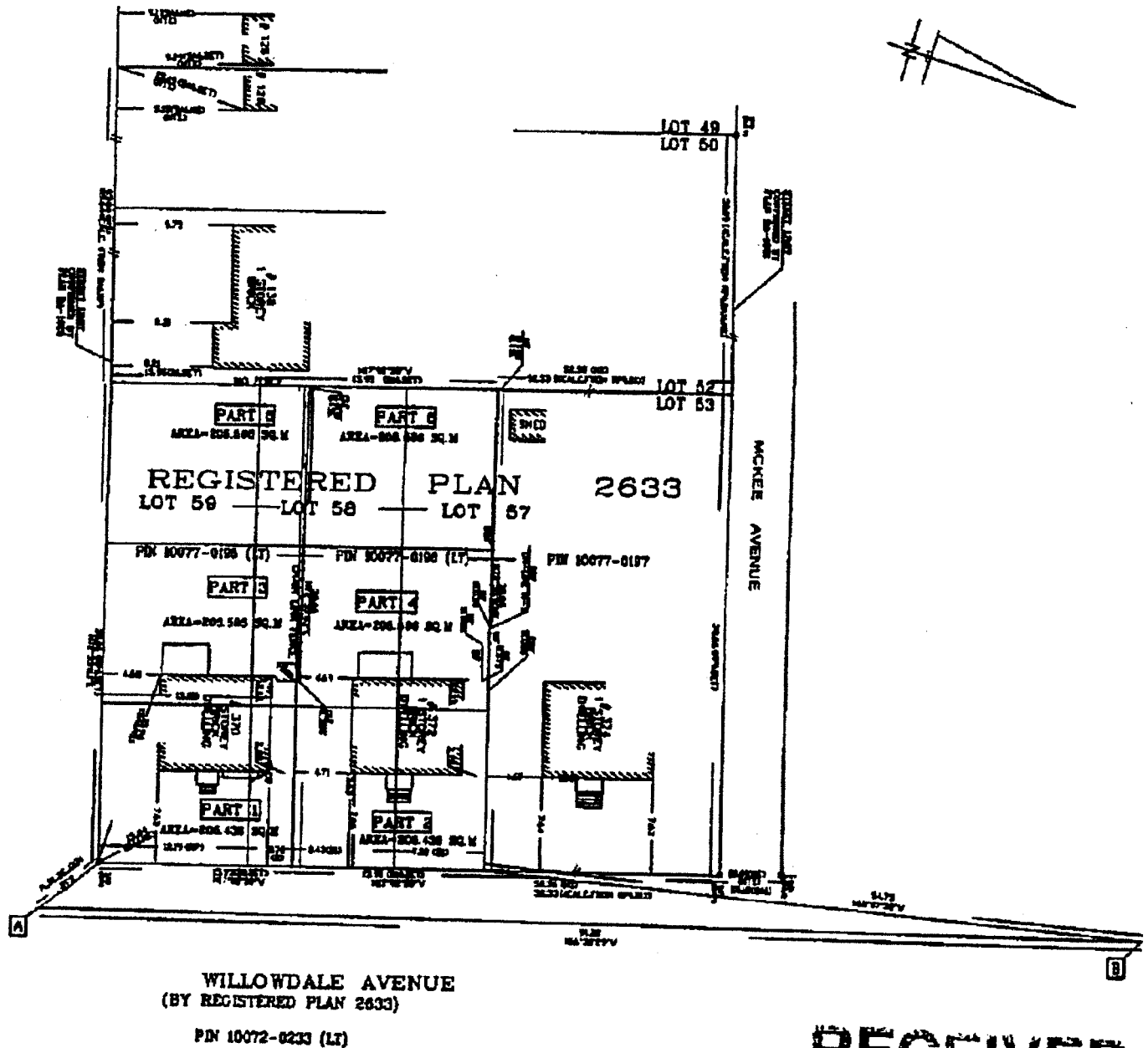
1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division.
2. A draft Certificate of Official, as prescribed in O.Reg. 197/96 as Form 2 or 4, in a form satisfactory to the Deputy Secretary-Treasurer, that includes a completed and registerable description of the land that is the subject of the consent, shall be submitted to the Deputy Secretary-Treasurer within one year of the date of the giving of notice of this decision.
3. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with City Surveyor, Survey & Mapping, Engineering Services.
4. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Engineering Services.
5. **Three copies of the registered reference plan of survey** satisfying the requirements of the City Surveyor, shall be filed with the Committee of Adjustment.
6. The associated minor variance decisions, A859/14NY, A860/14NY & A861/14NY be declared Final and Binding.
7. City of Toronto Municipal Code Chapter 813, Article II, City-owned trees
www.toronto.ca/trees/city_trees.htm
8. City of Toronto Municipal Code Chapter 813, Article III, Privately-owned trees
www.toronto.ca/trees/private_trees.htm
9. Where no street tree exists, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting the site to the satisfaction of the General Manager of Parks, Forestry and Recreation.
10. The applicant to satisfy the requirements of the Engineering and Construction Services Division;
 - a)The owner shall deposit prior to the stamping of the deeds for severance, a certified cheque with the Technical Services as security for the estimated cost of construction and a certified cheque for the 5% engineering review fee of the following works;
 - i) Construction of a new 250mm diameter sanitary sewer, approximately 50 metres in length, with a new maintenance hole at the upstream end with the sewer flowing east and connecting into the existing sanitary maintenance hole located in the intersection of Willowdale Avenue and Norton Avenue. Servicing of the three proposed houses with sanitary and domestic water connections. Disconnection of existing water and sanitary connections of the two houses located at 370 and 372 Willowdale Avenue. Restoration of all damaged surfaces. The cost of the above construction is estimated to be \$190,000;
 - ii) \$10,735.00 representing the 5% Engineering review fee of the above construction works.
 - iii) The owner sign and adhere to the appropriate "Municipal Agreement" document;

b) The owner shall convey to the City, at nominal cost, such lands to be free and clear of all encumbrances, save and except for utility poles and subject to a right-of-way for access purposes in favour of the Grantor until such times as said lands have been laid out and dedicated for public highway purposes:

i) 5.00m corner rounding at the northwest corner of Willowdale Avenue and Norton Avenue. Deeds for these lands, in a satisfactory form, shall be deposited with the City Solicitor and registered by the City prior to the stamping of the deeds for severance. A draft Reference Plan of Survey shall be submitted to the Executive Director of Engineering and Construction Services for review and approval, prior to depositing in the Land Registry Office, in metric units and integrated with the Ontario Co-ordinate System, showing as separate PARTS thereof the lands to be conveyed to the City and the remainder of the site including any appurtenant rights-of-way;

ii) The owner shall pay all costs for registration and preparation of reference plan(s).

11. Subsection 50(3) or (5) or subsection of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction shall apply.
12. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96.



RECEIVED

NOV 05 2014

Toronto Building
North York District

PLAN OF SURVEY OF
LOTS 59, 58 & PART OF LOT 57
REGISTERED PLAN 2633
CITY OF TORONTO
(FORMERLY THE CITY OF NORTH YORK)

SCHEDULE

NO.	DESCRIPTION	AREA (SQ. M.)	AREA (SQ. FT.)
1	Part 1	202.545	2210.0
2	Part 2	202.545	2210.0
3	Part 3	202.545	2210.0
4	Part 4	202.545	2210.0
5	Part 5	202.545	2210.0
6	Part 6	202.545	2210.0

PLAN 688

DATE: NOV 05 2014

NO. 10072-0233 (LT)

SCALE - 1 : 250
MITSCHKE & AZIZ INC.

REMARKS: DISTANCES SHOWN ARE IN METERS AND CAN BE CONSIDERED AS FEET BY DIVIDING BY 3.048.

DISTANCE NOTE

NO.	DESCRIPTION	DISTANCE (M.)	DISTANCE (FT.)
1	Part 1	202.545	2210.0
2	Part 2	202.545	2210.0
3	Part 3	202.545	2210.0
4	Part 4	202.545	2210.0
5	Part 5	202.545	2210.0
6	Part 6	202.545	2210.0

LEGEND

1. Part 1

2. Part 2

3. Part 3

4. Part 4

5. Part 5

6. Part 6

PREPARED BY:

MITSCHKE & AZIZ INC.

1100 SHEPPARD AVENUE EAST
SUITE 1000
TORONTO, ONTARIO M2X 1L7
CANADA
TEL: (416) 491-1111
FAX: (416) 491-1112
WWW.MITSCHKEANDAZIZ.COM

Thursday, January 22, 2015

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A859/14NY	Zoning	R4/RD(f15.0;a550)(ZR)
Owner(s):	XIUHUA GUO XHUQI ZHANG	Ward:	Willowdale (23)
Agent:	MEHDI HOSSEINI		
Property Address:	370 WILLOWDALE AVE (PARTS 1 & 2)	Community:	North York
Legal Description:	PLAN 2633 LOT 59 PT LOT 58		

Notice was given and a Public Hearing was held on Thursday, January 22, 2015, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished. Committee of Adjustment files B062/14NY, B063/14NY/14NY, A859/14NY, A860/14NY, A861/14NY will be considered jointly

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.80.40(3), Zoning By-law No. 569-2013**
(B) Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the front street.
- Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
- Chapter 10.20.30.20(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
- Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.21m.
The proposed front yard setback is 7.0m.

6. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed West side yard setback is 1.22m.
7. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed East side yard setback is 1.22m to the front porch portion of the dwelling only.
8. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of East side exterior main wall is 8.48m.
9. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of West side exterior main wall is 8.1m.
10. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m.
The proposed lot frontage is 12.88m.
11. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 410.76m².
12. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required West side yard setback is 1.58m.
The proposed West side yard setback is 1.22m.
13. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required East side yard setback is 3.0m.
The proposed East side yard setback is 1.22m to the front porch portion of the dwelling only and 1.8m for remainder of house.
14. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
15. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.
16. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.
17. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.82m.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. **Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
3. **Chapter 10.20.30.20(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
10. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m.
The proposed lot frontage is 12.88m.
11. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 410.76m².
15. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

1. **Chapter 10.5.80.40(3), Zoning By-law No. 569-2013**
(B) Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the front street.
4. **Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
5. **Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.21m.
The proposed front yard setback is 7.0m.
6. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569- 2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed West side yard setback is 1.22m.

7. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed East side yard setback is 1.22m to the front porch portion of the dwelling only.
8. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of East side exterior main wall is 8.48m.
9. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of West side exterior main wall is 8.1m.
13. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required East side yard setback is 3.0m.
The proposed East side yard setback is 1.22m to the front porch portion of the dwelling only and 1.8m for remainder of house.
14. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
12. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required West side yard setback is 1.58m.
The proposed West side yard setback is 1.22m.
16. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.
17. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.82m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

- 1) City of Toronto Municipal Code Chapter 813, Article II, City-owned trees
(www.toronto.ca/trees/city_trees.htm)
- 2) City of Toronto Municipal Code Chapter 813, Article III, Privately-owned trees
(www.toronto.ca/trees/private_trees.htm)
- 3) Where no street tree exists, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting the site to the satisfaction of the General Manager of Parks, Forestry and Recreation.

Thursday, January 22, 2015

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A860/14NY	Zoning	R4/RD(f15.0;a550)(ZR)
Owner(s):	XIUHUA GUO XHUQI ZHANG	Ward:	Willowdale (23)
Agent:	MEHDI HOSSEINI		
Property Address:	370 WILLOWDALE AVE (PARTS 3 & 4)	Community:	North York
Legal Description:	PLAN 2633 LOT 59 PT LOT 58		

Notice was given and a Public Hearing was held on Thursday, January 22, 2015, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished. Committee of Adjustment files B062/14NY, B063/14NY/14NY, A859/14NY, A860/14NY, A861/14NY will be considered jointly.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
- Chapter 10.20.30.20(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
- Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is **32.00%** of the lot area.
- Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.21m.
The proposed front yard setback is 7.0m.
- Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed West side yard setback is 1.22m.

6. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed East side yard setback is 1.22m
7. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of East side exterior main wall is 8.19m.
8. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of West side exterior main wall is 8.55m.
9. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required West side yard setback is 1.58m.
The proposed West side yard setback is 1.22m.
10. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required East side yard setback is 1.58m.
The proposed East side yard setback is 1.22m.
11. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m .
The proposed lot frontage is 12.88m.
12. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 410.76m².
13. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
14. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.
15. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.05m.
16. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.78m.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
2. **Chapter 10.20.30.20(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
11. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m .
The proposed lot frontage is 12.88m.
12. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 410.76m².
14. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

3. **Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
4. **Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.21m.
The proposed front yard setback is 7.0m.
5. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed West side yard setback is 1.22m.
6. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed East side yard setback is 1.22m.

7. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of East side exterior main wall is 8.19m.
8. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of West side exterior main wall is 8.55m.
9. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required West side yard setback is 1.58m.
The proposed West side yard setback is 1.22m.
10. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required East side yard setback is 1.58m.
The proposed East side yard setback is 1.22m.
13. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
15. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.05m.
16. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.78m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

- 1) City of Toronto Municipal Code Chapter 813, Article II, City-owned trees
(www.toronto.ca/trees/city_trees.htm)
- 2) City of Toronto Municipal Code Chapter 813, Article III, Privately-owned trees
(www.toronto.ca/trees/private_trees.htm)
- 3) Where no street tree exists, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting the site to the satisfaction of the General Manager of Parks, Forestry and Recreation.

Thursday, January 22, 2015

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A861/14NY	Zoning	R4/RD(f15.0;a550)(ZR)
Owner(s):	ZHUQI ZHANG XIUHUA GUO	Ward:	Willowdale (23)
Agent:	MEHDI HOSSEINI		
Property Address:	370 WILLOWDALE AVE (PARTS 5 & 6)	Community:	North York
Legal Description:	PLAN 2633 LOT 59 PT LOT 58		

Notice was given and a Public Hearing was held on Thursday, January 22, 2015, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished. Committee of Adjustment files B062/14NY, B063/14NY/14NY, A859/14NY, A860/14NY, A861/14NY will be considered jointly.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
- Chapter 10.20.30.20(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
- Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.21m.
The proposed front yard setback is 7.0m.
- Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed West side yard setback is 1.22m.

6. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed East side yard setback is 1.22m
7. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of West side exterior main wall is 8.27m.
8. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of East side exterior main wall is 8.27m.
9. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m .
The proposed lot frontage is 12.88m.
10. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 410.76m².
11. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required West side yard setback is 1.58m.
The proposed West side yard setback is 1.22m.
12. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required East side yard setback is 1.58m.
The proposed East side yard setback is 1.22m.
13. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
14. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.
15. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.09m.
16. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.82m.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 410.76m².
2. **Chapter 10.20.30.20(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 12.88m.
9. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m .
The proposed lot frontage is 12.88m.
10. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 410.76m².
14. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15m.
The proposed lot width is 12.88m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

3. **Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
4. **Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.21m.
The proposed front yard setback is 7.0m.
5. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed West side yard setback is 1.22m.
6. **Chapter 10.20.40.70.(3), 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed East side yard setback is 1.22m
7. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of West side exterior main wall is 8.27m.

8. **Chapter 10.20.40.10(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of East side exterior main wall is 8.27m.
11. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required West side yard setback is 1.58m.
The proposed West side yard setback is 1.22m.
12. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required East side yard setback is 1.58m.
The proposed East side yard setback is 1.22m.
13. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
15. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.09m.
16. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.82m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

- 1) City of Toronto Municipal Code Chapter 813, Article II, City-owned trees
(www.toronto.ca/trees/city_trees.htm)
- 2) City of Toronto Municipal Code Chapter 813, Article III, Privately-owned trees
(www.toronto.ca/trees/private_trees.htm)
- 3) Where no street tree exists, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting the site to the satisfaction of the General Manager of Parks, Forestry and Recreation.