



City Planning Division

Committee of Adjustment
Toronto and East York District

100 Queen Street West, 1st Floor
Toronto, Ontario M5H 2N2
Tel: 416-392-7565
Fax: 416-392-0580

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0756/15TEY	Zoning:	RS & R2A (WAIVER)
Owner:	ELAN ZAKKAI	Ward:	Toronto-Danforth (29)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	351 SAMMON AVE	Community:	East York
Legal Description:	PLAN M365 LOT 17		

Notice was given and a Public Hearing was held on **Wednesday, November 4, 2015**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing one-storey detached dwelling by constructing: a second and partial third-storey addition above the existing one-storey dwelling, a new front porch and rear deck.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

- 1. Chapter 10.40.30. (40) (1), By-law 569-2013**
The maximum permitted lot coverage is 35% of the lot area (55.64 m²).
The new lot coverage will be 46% of the area of the lot (72.61 m²).
- 2. Chapter 10.40.40.10. (1), By-law 569-2013**
The maximum permitted building height is 8.5 m.
The altered detached dwelling will have a building height of 9.65 m.
- 3. Chapter 10.40.40.10. (2), By-law 569-2013**
The maximum permitted height of all front and rear exterior main walls is 7.0 m.
The height of the front and rear exterior main walls will be 9.4 m.
- 4. Chapter 10.40.40.10. (4), By-law 569-2013**
The maximum permitted height of the first floor above established grade is 1.2 m.
In this case, the first floor of the altered dwelling will be 1.52 m above established grade.
- 5. Chapter 10.40.40.40. (1), By-law 569-2013**
The maximum permitted floor space index is 0.75 times the area of the lot (119.23 m²).
The altered dwelling will have a floor space index equal to 1.08 times the area of the lot (171.69 m²).

6. **Chapter 10.40.40.50.(1), By-law 569-2013**

The maximum permitted area of each platform at or above the second-storey of a detached house is 4.0 m².

The area of the platform at or above the second-storey will be 20.03 m² at the front of the dwelling.

7. **Chapter 10.5.40.60. (1), By-law 569-2013**

A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building may encroach 1.31 m into the required front yard setback, provided it is located no closer to a side lot line than the required side yard setback.

In this case, the new platform will encroach 1.5 m into the required front yard setback.

1. **Section 7.5.3, By-law 6752**

The maximum permitted lot coverage is 35% of the lot area (55.64 m²).

The new lot coverage will be 45% of the area of the lot (71.35 m²).

2. **Section 7.5.3, By-law 6752**

The maximum permitted floor space index is 0.75 times the area of the lot (119.23 m²).

The altered detached dwelling will have a floor space index equal to 1.08 times the area of the lot (171.69 m²).

3. **Section 7.5.3, By-law 6752**

The maximum permitted building height is 8.5 m.

The altered detached dwelling will have a building height of 9.65 m.

4. **Section 5.6, By-law 6752**

The minimum required front stair setback is 1.5 m to the front lot line.

The front stairs will be located 0.9 m from the north front lot line.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0756/15TEY	Zoning	RS & R2A (WAIVER)
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Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	351 SAMMON AVE	Community:	East York
Legal Description:	PLAN M365 LOT 17		

Robert Brown

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, November 10, 2015**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, November 24, 2015**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$125.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Mailed on/before: Sunday, October 25, 2015

REVISED
PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Wednesday, November 4, 2015 at 4.00 p.m.

LOCATION: Committee Room 2, Second Floor, Toronto City Hall, 100 Queen St W, M5H 2N2

File Number:	A0756/15TEY	Zoning:	RS & R2A (WAIVER)
Owner(s):	ELAN ZAKKAI	Ward:	Toronto-Danforth (29)
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The front stairs will be located 0.9 m from the north front lot line.

PLEASE SEND YOUR WRITTEN COMMENTS TO THE APPLICATION TECHNICIAN ON THIS NOTICE, BY 4:00 PM, THURSDAY, OCTOBER 29, 2015.

THE COMMITTEE OF ADJUSTMENT & MINOR VARIANCES

The role of the Committee of Adjustment is to provide flexibility in dealing with minor adjustments to zoning by-law requirements. To approve such variances, the Committee must be satisfied that:

- the variance requested is minor;
- the proposal is desirable for the appropriate development or use of the land and/or building;
- the general intent and purpose of the City's Zoning Code and/or By-law are maintained; and
- the general intent and purpose of the Official Plan are maintained.

The Committee of Adjustment forms its opinion through its detailed review of all material filed with an application, letters received, deputations made at the public hearing and results of site inspections.

MAKING YOUR VIEWS KNOWN

The notice has been mailed to you, as required by the *Planning Act*, to ensure that, as an interested person, you may make your views known by:

- **Attending the Public Hearing.** Attendant Care Services can be made available with some advance notice.
- **Sending a letter by Mail, E-mail, or Fax.** Information you choose to disclose in your correspondence will be used to receive your views on the relevant issue(s) to enable the Committee to make its decision on this matter. This information will become part of the public record.

If you do not attend the public hearing, or express your views in writing, the Committee may make a decision in

your absence, and may recommend changes to the proposal

TO VIEW THE MATERIALS IN THE APPLICATION FILE

Attend the Committee of Adjustment office at the above address Monday to Friday, 8:30 a.m. to 4:30 p.m. The standard fee will apply to any materials photocopied.

RECEIVING A COPY OF THE COMMITTEE'S DECISION

- The Committee will announce its decision on the application at the Public Hearing.
- To receive a copy of the Decision, fill out the Decision Request Form at our office or at the Public Hearing or write a letter requesting a copy of the Decision and send it to our office.
- If you wish to appeal a Decision of the Committee to the Ontario Municipal Board, you must file your written request for a decision with the Deputy Secretary-Treasurer.

CONTACT

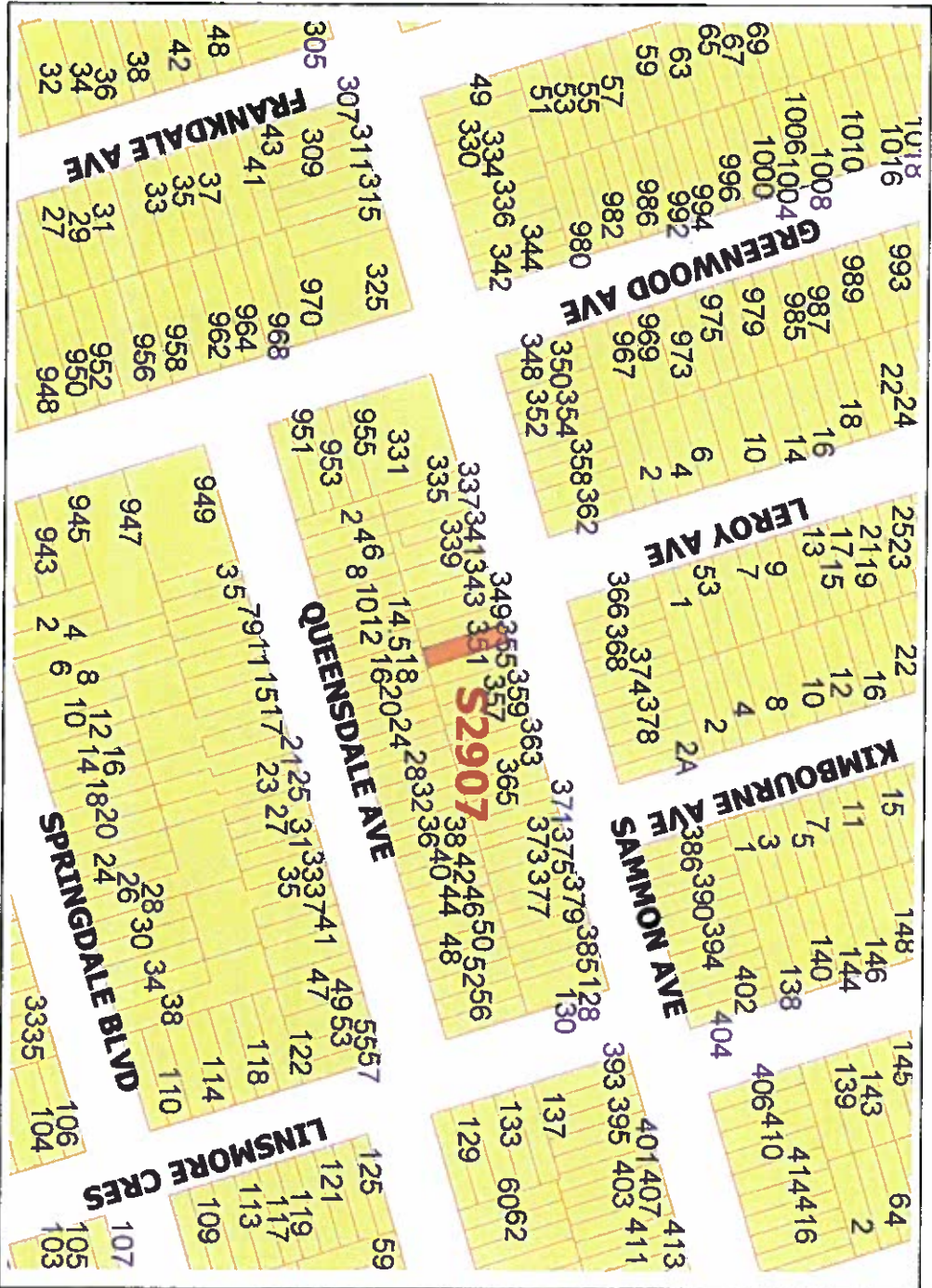
Robert Ursini, Application Technician

Tel. No.: 416-397-7771

Email: rursini@toronto.ca

351 Sammon Ave

A0756/15TEY



Date: Jul 31 2015

City of Toronto

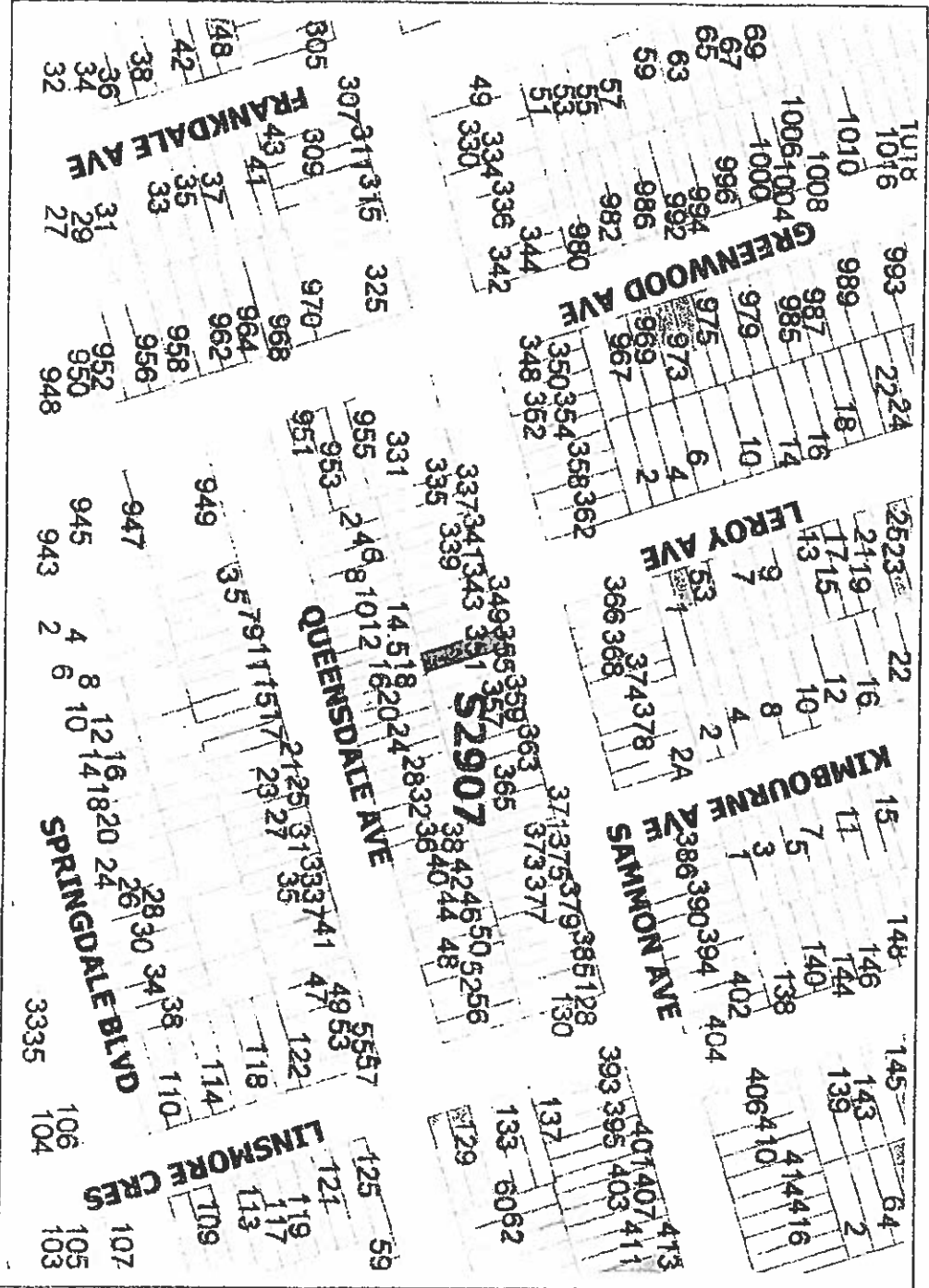


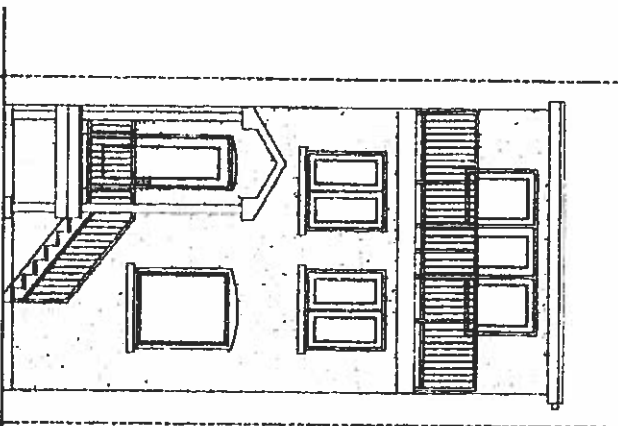
Author

Committee of Adjustment

351 Sammon Ave

A0756/15TEY





RECEIVED
OCT 09 2015
COMMITTEE OF
ADJUSTMENT

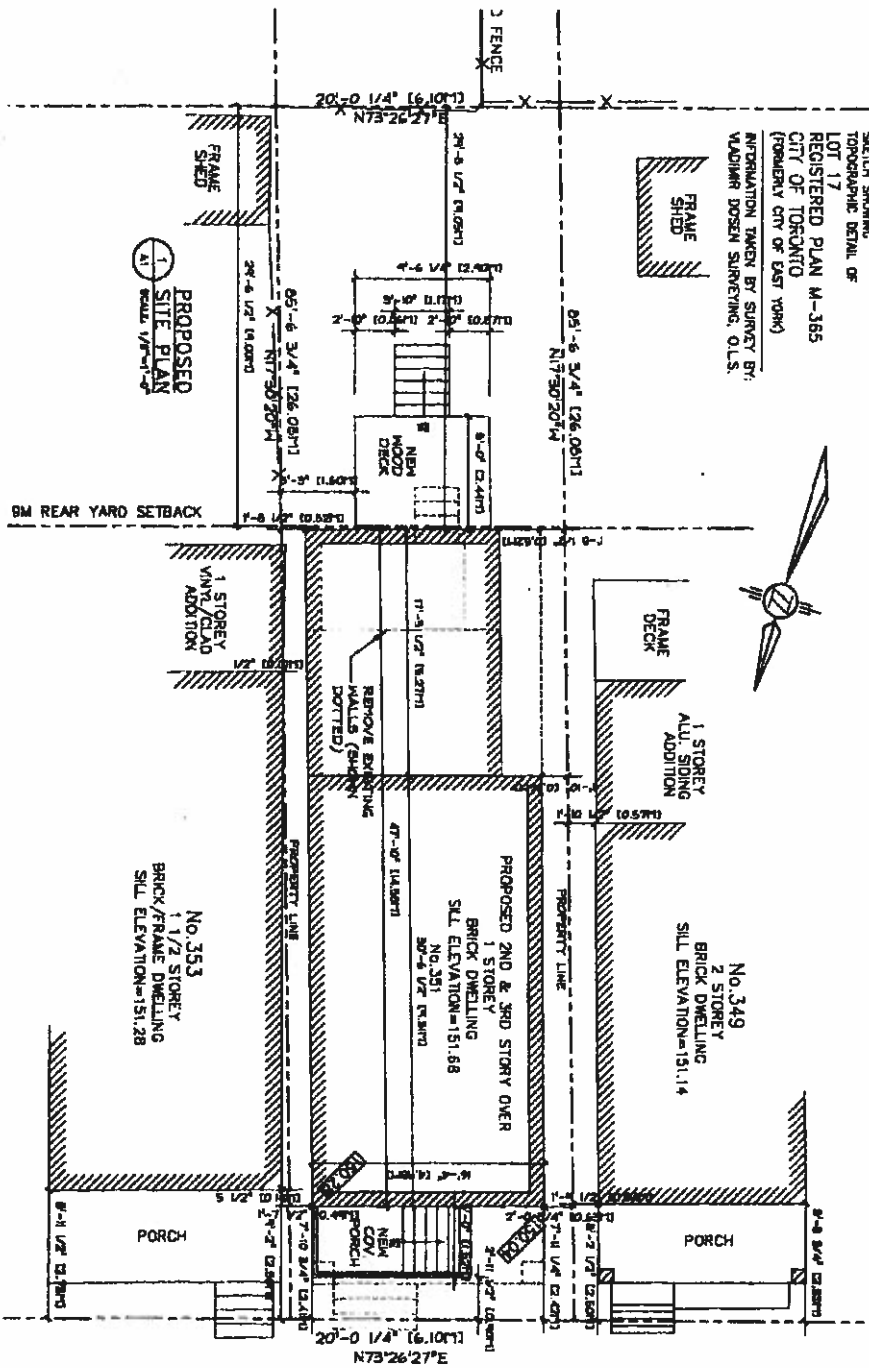
**351 SAMMON AVENUE, EAST YORK
PROPOSED NEW 2-STY OVER EXISTING 1- STY, NEW 2-STY
REAR ADDITION AND INERIOR ALTERATIONS**

LIST OF DRAWINGS

RE-ISSUED FOR ZONING REVIEW OCT. 9, 2015

- | | | | |
|----|----------------------------|-----|---|
| A1 | PROPOSED SITE PLAN | A7 | PROPOSED FRONT (NORTH) ELEVATION |
| A2 | PROPOSED BASEMENT PLAN | | AND REAR (SOUTH) ELEVATION |
| A3 | PROPOSED GROUND FLOOR PLAN | A7a | APPROVED & PROPOSED FRONT (NORTH) ELEVATION |
| A4 | PROPOSED SECOND FLOOR | A8 | PROPOSED SIDE (EAST) ELEVATION |
| A5 | PROPOSED THIRD FLOOR | A9 | PROPOSED SIDE (WEST) ELEVATION |
| A6 | PROPOSED ROOF PLAN | | |

SKETCH SHOWING
 TOPOGRAPHIC DETAIL OF
 LOT 17
 REGISTERED PLAN M-365
 CITY OF TORONTO
 (FORMERLY CITY OF EAST YORK)
 INFORMATION TAKEN BY SURVEY BY:
 VADIMIR DOSEN SURVEYING, O.L.S.



SAMMON AVENUE

TOP OF CURB
 CONCRETE SIDEWALK

RECEIVED
 OCT 09 2015
 COMMITTEE OF
 ADJUSTMENT

LEM CAD CONSULTANTS
 617 COSBUEN AVENUE, Toronto, Ontario, M4C 2V9
 PHONE: (416) 405-8184 FAX: (416) 405-7460

PROJECT: PROPOSED NEW 2-STY OVER EXISTING. & INT. ALT.

LOCATION: 351 SAMMON AVENUE, EAST YORK	DWG. BY: ZK	CK'D BY: LM	APP. BY:	DATE: OCT. 9, 2015
JOB NO.:	DWG. NO.: A1 OF A13	CADD-NAME: 140522	ORIENTATION	

A1



ADDITIONAL SITE STATISTICS

	PROVIDED	REQUIRED
TOTAL FRONT YARD AREA	= 70.54 SQFT (6.55 SQ.M.)	
AREA #1 DRIVEWAY AREA	100%	50%
PROPOSED FRONT YARD LANDSCAPING	= 70.54 SQFT (6.55 SQ.M.)	
AREA #2 PROPOSED HARD LANDSCAPING	= 14.79 SQFT (1.37 SQ.M.)	75%
AREA #3 + #4 PROPOSED SOFT LANDSCAPING	= 55.75 SQFT (5.18 SQ.M.)	
TOTAL REAR YARD AREA	= 547.04 SQFT (50.46 SQ.M.)	
AREA #1 PROPOSED HARD LANDSCAPING	= 16.13 SQFT (1.50 SQ.M.)	
AREA #2 PROPOSED SOFT LANDSCAPING	= 581.3 SQFT (54.00 SQ.M.)	50%
FLOOR AREA	PROVIDED	PLANNED
COVERAGES	T. 54 SQ.M. 1.07%	77.8 SQ.M. 1.08%
MAX. BUILDING HEIGHT	72.81 SQ.M. 4.6%	79.74 SQ.M. 50.2%
MAX. BUILDING DEPTH	9.65M	8.50M
MIN. FRONT YARD SETBACK (FROM PROPERTY LINE)	14.58M	16.75M
MIN. REAR YARD	PROVIDED	PLANNED
SIDE YARD SETBACK (WEST)	2.42M	6.0M
SIDE YARD SETBACK (EAST)	9.05M	9.00M
	0.56M	0.90M
	0.52M	0.90M

SITE STATISTICS			
LOT AREA = 1111.8 SQFT (102.97 SQ.M.)			
EXISTING	PROPOSED	TOTAL	
GROUND FLOOR	448.20 SQFT (41.30 SQ.M.)	78.16 SQFT (7.24 SQ.M.)	526.36 SQFT (48.54 SQ.M.)
SECOND FLOOR	78.27 SQFT (7.26 SQ.M.)	78.27 SQFT (7.26 SQ.M.)	156.54 SQFT (14.52 SQ.M.)
THIRD FLOOR	84.02 SQFT (7.76 SQ.M.)	84.02 SQFT (7.76 SQ.M.)	168.04 SQFT (15.52 SQ.M.)
TOTAL	610.49 SQFT (56.32 SQ.M.)	220.45 SQFT (20.46 SQ.M.)	830.94 SQFT (76.78 SQ.M.)
COVERAGES	EXISTING	PROPOSED	TOTAL
SECOND FLOOR	78.27 SQFT (7.26 SQ.M.)	78.27 SQFT (7.26 SQ.M.)	156.54 SQFT (14.52 SQ.M.)
COVERED PORCH	82.08 SQFT (7.60 SQ.M.)	78.27 SQFT (7.26 SQ.M.)	160.35 SQFT (14.86 SQ.M.)
TOTAL	160.35 SQFT (14.86 SQ.M.)	156.54 SQFT (14.52 SQ.M.)	316.89 SQFT (29.38 SQ.M.)

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OCT 09 2015
COMMITTEE OF
ADJUSTMENT

LEM CAD CONSULTANTS

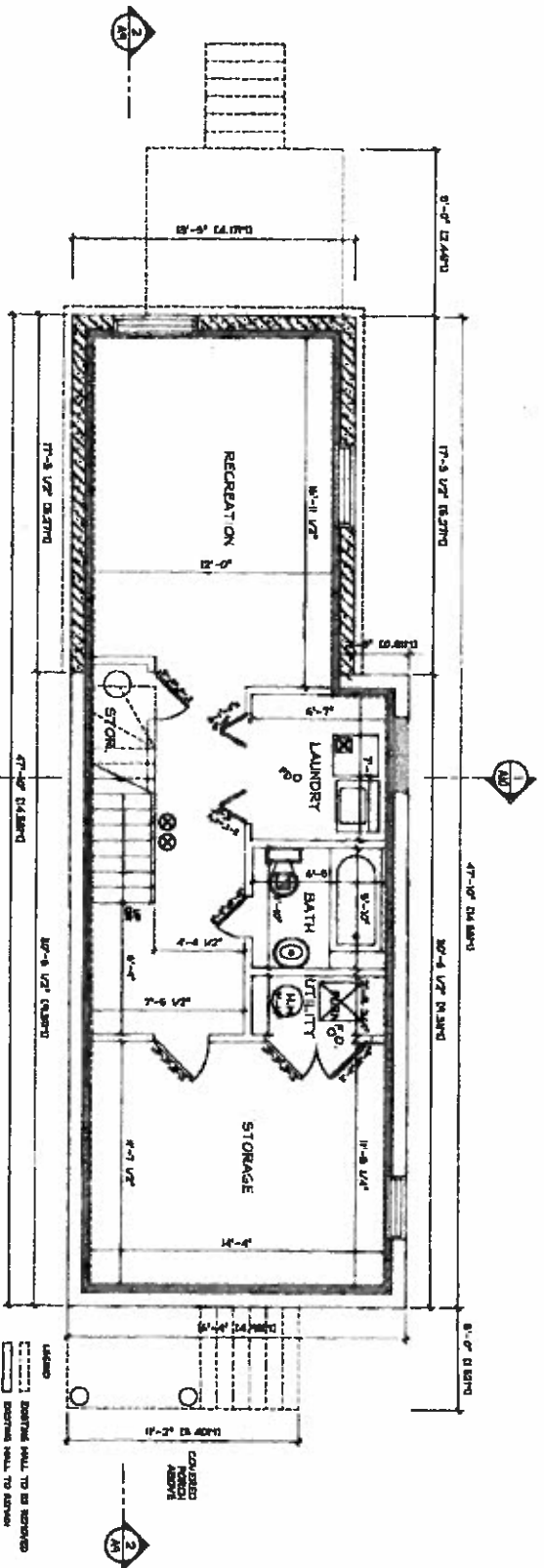
817 COBURN AVENUE, Toronto, Ontario M4C 2V9
PHONE: (416) 405-8164 FAX: (416) 405-9401

PROJECT: PROPOSED NEW 2-STY OVER EXISTING, & INT. ALT.
LOCATION: 351 SAUMON AVENUE, EAST YORK

DWG. BY: ZK CKD BY: LM APP. BY: DATE: OCT. 9, 2015

JOB NO.: DWG. NO.: 110 OF 115 CADD-NAME: 140522

ORIENTATION



PROPOSED
BASEMENT PLAN
SCALE: 3/16"=1'-0"

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COMMITTEE OF
ADJUSTMENT


LEM CAD CONSULTANTS
617 COSEBURN AVENUE, Toronto, Ontario M4C 2V4
PHONE: (416) 405-8164 FAX: (416) 405-9601

PROJECT: PROPOSED NEW 2-STY OVER EXISTING, & INT. ALT.

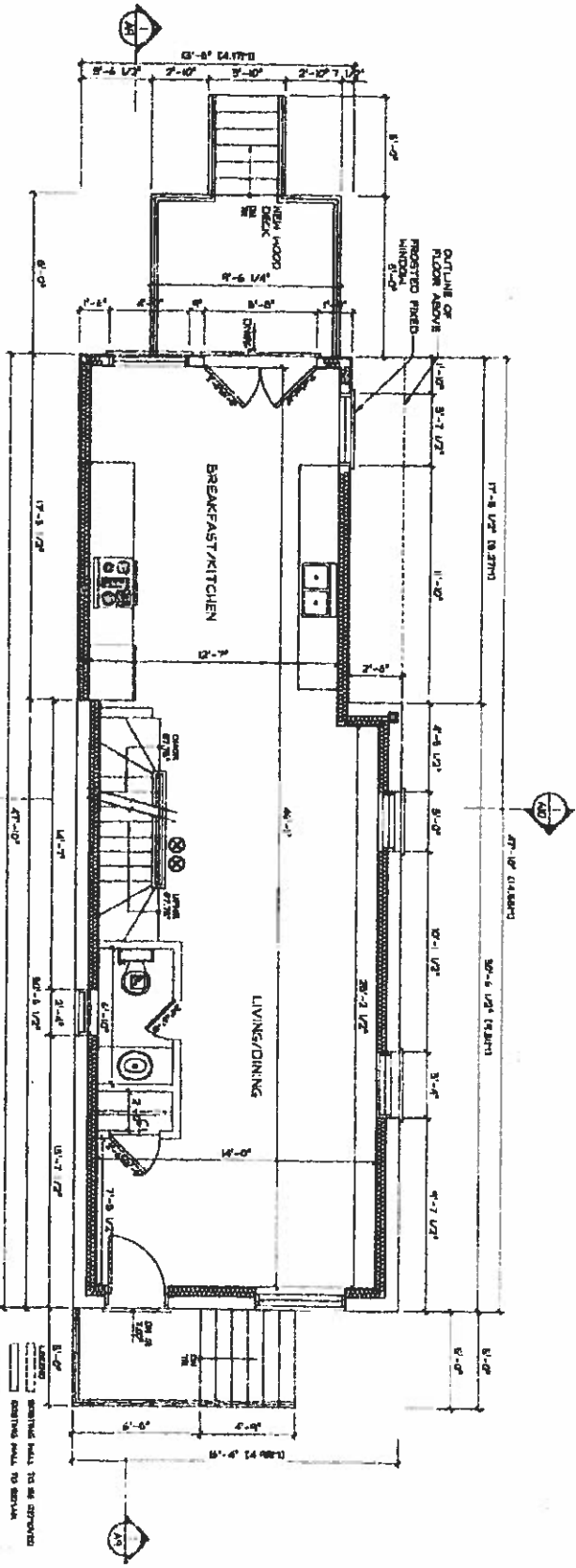
LOCATION: 351 SAMMON AVENUE, EAST YORK

DWG. BY: ZK CR'D BY: LM APP. BY: DATE: OCT. 9, 2015

JOB NO.: DWG. NO.: A2 OF A15 CAD-NAME: 140522

ORIENTATION 

- LEGEND
- DOORING WALL TO BE REMOVED
 - DOORING WALL TO REMAIN
 - NEW DOOR TO REMAIN
 - NEW DOOR TO MATCH EXISTING
 - EXISTING DOOR TO BE REMOVED
 - EXISTING DOOR TO REMAIN
 - NEW DOOR TO MATCH EXISTING



PROPOSED
GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

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OCT 09 2015
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ADJUSTMENT

LEM CAD CONSULTANTS
617 COSBURN AVENUE, Toronto, Ontario M4C 2V4
PHONE: (416) 405-8164 FAX: (416) 405-9601

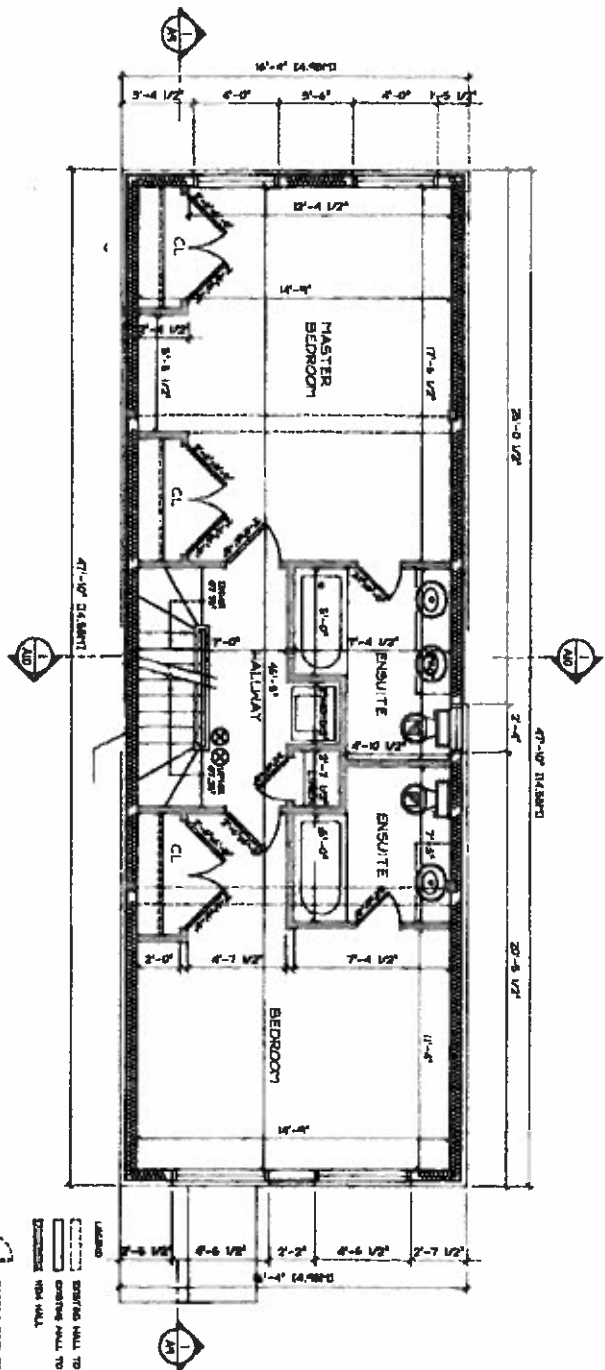
PROJECT: PROPOSED NEW 2-STY OVER EXISTING, & INT. ALT.
LOCATION: 351 SAMMON AVENUE, EAST YORK

DWG. BY: ZK	OX'D BY: LM	APP. BY:	DATE: OCT. 9, 2015
JOB NO.:	DWG. NO.: A3 OF A15	CADD-WARC: 140522	

ORIENTATION

EXISTING DOOR TO BE REWORKED
EXISTING WINDOWS TO BE REPAIRED
NEW DOOR TO MATCH EXISTING

EXISTING WALLS TO BE DEMOLISHED
EXISTING WALLS TO BE REPAIRED
EXISTING WALLS TO BE REPAIRED
EXISTING WALLS TO BE REPAIRED



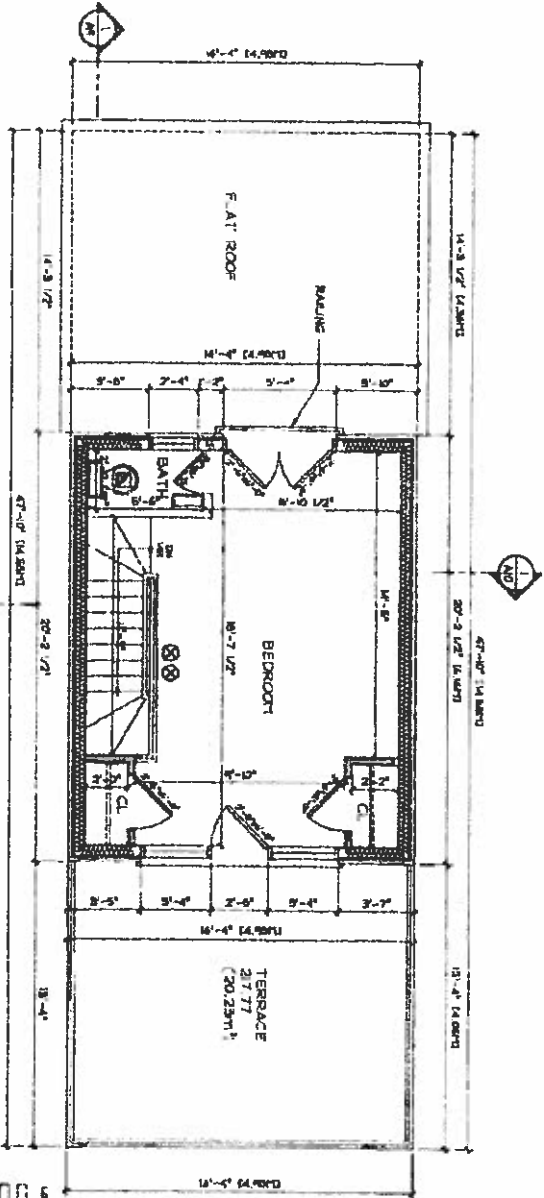
PROPOSED
1 SECOND FLOOR PLAN
 SCALE: 1/8"=1'-0"

RECEIVED
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 ADJUSTMENT

LEMCAD CONSULTANTS	
617 COBURN AVENUE, Toronto, Ontario M4C 2V9 PHONE: (416) 405-8164 FAX: (416) 405-8601	
PROJECT: PROPOSED NEW 2-STY OVER EXISTING, & INT. ALT.	
LOCATION: 351 SAMMON AVENUE, EAST YORK	
DWG. BY: ZK	CK'D BY: LM
APP. BY:	DATE: OCT. 9, 2015
JOB NO.:	DWG. NO.: A4 OF A15
	CADD-NAME: 140522
ORIENTATION	

- STARTED HALL TO BE ADJUSTED
- EXISTING HALL TO REMAIN
- NEW HALL
- EXISTING DOOR TO REMAIN
- NEW DOOR TO MATCH EXISTING

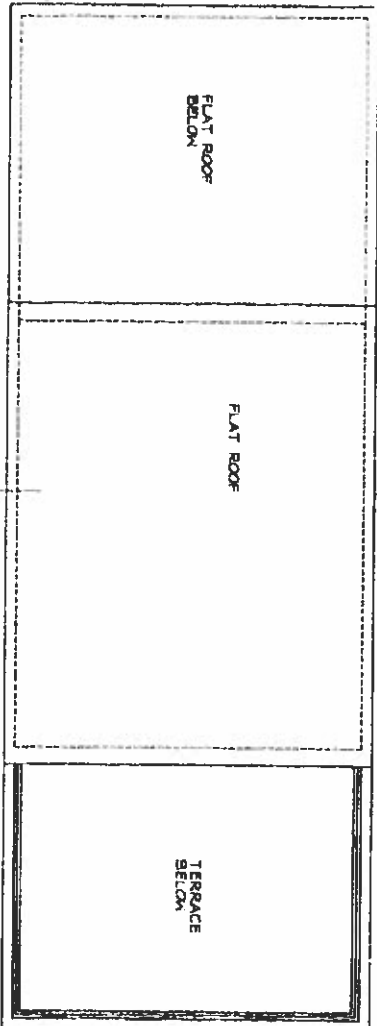
PROPOSED
THIRD FLOOR PLAN



- EXISTING WALL TO BE REFINISHED
- EXISTING WALL TO BE REMOVED
- EXISTING DOOR TO BE REPLACED
- NEW WALL
- EXISTING DOOR TO BE RELOCATED
- NEW DOOR TO EXISTING OPENING

RECEIVED
OCT 09 2015
COMMITTEE OF
ADJUSTMENT

LEMCAD CONSULTANTS			
817 COSBURN AVENUE, Toronto, Ontario M4C 2V9 PHONE: (416) 405-8164 FAX: (416) 405-9601			
PROJECT: PROPOSED NEW 2-STY OVER EXISTING, & INT. ALT.			
AS	LOCATION: 351 SAMMON AVENUE, EAST YORK	DWG. BY: ZK	CHK'D BY: LM
JOB NO.:	DWE. NO.: AS OF A15	APP. BY:	DATE: OCT. 9, 2015
CAD: WAC: 140522		ORIENTATION	

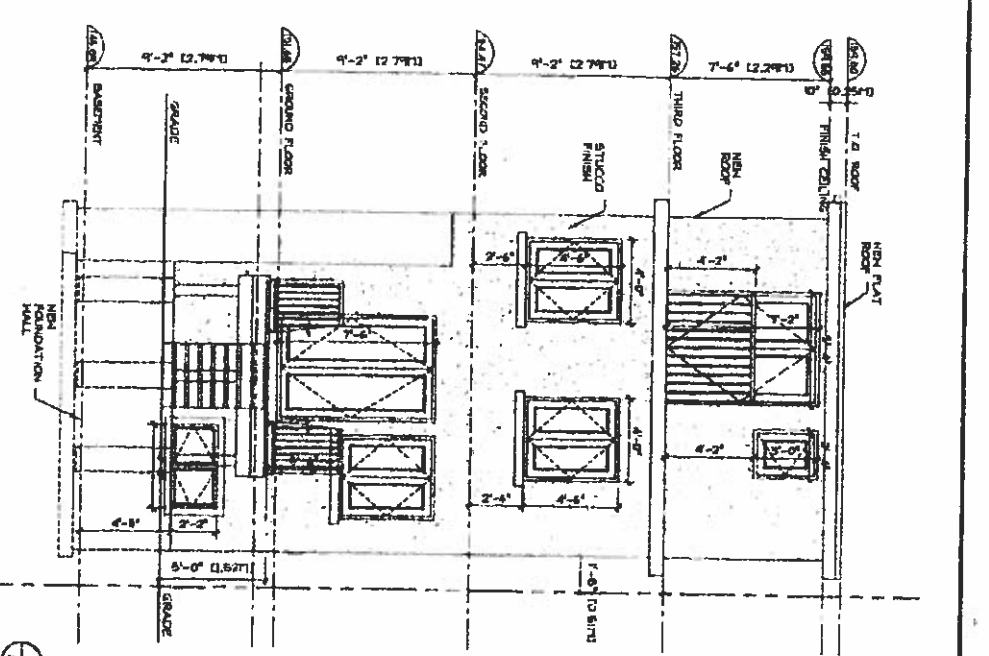
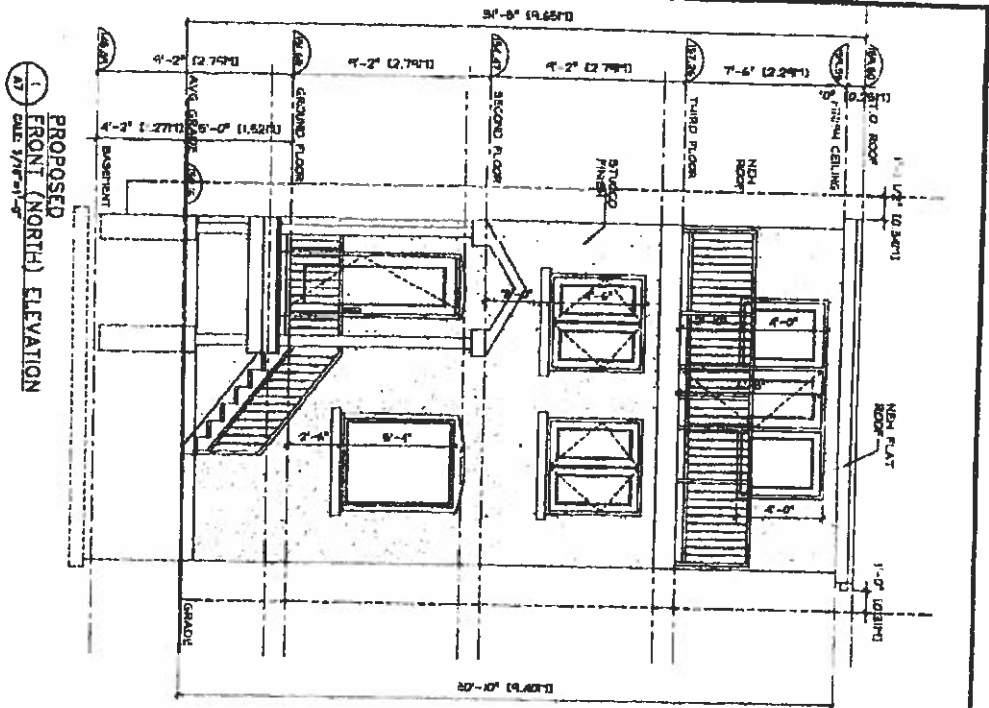


PROPOSED
ROOF PLAN
Scale: 3/16"=1'-0"

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COMMITTEE OF
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LEM CAD CONSULTANTS			
617 COBURN AVENUE, Toronto, Ontario M4C 2V9 PHONE: (416) 405-8164 FAX: (416) 405-9660			
PROJECT: PROPOSED NEW 2-STY OVER EXISTING, & INT. ALT.			
LOCATION: 351 SAMMON AVENUE, EAST YORK			
DWG. BY: ZK	CK'D BY: LM	APP. BY:	DATE: OCT. 9, 2015
JOB NO.:	DWG. NO.: A6 OF A15		CADD-NAME: 140522
A6			ORIENTATION



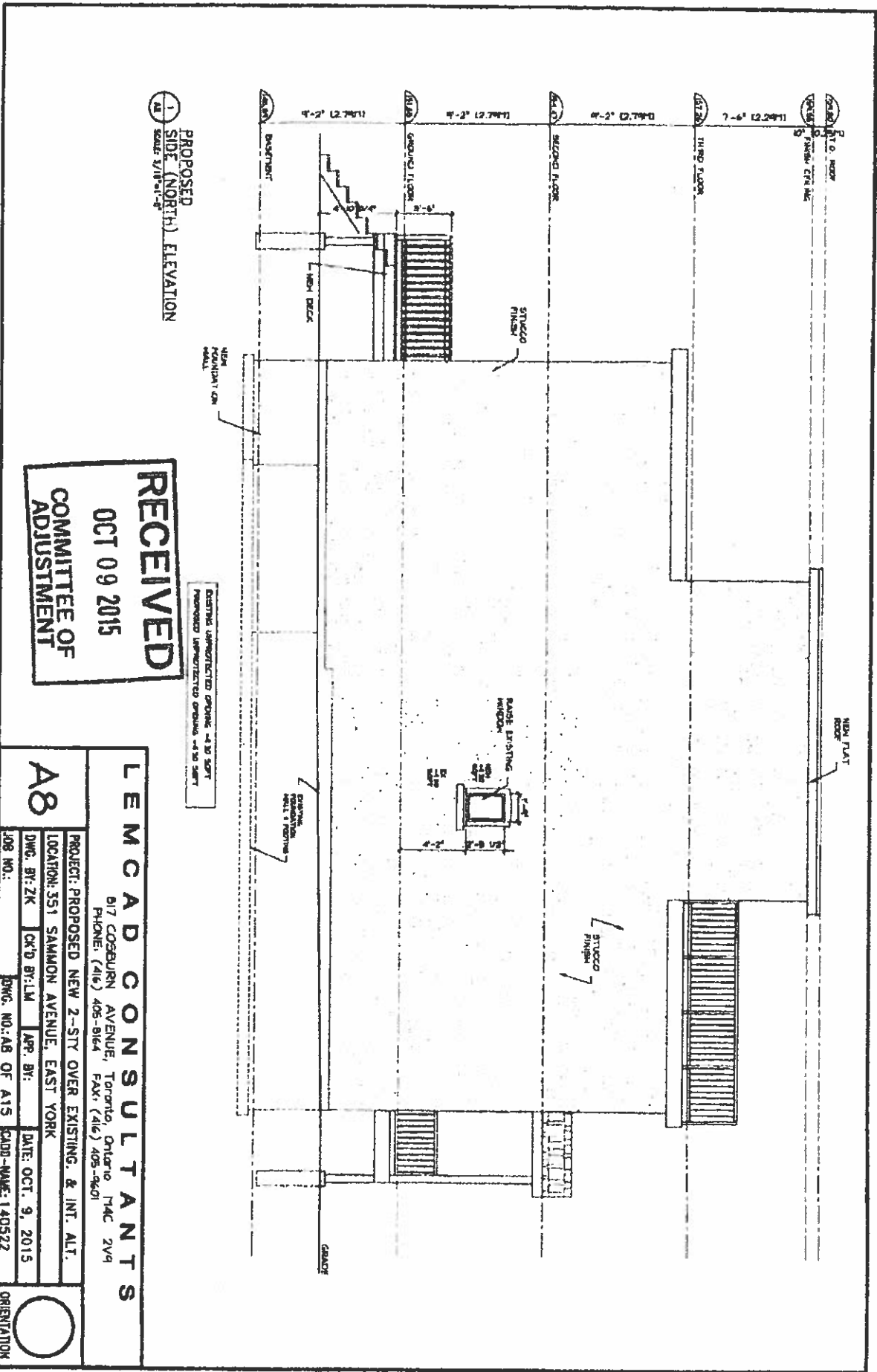


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OCT 09 2015
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ADJUSTMENT

PROPOSED
REAR (SOUTH) ELEVATION
DATE: 10/1/15

PROPOSED
FRONT (NORTH) ELEVATION
DATE: 10/1/15

LEMCAD CONSULTANTS			
817 COBURN AVENUE, Toronto, Ontario M4C 2V9 PHONE: (416) 405-8164 FAX: (416) 405-9601			
PROJECT: PROPOSED NEW 2-STY OVER EXISTING, & INT. ALT.			
LOCATION: 351 SAMMON AVENUE, EAST YORK			
A7	DWG. BY: ZK	CR'D BY: LM	APP. BY:
JOB NO.:	DWG. NO.: A7 OF A15	DATE: OCT. 9, 2015	CADD-NAME: 140522
			ORIENTATION

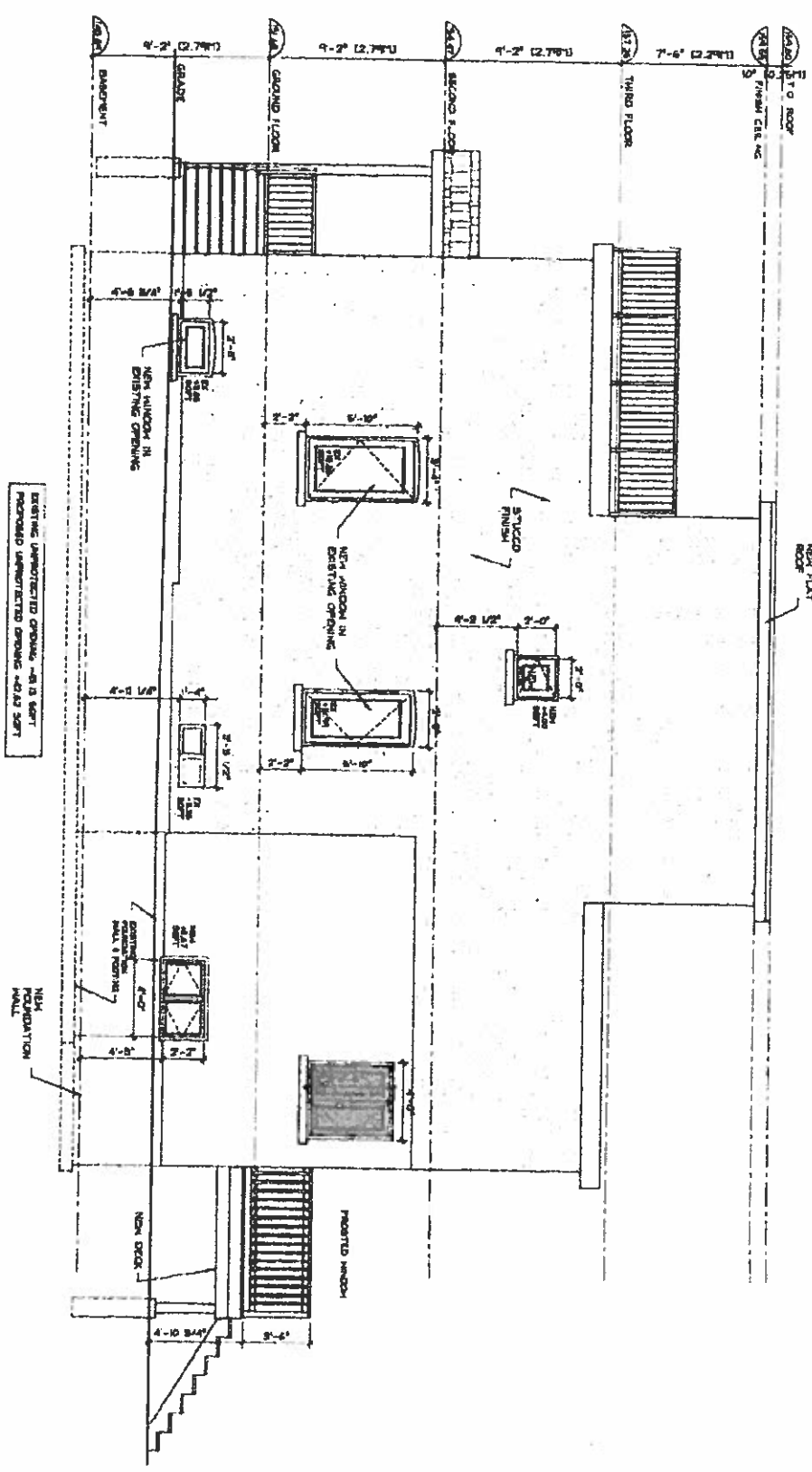


PROPOSED
SIDE (NORTH) ELEVATION
SCALE 3/16" = 1'-0"

RECEIVED
OCT 09 2015
COMMITTEE OF
ADJUSTMENT

EXISTING UNPROJECTED GRADING -4.30 SORT
PROPOSED UNPROJECTED GRADING -4.30 SORT

A8		LEMCAD CONSULTANTS	
		817 COSEBURN AVENUE, Toronto, Ontario M4C 2V9 PHONE: (416) 405-8164 FAX: (416) 405-9601	
PROJECT: PROPOSED NEW 2-STY OVER EXISTING. & INT. ALT.		DATE: OCT. 9, 2015	
LOCATION: 351 SAMMON AVENUE, EAST YORK	DWG. BY: ZK	CHK'D BY: LM	APP. BY:
JOB NO.:	DWG. NO.: A8 OF A15		CADD-NAME: 140522
ORIENTATION			



PROPOSED
SIDE (SOUTH) ELEVATION

RECEIVED
OCT 09 2015
COMMITTEE OF
ADJUSTMENT

LEM CAD CONSULTANTS
 8/7 COSBURN AVENUE, Toronto, Ontario M4C 2V9
 PHONE (416) 463-8664 FAX: (416) 463-9601

PROJECT: PROPOSED NEW 2-STY OVER EXISTING, & INT. ALT.
 LOCATION: 351 SAMMON AVENUE, EAST YORK

DWG. BY: ZK CTD BY: LM APP. BY: DATE: OCT. 9, 2015

JOB NO.: DWG. NO.: AS OF A15 CADD-NAME: 140522

A9

ORIENTATION