

Mailed on/before: Sunday, November 8, 2015

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Wednesday, November 18, 2015 at 9:30 a.m.

LOCATION: Committee Room 2, Second Floor, Toronto City Hall, 100 Queen St W, M5H 2N2

File Number:	A0847/15TEY	Zoning	RD (f6.0; a185; d0.75) (ZZC)
Owner(s):	FRANCO TEMPRILE	Ward	Toronto-Danforth (29)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	7 CHILTON RD	Community:	East York
Legal Description:	PLAN M513 PT LOT 107 PT LOT 108		

PURPOSE OF THE APPLICATION:

To alter the existing one-storey detached dwelling by constructing a complete second storey addition, a rear two-storey addition, and new second storey front and rear decks.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law 569-2013**
The maximum permitted lot coverage is 35% of the lot area (85.13 m²).
The lot coverage will be equal to 50.1% of the lot area (124.03 m²).
- Chapter 10.20.40.10.(1)(A), By-law 569-2013**
The maximum permitted building height is 8.5 m.
The altered detached dwelling will have a height of 8.95 m.
- Chapter 10.20.40.10.(2)(A), By-law 569-2013**
The maximum permitted height of all front and rear exterior main walls is 7.0 m.
The height of the front exterior main walls will be 8.6 m and the height of the rear exterior main walls will be 7.23 m.
- Chapter 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a detached dwelling is 0.75 times the area of the lot (182.42 m²).
The altered detached dwelling will have a floor space index equal to 1.19 times the area of the lot (289.78 m²).

5. **Chapter 10.5.40.60.(1)(B), By-law 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor higher than the first floor of the building above established grade may encroach into the required front yard setback 1.5 m if it is no closer to a side lot line than the required side yard setback.
The front second storey deck will encroach 1.55 m into the required front yard setback.
6. **Chapter 10.5.40.60.(7), By-law 569-2013**
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.
The roof eaves will be located 0.06 m from the south side lot line.
7. **Chapter 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of each platform located at or above the second storey of a dwelling is 4.0 m².
The area of the front second storey deck will be 4.87 m², and the area of the rear second storey deck will be 11.04 m².
1. **Section 7.4.3, By-law 6752**
The maximum permitted building height is 8.5 m.
The altered detached dwelling will have a height of 8.95 m.
2. **Section 7.4.3, By-law 6752**
The maximum permitted lot coverage is 35% of the lot area (85.13 m²).
The lot coverage will be equal to 51.77% of the lot area (125.92 m²).
3. **Section 7.4.3, By-law 6752**
The maximum permitted floor space index of a detached dwelling is 0.75 times the area of the lot (182.42 m²).
The altered detached dwelling will have a floor space index equal to 1.19 times the area of the lot (289.78 m²).
4. **Section 7.1.1, By-law 6752**
An addition may retain the side yard setback of the existing dwelling, but in no case shall the building be located closer to a side lot line than 0.45 m.
The altered detached dwelling will be located 0.3 m from the south side lot line.
5. **Section 5.6, By-law 6752**
Steps or stairs required for access to the first storey of a building may encroach into any yard, provided the steps or stairs are set back a minimum of 1.5 m from any lot line adjacent to the street.
The front stairs will be located 0.71 m from the west front lot line adjacent to a street.

THE COMMITTEE OF ADJUSTMENT & MINOR VARIANCES

The role of the Committee of Adjustment is to provide flexibility in dealing with minor adjustments to zoning by-law requirements. To approve such variances, the Committee must be satisfied that:

- the variance requested is minor;
- the proposal is desirable for the appropriate development or use of the land and/or building;
- the general intent and purpose of the City's Zoning Code and/or By-law are maintained; and

- the general intent and purpose of the Official Plan are maintained.

The Committee of Adjustment forms its opinion through its detailed review of all material filed with an application, letters received, deputations made at the public hearing and results of site inspections.

MAKING YOUR VIEWS KNOWN

The notice has been mailed to you, as required by the *Planning Act*, to ensure that, as an interested person, you may make your views known by:

- **Attending the Public Hearing.** Attendant Care Services can be made available with some advance notice.
- **Sending a letter by Mail, E-mail, or Fax.** Information you choose to disclose in your correspondence will be used to receive your views on the relevant issue(s) to enable the Committee to make its decision on this matter. This information will become part of the public record.

If you do not attend the public hearing, or express your views in writing, the Committee may make a decision in your absence, and may recommend changes to the proposal

TO VIEW THE MATERIALS IN THE APPLICATION FILE

Attend the Committee of Adjustment office at the above address Monday to Friday, 8:30 a.m. to 4:30 p.m. The standard fee will apply to any materials photocopied.

RECEIVING A COPY OF THE COMMITTEE'S DECISION

- The Committee will announce its decision on the application at the Public Hearing
- To receive a copy of the Decision, fill out the Decision Request Form at our office or at the Public Hearing or write a letter requesting a copy of the Decision and send it to our office.
- If you wish to appeal a Decision of the Committee to the Ontario Municipal Board, you must file your written request for a decision with the Deputy Secretary-Treasurer.

CONTACT

Jason Bragg, Application Technician
Tel. No. 416-392-0097
Email: jbragg2@toronto.ca

31-M513

PART 2 - REPORT SUMMARY

DESCRIPTION OF LAND
 PART OF LOTS 107 AND 108, REGISTERED PLAN M513 KNOWN AS MUNICIPAL NO. 7 CHILTON ROAD, CITY OF TORONTO
REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY
 SUBJECT TO AND TOGETHER WITH A RIGHT-OF-WAY AS IN LOT No. (E108051)
ADDITIONAL COMMENTS
 NOTE THE LOCATION OF THE VARIOUS FIXES WITH RESPECT TO PROPERTY LOTS
 NOTE THE EXTENT OF THE EASES OF No. 3 CHILTON ROAD WITH RESPECT TO THE SOUTH PROPERTY (LOT)

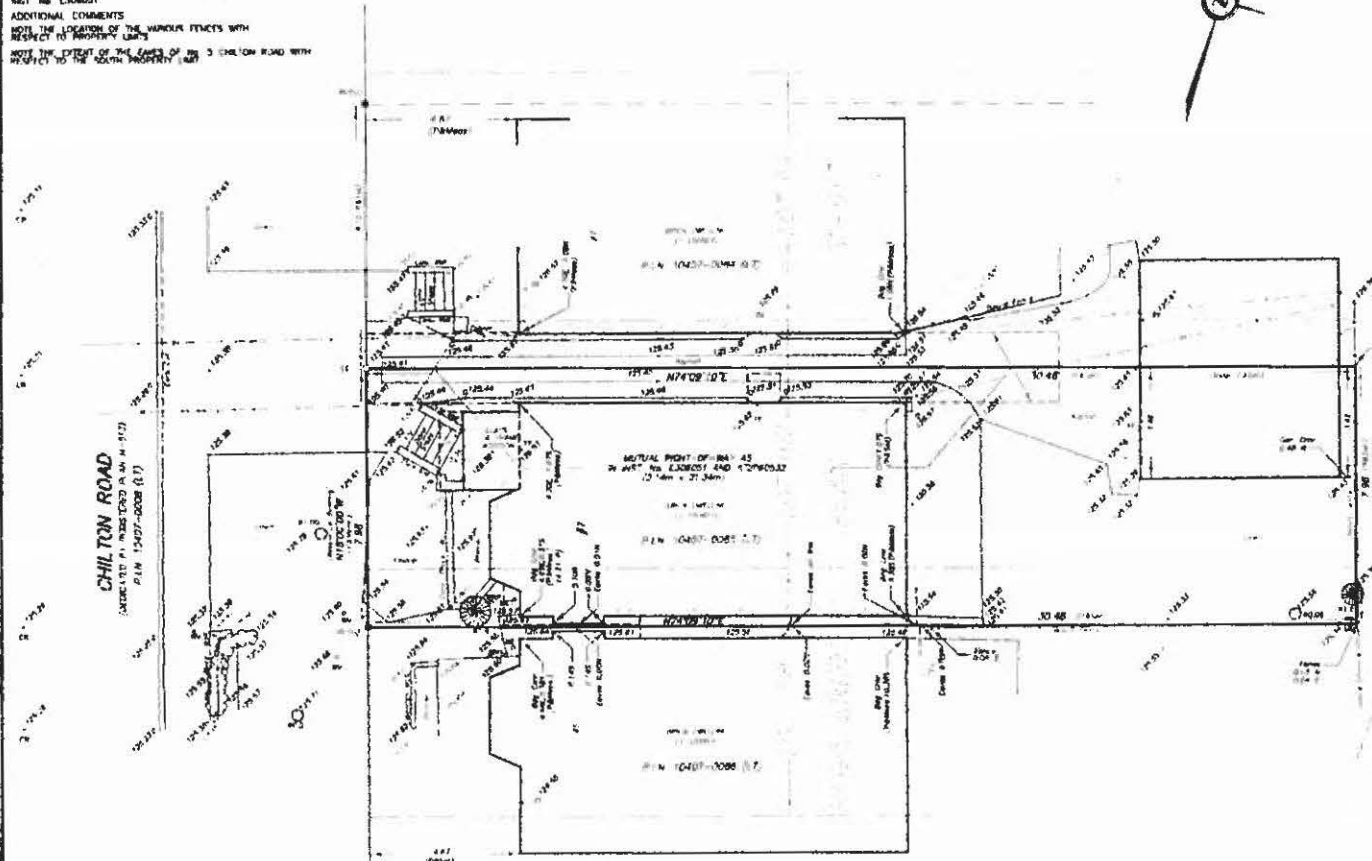
SURVEYOR'S REAL PROPERTY REPORT

PART 1 - PLAN OF SURVEY WITH TOPOGRAPHY OF PART OF LOTS 107 AND 108 REGISTERED PLAN M513 CITY OF TORONTO

SCALE 1 : 100

SPEIGHT, VAN NOSTRAND & GIBSON LIMITED
 ONTARIO LAND SURVEYORS

C. THE PROFESSIONAL LAND SURVEYORS ACT, R.S.O. 1990, CHAPTER S. 5, SECTION 27(1) AND (2) AND THE LAND SURVEYORS REGULATION, R.R.O. 1990, CHAPTER S. 5, SECTION 27(1) AND (2)



ELEVATION NOTE

ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM THE CITY OF TORONTO BENCHMARK No. E7-155

LOCATION

202 O'CONNOR DRIVE, 0.30 METRES NORTH OF SOUTH-EAST CORNER 0.91 METRES ABOVE GRADE.

ELEVATION

FINISHED ELEVATION = 126.984 metres

BEARING NOTE

BEARINGS ARE ASTROMERIC AND ARE REFERRED TO THE EASTERN LIMIT OF CHILTON ROAD AS SHOWN ON REGISTERED PLAN M513, HAVING A BEARING OF N19°01'00\"

METRIC NOTE

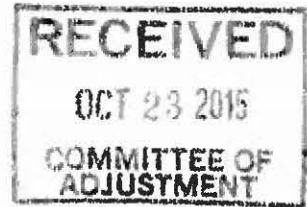
DATA AS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

- # DENOTES SURVEY MONUMENT FOUND
- WT SURVEY MONUMENT PLANTED
- S&B STANDARD IRON BAR
- SS&B SHORT STANDARD IRON BAR
- B IRON BAR
- C CUT CROSS
- CP CONCRETE PIN
- N.S.E.W. NORTH, SOUTH, EAST, WEST
- P PLAN OF SURVEY BY W. S. WINTERS & CO., O.L.S. DATED DEC. 1, 1934
- OU ORIGIN UNKNOWN
- RP REGISTERED PLAN M513
- D EASMENT
- ENR CORNER

- WV WATER VALVE
- BRN BREATHER P.P.
- NET METER
- MP METAL POLE
- OH OVERHEAD CUTTER
- G FINISHED FLOOR
- FE
- DECIDUOUS TREE
- ★ CONIFEROUS TREE
- BUSH
- CONCRETE
- STONE
- WOOD

Revised



NOTE

THIS REPORT CAN BE UPDATED BY THIS OFFICE, HOWEVER NO ADDITIONAL PRINTS OF THIS ORIGINAL REPORT WILL BE ISSUED SUBSEQUENT TO THE DATE OF CERTIFICATION. THIS REPORT WAS PREPARED FOR BORTOLOTTI DESIGN ARCHITECT INC. AND ALL OTHER PARTIES TO THE TRANSACTION.

SURVEYOR'S CERTIFICATE

CERTIFY THAT

1. THE SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON SEPTEMBER 9, 2013.

DATE: OCTOBER 16, 2015

[Signature]
 W. S. WINTERS
 F.R.S.S.

SPEIGHT, VAN NOSTRAND & GIBSON LIMITED
 ONTARIO LAND SURVEYORS
 750 DUNDAS ROAD, SUITE 85 & 86
 TORONTO, ONTARIO M5H 2T4
 TEL. 416 749-5VNC(7884) FAX 416 749-7888
 E-MAIL: Toronto@sving.on.ca

ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SURVEYORS FORM 1887785

DRAWN	A1/F.P.B.	FILE NAME	A1300248 DWG
CHECKED	L.R.	PLOT SCALE	MET 1:100
JOB No.	1X-0248	PLOTTED	
REF. No.	31-M513	UPDATED	

[Logo]
 THIS PLAN IS NOT VALID UNLESS IT IS AN UNREVISED ORIGINAL COPY ISSUED BY THE SURVEYOR



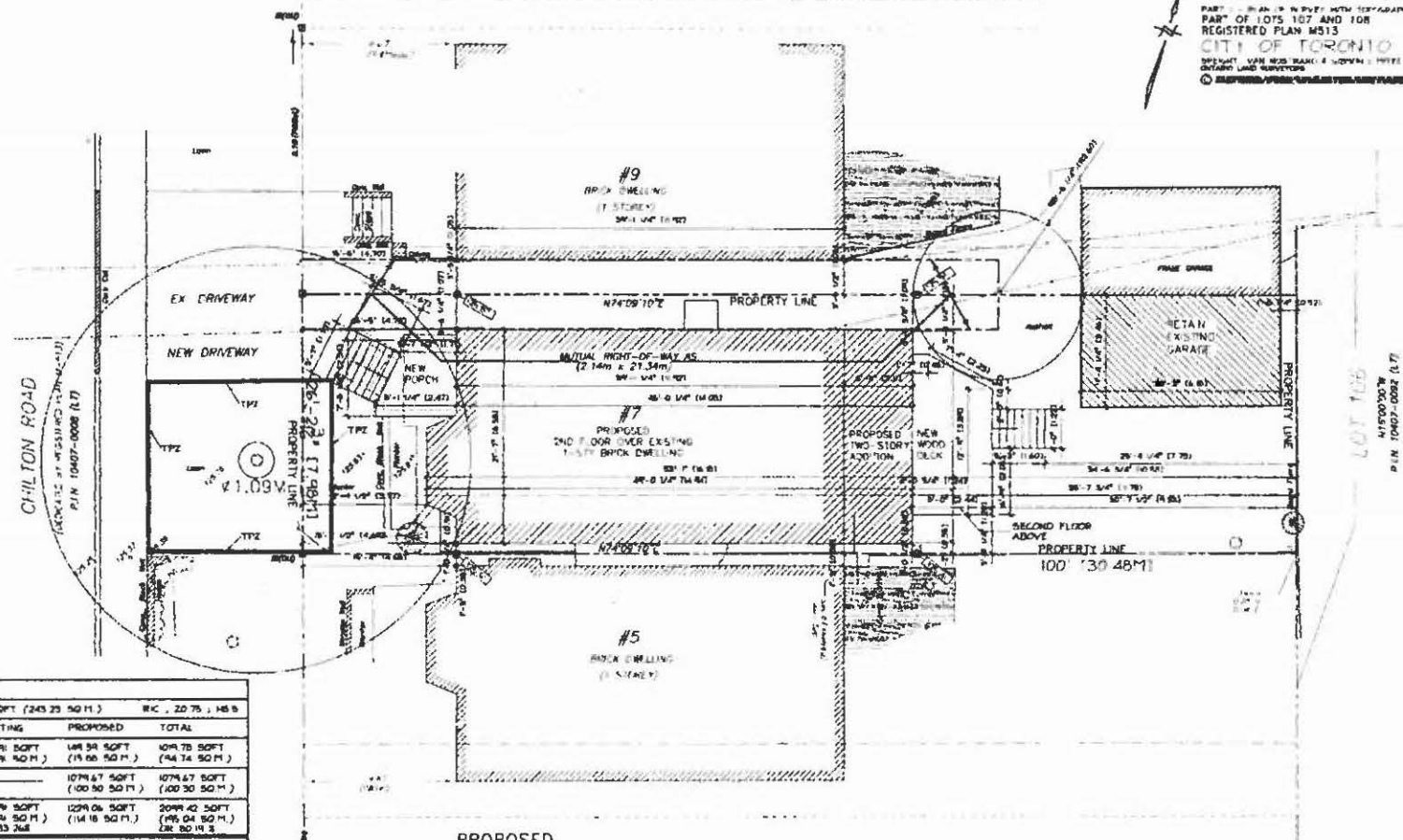
**7 CHILTON ROAD, EAST YORK
AS-BUILT NEW SECOND FLOOR
AND TWO STOREY REAR ADDITION AND INERIOR ALTERATIONS
(REVISION TO BUILDING PERMIT # 15 118161 BLD 00 SR)**

LIST OF DRAWINGS

RE-ISSUED FOR ZONING REVIEW - OCTOBER 19, 2015

- | | | | |
|-----|-----------------------------|-----|----------------------------------|
| A1 | PROPOSED SITE PLAN | A5 | PROPOSED ROOF PLAN |
| A1a | LANDSCAPE PLAN & STATISTICS | A6a | PROPOSED FRONT (NORTH) ELEVATION |
| A1b | COVERAGE CALCULATION | A6b | PROPOSED REAR (SOUTH) ELEVATION |
| A2 | PROPOSED BASEMENT PLAN | A7 | PROPOSED SITE (WEST) ELEVATION |
| A3 | PROPOSED GROUND FLOOR PLAN | A8 | PROPOSED SITE (EAST) ELEVATION |
| A4 | PROPOSED SECOND FLOOR | A9 | PROPOSED CROSS SECTION |

INFORMATION TAKEN FROM:
 SURVEYOR'S REAL PROPERTY REPORT
 PART 1 - PLAN IS IN FULL WITH CERTIFICATE OF
 PART OF LOTS 107 AND 108
 REGISTERED PLAN M513
 CITY OF TORONTO
 SURVEYOR: VAN NEEB BROS. & CO. (1974) LTD.
 ONTARIO LAND SURVEYORS
 © REGISTERED PROFESSIONAL ENGINEERS




LOT AREA = 2618.11 SQFT (243.23 SQ M.)		R.C. Z.D. 75, 145 B	
GFA	EXISTING	PROPOSED	TOTAL
GROUND	870.91 SQFT (80.94 SQ M.)	149.34 SQFT (13.86 SQ M.)	1020.25 SQFT (94.74 SQ M.)
SECOND		1079.67 SQFT (100.30 SQ M.)	1079.67 SQFT (100.30 SQ M.)
TOTAL	870.91 SQFT (80.94 SQ M.) OR 33.268	1229.01 SQFT (114.16 SQ M.)	2099.92 SQFT (194.94 SQ M.) OR 80.193
COVERAGE	EXISTING	PROPOSED	TOTAL
GROUND FLOOR	870.91 SQFT (80.94 SQ M.)	149.34 SQFT (13.86 SQ M.)	1020.25 SQFT (94.74 SQ M.)
COVERED PORCH	40.84 SQFT (3.78 SQ M.)		40.84 SQFT (3.78 SQ M.)
COVERED DECK		64.45 SQFT (5.99 SQ M.)	64.45 SQFT (5.99 SQ M.)
EXISTING GARAGE	327.40 SQFT (30.21 SQ M.)		327.40 SQFT (30.21 SQ M.)
TOTAL	1239.15 SQFT (114.94 SQ M.) OR 29.218	213.84 SQFT (19.87 SQ M.)	1452.99 SQFT (134.84 SQ M.) OR 51.648

PROPOSED
 SITE PLAN
 SCALE: 3/32"=1'-0"

Revised

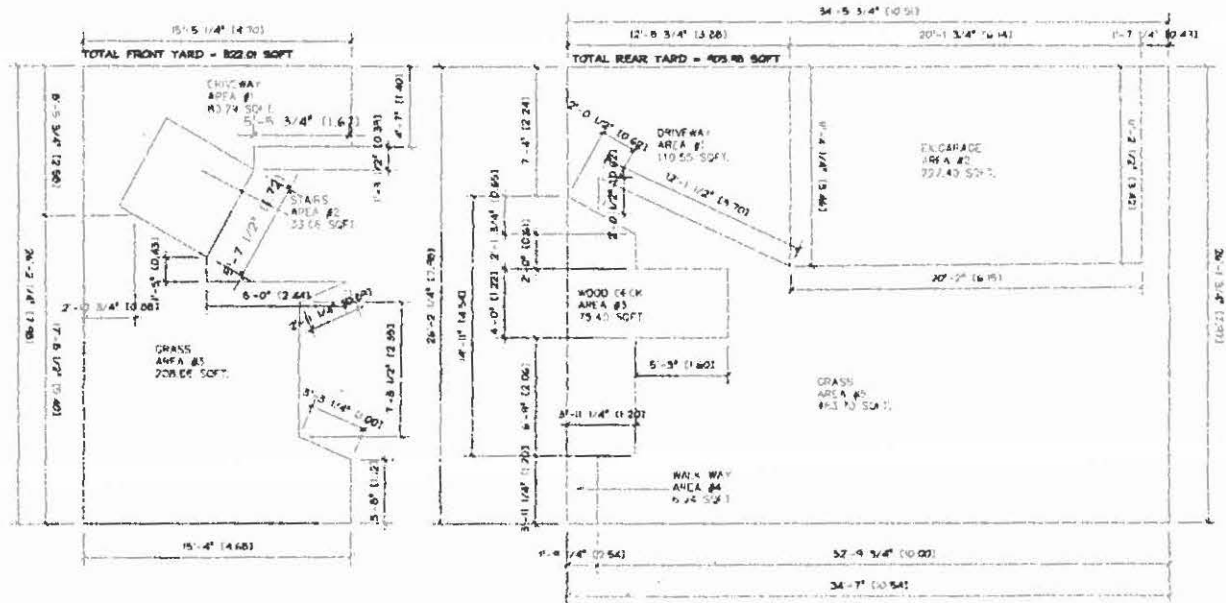
LEM CAD CONSULTANTS
 817 COSBURN AVENUE, Toronto, Ontario M4C 2V4
 PHONE: (416) 405-8164 FAX: (416) 405-9601

A1	PROJECT: RETAIN EXISTING GARAGE			 ORIENTATION	
	LOCATION: 7 CHILTON ROAD, EAST YORK				
	DWG. BY: LM	CK'D BY: LM	APP. BY:		DATE: OCT 19, 2015
	JOB NO.:	DWG. NO.: A1 OF A9	CADD-NAME: 140318		

RECEIVED
 OCT 23 2015
 COMMITTEE OF
 ADJUSTMENT

ADDITIONAL SITE STATISTICS ZONED RIC
7 CHILTON ROAD

NO.	REVISED	STANDARD
TOTAL FRONT YARD AREA	= 322.01 SQFT (2974.50 M ²)	
AREA #1 PAVED DRIVEWAY	= 50.21 SQFT (464.50 M ²)	
PROPOSED FRONT YARD LANDSCAPING	= 24.72 SQFT (228.50 M ²)	75%
AREA #2 PROPOSED HARD LAYING AREA	= 33.06 SQFT (307.50 M ²)	
AREA #3 PROPOSED SOFT LANDSCAPING	= 208.06 SQFT (1931.50 M ²)	75%
TOTAL REAR YARD AREA	= 405.90 SQFT (3765.50 M ²)	
AREA #1 + #2 + #3 + #4 PROPOSED HARD LANDSCAPING	= 420.25 SQFT (3904.50 M ²)	
AREA #5 PROPOSED SOFT LANDSCAPING	= 451.70 SQFT (4193.50 M ²)	53%
	REVISED	STANDARD
FLOOR AREA	0.00	0.75
COVERAGE	51.65%	4%
MAX. BUILDING HEIGHT	6.00M	6.00M
MAX. MAIN FLOOR	7.25M	7.00M
MAX. BUILDING LENGTH	6.00M	6.70M
	REVISED	STANDARD
LOT FRONTAGE	7.40M	6.00M
LOT AREA	248.25 SQFT	85.00 SQFT
MIN. FRONT YARD SETBACK	5.70M	6.00M
MIN. REAR YARD	10.50M	4.00M
SIDE YARD SETBACK (NORTH)	1.00M	0.90M
SIDE YARD SETBACK (SOUTH)	0.30M	0.90M
PARKING	1 SPACE	1 SPACE



1 FRONT YARD
LANDSCAPING
SCALE: N.T.S.

2 REAR YARD
LANDSCAPING
SCALE: N.T.S.

Revised

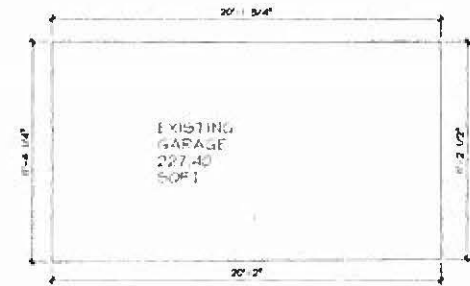
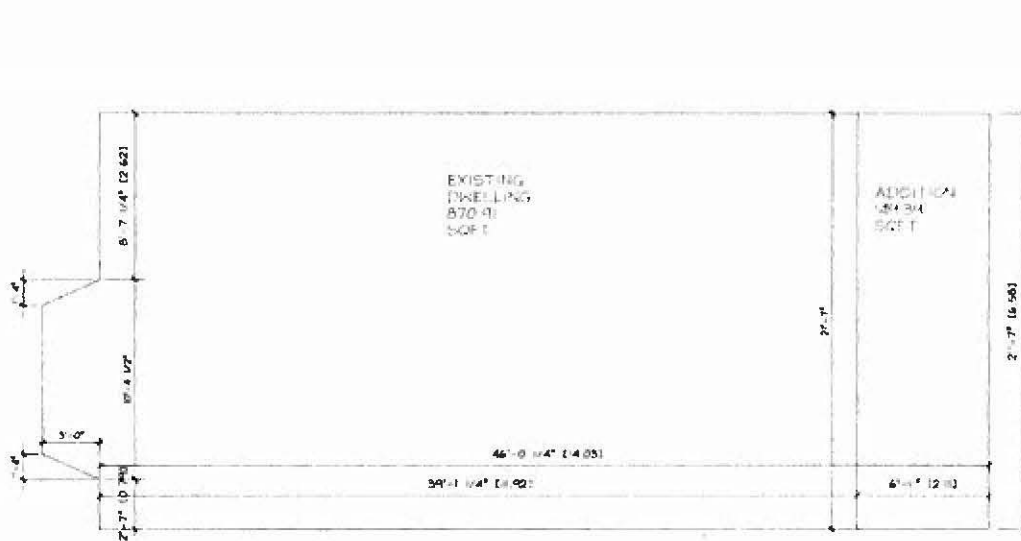
RECEIVED
OCT 23 2015
COMMITTEE OF
ADJUSTMENT

LEMCAD CONSULTANTS
817 COSBURN AVENUE, Toronto, Ontario M4C 2V9
PHONE: (416) 405-8164 FAX: (416) 405-9601

PROJECT: RETAIN EXISTING GARAGE
LOCATION: 7 CHILTON ROAD, EAST YORK

DWG. BY: LM CK'D BY: LM APP. BY: DATE: OCT 19, 2015
JOB NO.: DWG. NO.: A1a OF A9 CADD-NAME: 140318


ORIENTATION

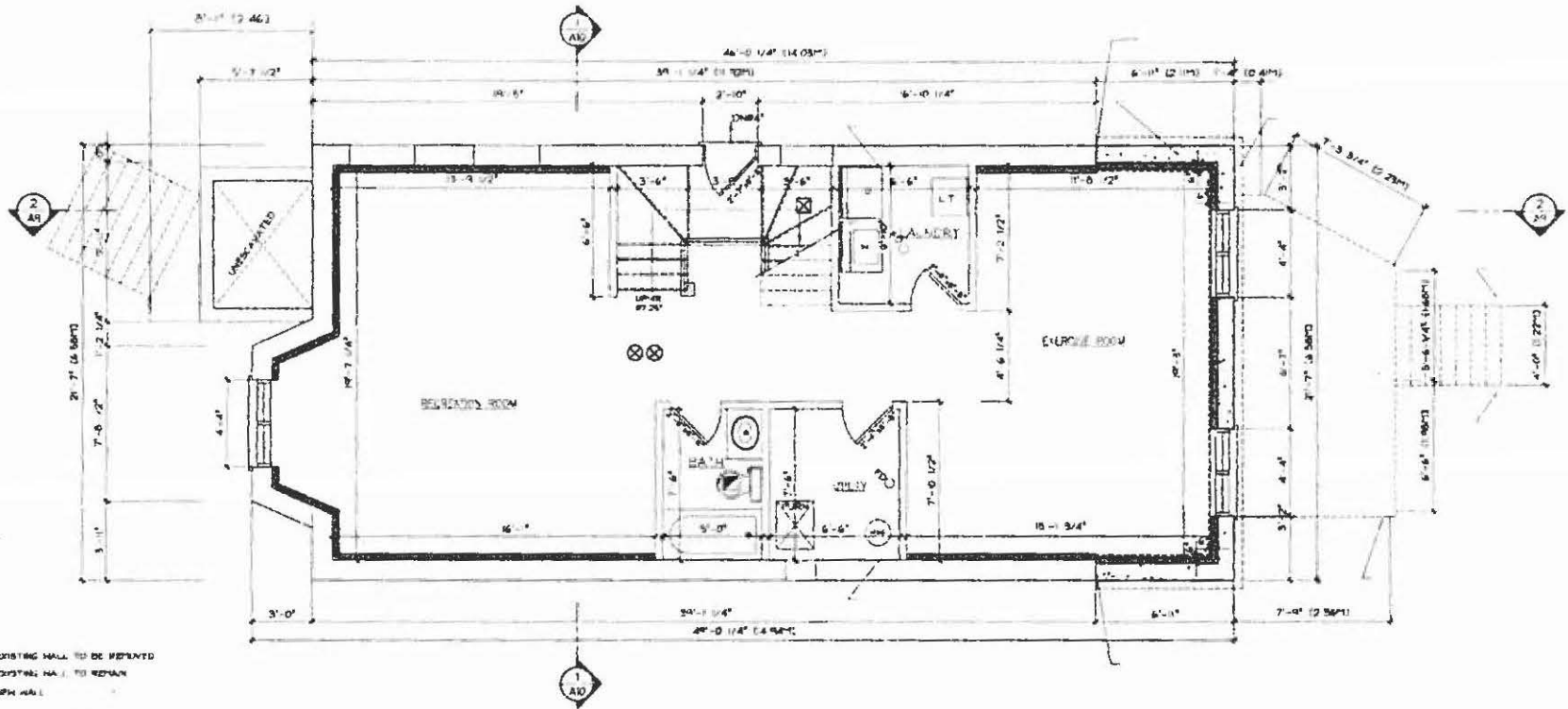


1
A1B
COVERAGE CALCULATION
SCALE: N.T.S.

Revised

RECEIVED
 OCT 23 2015
 COMMITTEE OF
 ADJUSTMENT

LEM CAD CONSULTANTS					
817 COBURN AVENUE, Toronto, Ontario M4C 2V9 PHONE: (416) 405-8164 FAX: (416) 405-9601					
A1b	PROJECT: RETAIN EXISTING GARAGE			 ORIENTATION	
	LOCATION: 7 CHILTON ROAD, EAST YORK				
	DWG. BY: LM	CK'D BY: LM	APP. BY:		DATE: OCT 19, 2015
	JOB NO.:		DWG. NO.: A1B OF A9		CADD-NAME: 14031B




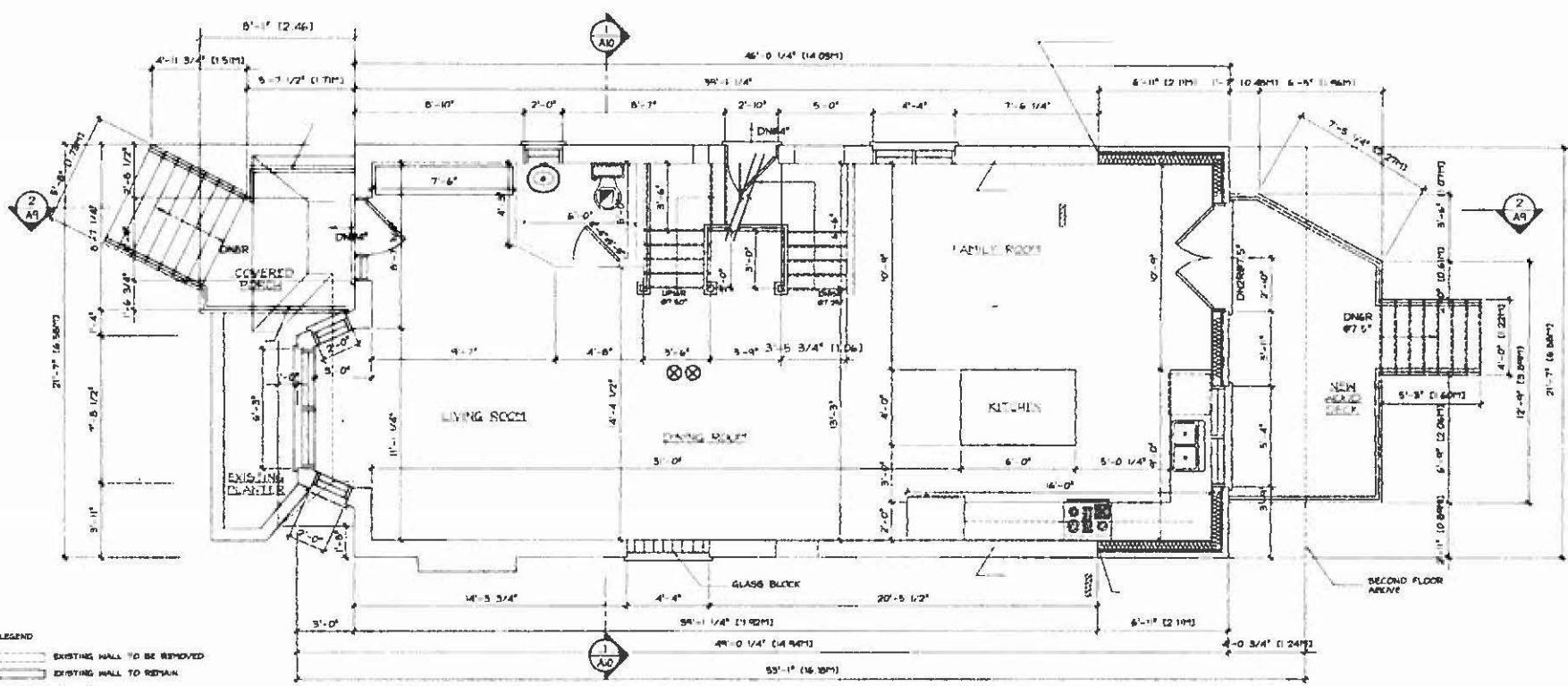
- LEGEND
- EXISTING WALL TO BE REPEATED
 - EXISTING WALL TO REMAIN
 - NEW WALL
 - EXISTING DOOR TO BE REMOVED
 - EXISTING DOOR TO REMAIN
 - NEW DOOR TO MATCH EXISTING

PROPOSED BASEMENT PLAN
SCALE: 1/16"=1'-0"

Revised

RECEIVED
OCT 29 2015
COMMITTEE OF ADJUSTMENT

LEMCAD CONSULTANTS			
817 COSBURN AVENUE, Toronto, Ontario M4C 2V9 PHONE: (416) 405-8164 FAX: (416) 405-9601			
A2	PROJECT: RETAIN EXISTING GARAGE		
	LOCATION: 7 CHILTON ROAD, EAST YORK		
	DWG. BY: LM	CK'D BY: LM	APP. BY:
JOB NO.:	DWG. NO.: A2 OF A9	DATE: OCT 19, 2015	 ORIENTATION
	CADD-NAME: 140318		



- LEGEND
- EXISTING WALL TO BE REMOVED
 - EXISTING WALL TO REMAIN
 - NEW WALL
 - EXISTING DOOR TO BE REMOVED
 - EXISTING DOOR TO REMAIN
 - NEW DOOR TO MATCH EXISTING

PROPOSED
GROUND FLOOR PLAN
SCALE: 3/16"=1'-0"

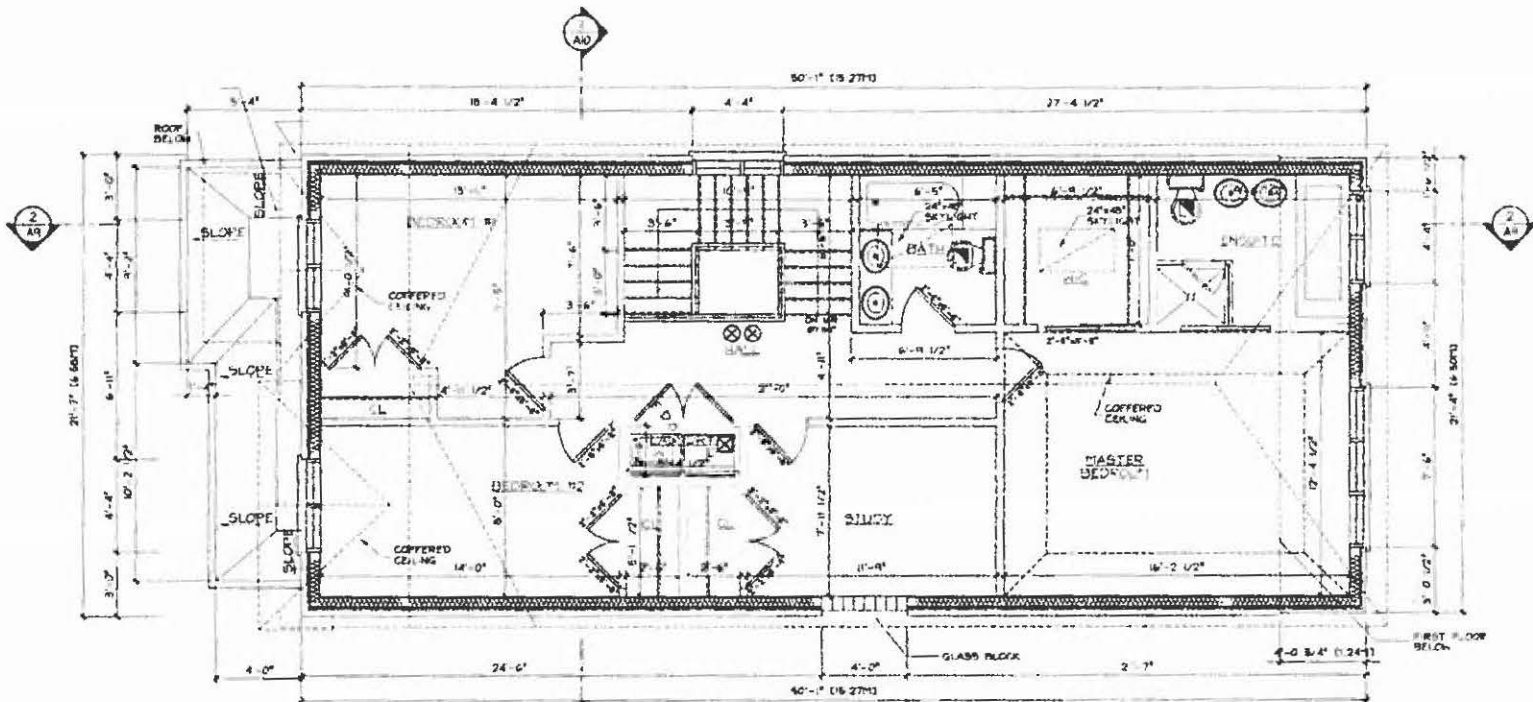
LEMCAD CONSULTANTS			
817 COSBURN AVENUE, Toronto, Ontario M4C 2V9 PHONE (416) 405-8164 FAX (416) 405-9601			
A3	PROJECT: RETAIN EXISTING GARAGE		
	LOCATION: 7 CHILTON ROAD, EAST YORK		
	DWG. BY: LM	CK'D BY: LM	APP. BY:
JOB NO.:	DWG. NO.: A3 OF A9	DATE: OCT 19, 2015	CADD-NAME: 140318
			ORIENTATION

Revised

REC'D

OCT 23 2015

COMMITTEE OF
ADJUSTMENT



- LEGEND
- EXISTING HALL TO BE RETAINED
 - EXISTING HALL TO REMAIN
 - NEW HALL
 - EXISTING DOOR TO BE REMOVED
 - EXISTING DOOR TO REMAIN
 - NEW DOOR TO MATCH EXISTING

PROPOSED
SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"

NOV 20 2015

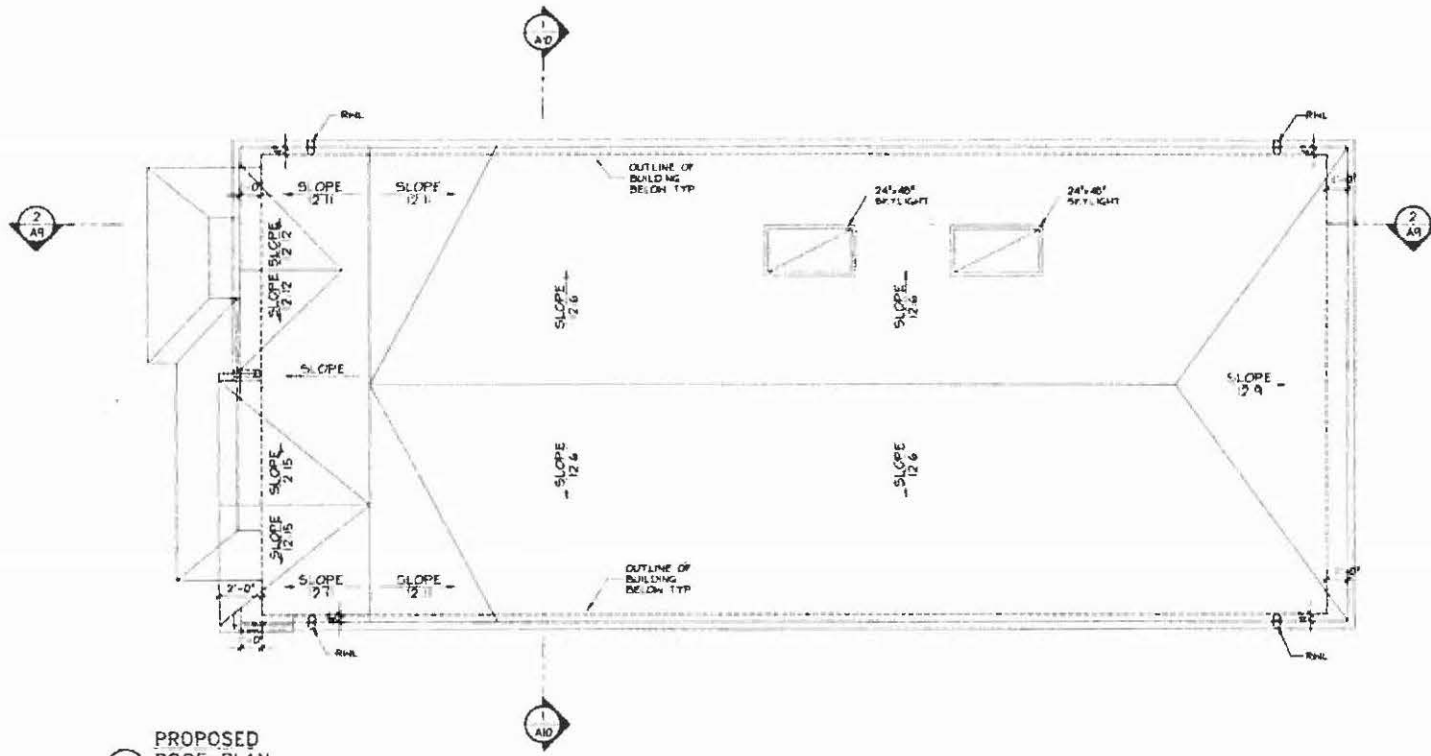
RECEIVED

OCT 28 2015

**COMMITTEE OF
ADJUSTMENT**

LEMCAD CONSULTANTS			
817 COSBURN AVENUE, Toronto, Ontario M4C 2V9 PHONE (416) 405-8164 FAX: (416) 405-9601			
A4	PROJECT: RETAIN EXISTING GARAGE		
	LOCATION: 7 CHILTON ROAD, EAST YORK		
	DWG. BY: LM	CK'D BY: LM	APP. BY:
JOB NO.:	DWG. NO.: A4 OF A9	DATE: OCT 19, 2015	CADD-NAME: 140318





1
A5
PROPOSED
ROOF PLAN
SCALE: 3/16"=1'-0"

LEMCAD CONSULTANTS

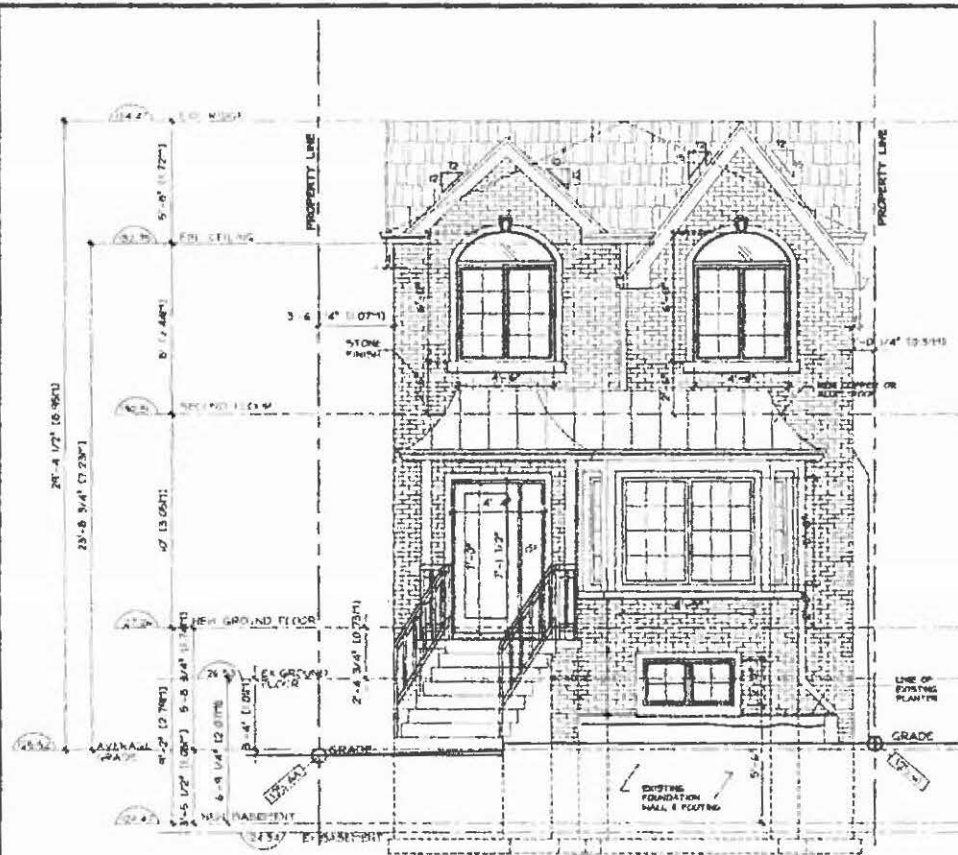
617 COSBURN AVENUE, Toronto, Ontario M4C 2V9
PHONE (416) 405-8164 FAX (416) 405-9601

PROJECT: RELIANT EXISTING GARAGE			
LOCATION: 7 CHILTON ROAD, EAST YORK			
DWG. BY: LM	CK'D BY: LM	APP. BY:	DATE: OCT 19, 2015
JOB NO.:	DWG. NO.: A5 OF A9	CADD-NAME: 140318	



ORIENTATION

Review
RECEIVED
OCT 23 2015
COMMITTEE OF
ADJUSTMENT




PROPOSED FRONT (WEST) ELEVATION
 SCALE: 3/16"=1'-0"

Reviewed

RECEIVED

OCT 23 2015

COMMITTEE OF ADJUSTMENT

LEMCAD CONSULTANTS			
817 COSBURN AVENUE, Toronto, Ontario M4C 2V9 PHONE (416) 405-8164 FAX (416) 405-4601			
PROJECT: RETAIN EXISTING GARAGE			
LOCATION: 7 CHILTON ROAD, EAST YORK			
DWG. BY: LM	CK'D BY: LM	APP. BY:	DATE: OCT 19, 2015
JOB NO.:	DWG. NO.: A6a OF A9	CADD-NAME: 140318	ORIENTATION 

A6a



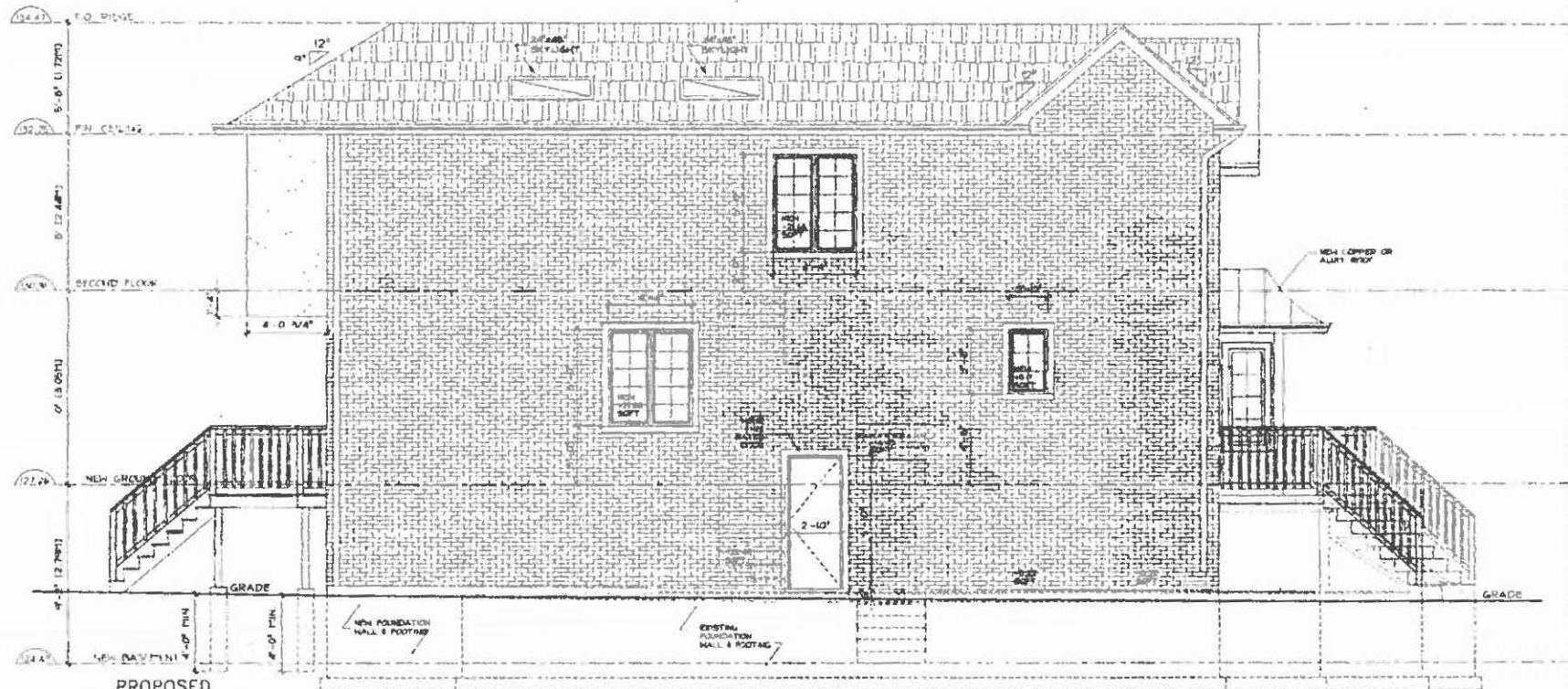
PROPOSED
 REAR (EAST) ELEVATION
 1
 A6b
 SCALE: 3/16"=1'-0"

Revised

RECEIVED
 OCT 23 2015
 COMMITTEE OF
 ADJUSTMENT

LEMCAD CONSULTANTS
 817 COSBURN AVENUE, Toronto, Ontario M4C 2V9
 PHONE: (416) 405-8164 FAX: (416) 405-9601

PROJECT: RETAIN EXISTING GARAGE			
LOCATION: 7 CHILTON ROAD, EAST YORK			
DWG. BY: LM	CK'D BY: LM	APP. BY:	DATE: OCT 19, 2015
JOB NO.:	DWG. NO.: A6b OF A9	CADD-NAME: 140318	ORIENTATION



PROPOSED
SIDE (NORTH) ELEVATION
SCALE: 3/16"=1'-0"

EXISTING UNPROTECTED OPENING = 55 3/4 SQFT
PROPOSED UNPROTECTED OPENING = 51 3/2 SQFT

LEMCAD CONSULTANTS

817 COSBURN AVENUE, Toronto, Ontario M4C 2V9
PHONE: (416) 405-8164 FAX: (416) 405-9601

PROJECT: RETAIN EXISTING GARAGE

LOCATION: 7 CHILTON ROAD, EAST YORK

DWG. BY: LM CK'D BY: LM APP. BY: DATE: OCT 19, 2015

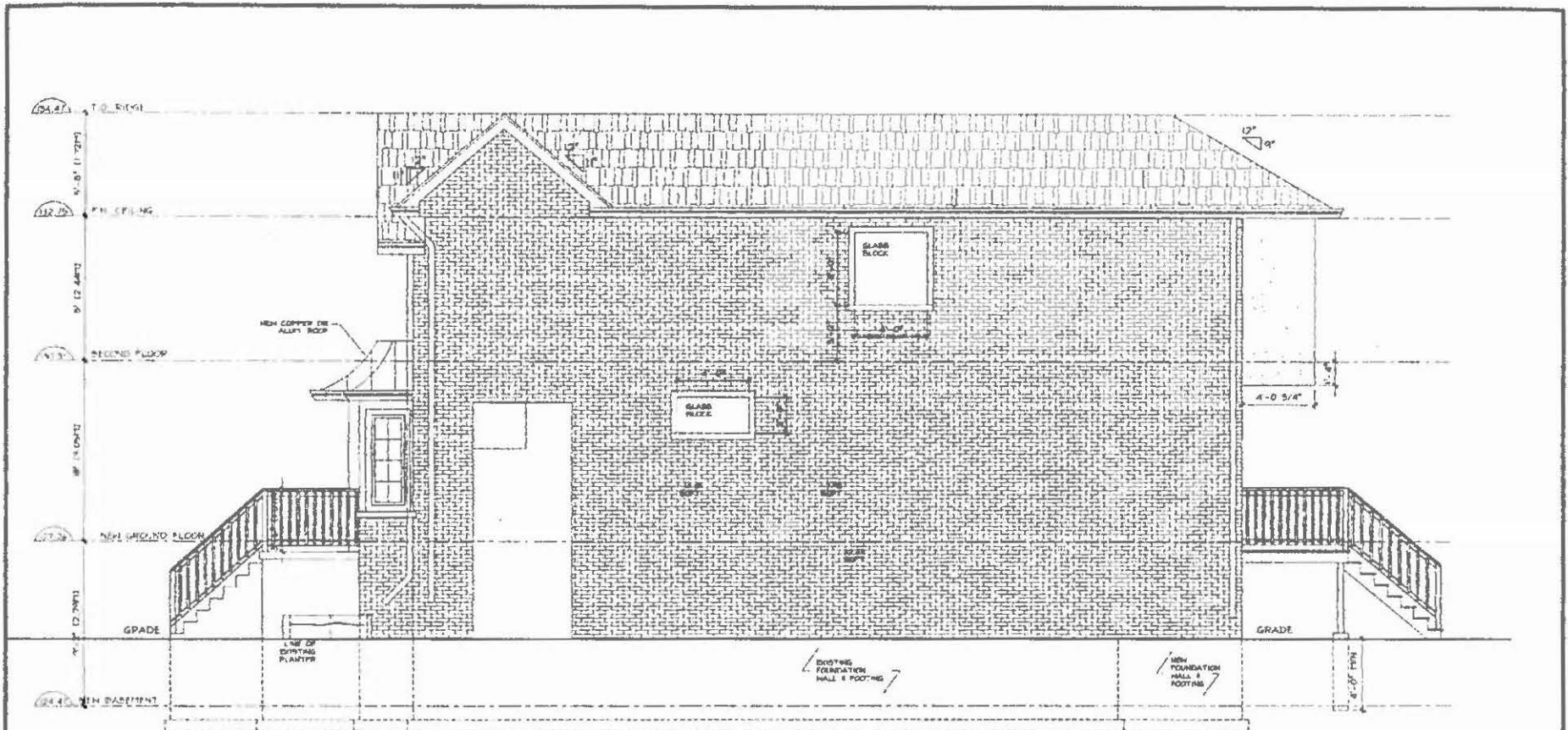
JOB NO.: DWG. NO.: A7 OF A9 CADD-NAME: 140318




ORIENTATION

Received
RECEIVED
OCT 23 2015
COMMITTEE OF
ADJUSTMENT

A7



PROPOSED
 SIDE (SOUTH) ELEVATION
 SCALE: 3/16"=1'-0"

LEM CAD CONSULTANTS					
817 COSBURN AVENUE, Toronto, Ontario M4C 2V9 PHONE: (416) 405-8164 FAX: (416) 405-9601					
A8	PROJECT: RETAIN EXISTING GARAGE			 ORIENTATION	
	LOCATION: 7 CHILTON ROAD, EAST YORK				
	DWG. BY: LM	CK'D BY: LM	APP. BY:		DATE: OCT 19, 2015
	JOB NO.:	DWG. NO.: A8 OF A9	CADD-NAME: 140318		

Reviews

RECEIVED

OCT 23 2015

COMMITTEE OF
 ADJUSTMENT



City Planning Division

Committee of Adjustment
Toronto and East York District

100 Queen Street West, 1st Floor
Toronto, Ontario M5H 2N2
Tel: 416-392-7565
Fax: 416-392-0580

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0847/15TEY	Zoning	RD (f6.0; a185; d0.75) (ZZC)
Owner(s):	FRANCO TEMPRILE	Ward:	Toronto-Danforth (29)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	7 CHILTON RD	Community:	East York
Legal Description:	PLAN M513 PT LOT 107 PT LOT 108		

Notice was given and a Public Hearing was held on **Wednesday, November 18, 2015**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing one-storey detached dwelling by constructing a complete second storey addition, a rear two-storey addition, and new second storey front and rear decks.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law 569-2013**
The maximum permitted lot coverage is 35% of the lot area (85.13 m²).
The lot coverage will be equal to 50.1% of the lot area (124.03 m²).
- 2. Chapter 10.20.40.10.(1)(A), By-law 569-2013**
The maximum permitted building height is 8.5 m.
The altered detached dwelling will have a height of 8.95 m.
- 3. Chapter 10.20.40.10.(2)(A), By-law 569-2013**
The maximum permitted height of all front and rear exterior main walls is 7.0 m.
The height of the front exterior main walls will be 8.6 m and the height of the rear exterior main walls will be 7.23 m.
- 4. Chapter 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a detached dwelling is 0.75 times the area of the lot (182.42 m²).
The altered detached dwelling will have a floor space index equal to 1.19 times the area of the lot (289.78 m²).
- 5. Chapter 10.5.40.60.(1)(B), By-law 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor higher than the first floor of the building above established grade may encroach into the required front yard setback 1.5 m if it is no closer to a side lot line than the required side yard setback.
The front second storey deck will encroach 1.55 m into the required front yard setback.

6. **Chapter 10.5.40.60.(7), By-law 569-2013**
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.
The roof eaves will be located 0.06 m from the south side lot line.
7. **Chapter 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of each platform located at or above the second storey of a dwelling is 4.0 m².
The area of the front second storey deck will be 4.87 m², and the area of the rear second storey deck will be 11.04 m².
1. **Section 7.4.3, By-law 6752**
The maximum permitted building height is 8.5 m.
The altered detached dwelling will have a height of 8.95 m
2. **Section 7.4.3, By-law 6752**
The maximum permitted lot coverage is 35% of the lot area (85.13 m²).
The lot coverage will be equal to 51.77% of the lot area (125.92 m²)
3. **Section 7.4.3, By-law 6752**
The maximum permitted floor space index of a detached dwelling is 0.75 times the area of the lot (182.42 m²).
The altered detached dwelling will have a floor space index equal to 1.19 times the area of the lot (289.78 m²).
4. **Section 7.1.1, By-law 6752**
An addition may retain the side yard setback of the existing dwelling, but in no case shall the building be located closer to a side lot line than 0.45 m.
The altered detached dwelling will be located 0.3 m from the south side lot line.
5. **Section 5.6, By-law 6752**
Steps or stairs required for access to the first storey of a building may encroach into any yard, provided the steps or stairs are set back a minimum of 1.5 m from any lot line adjacent to the street.
The front stairs will be located 0.71 m from the west front lot line adjacent to a street.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a Demolition Permit and/or Building Permit the owner shall submit, a completed Application to Injure or Destroy Trees, application fee for City or private tree(s), as construction related, a detailed Arborist Report, Tree Inventory and a Tree Protection Plan for City-owned trees of all sizes, a Site Plan, Construction details may be required, a Tree Security Deposit will may be required for all the trees that are to remain situated on the City road allowance. Please be aware that all required drawings must be legible and at a useable scale. Scaled-down faxed/photocopied copies are not acceptable.
- (2) The alterations to the dwelling described above shall be constructed substantially in accordance with the plans date stamped received by the Committee of Adjustment on October 23, 2015. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
- (3) The height of the rear deck shall be no higher than 1.0 metre above grade.
- (4) The façade materials shall be brick, in accordance with the above noted plans.
- (5) There shall not be windows on the south facing wall, save and except for the windows in the same location, size and material as shown on the plans.
- (6) The floor space index of the dwelling excluding the "basement floor" as shown on Drawing A2 of the submitted plans shall be no greater than 0.80 times the area of the lot.
- (7) The lot coverage of the detached dwelling exclusive of any detached accessory structures shall not be greater than 43.1% of the lot area under By-law 6752 and 41.6% of the lot area under By-law 569-2013.

SIGNATURE PAGE

File Number:	A0847/15TEY	Zoning	RD (f6.0; a185; d0.75) (ZZC)
Owner(s):	FRANCO TEMPRILE	Ward:	Toronto-Danforth (29)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	7 CHILTON RD	Community:	East York
Legal Description:	PLAN M513 PT LOT 107 PT LOT 108		

DISSENTED

ABSTAINED

Alex Bednar

Michael Clark

Donald Granatstein (signed)

Lisa Valentini (signed)

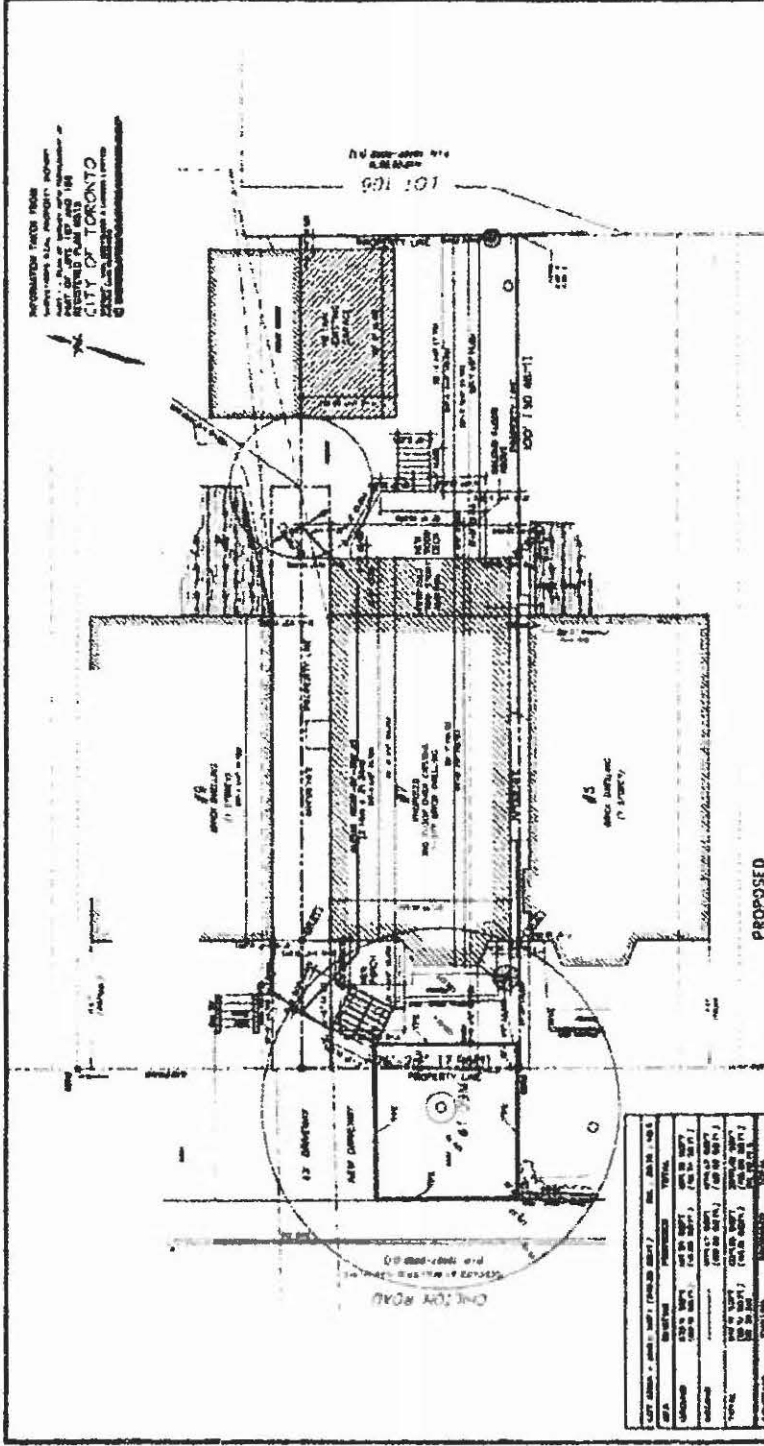
DATE DECISION MAILED ON: **TUESDAY, NOVEMBER 24, 2015**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **TUESDAY, DECEMBER 8, 2015**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$125.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca



INFORMATION FROM
 THE CITY OF TORONTO
 CITY OF TORONTO
 222 SPADINA AVENUE, 18TH FLOOR
 TORONTO, ONTARIO M5S 2C1
 TEL: (416) 392-3100 FAX: (416) 392-3101

LEM CAD CONSULTANTS
 813 COLLEGE AVENUE, TORONTO, ONTARIO M4C 2Y1
 PHONE: (416) 461-8144 FAX: (416) 461-8001

AI

PROJECT: RETAIN EXISTING GARAGE
 LOCATION: 7 CHILTON ROAD, EAST YORK
 DATE: OCT 19, 2015
 DRAWN BY: [] CHECKED BY: [] APP. BY: []
 JOB NO.: [] DWG. NO. 1 OF 10
 CADP-NAME: 140316

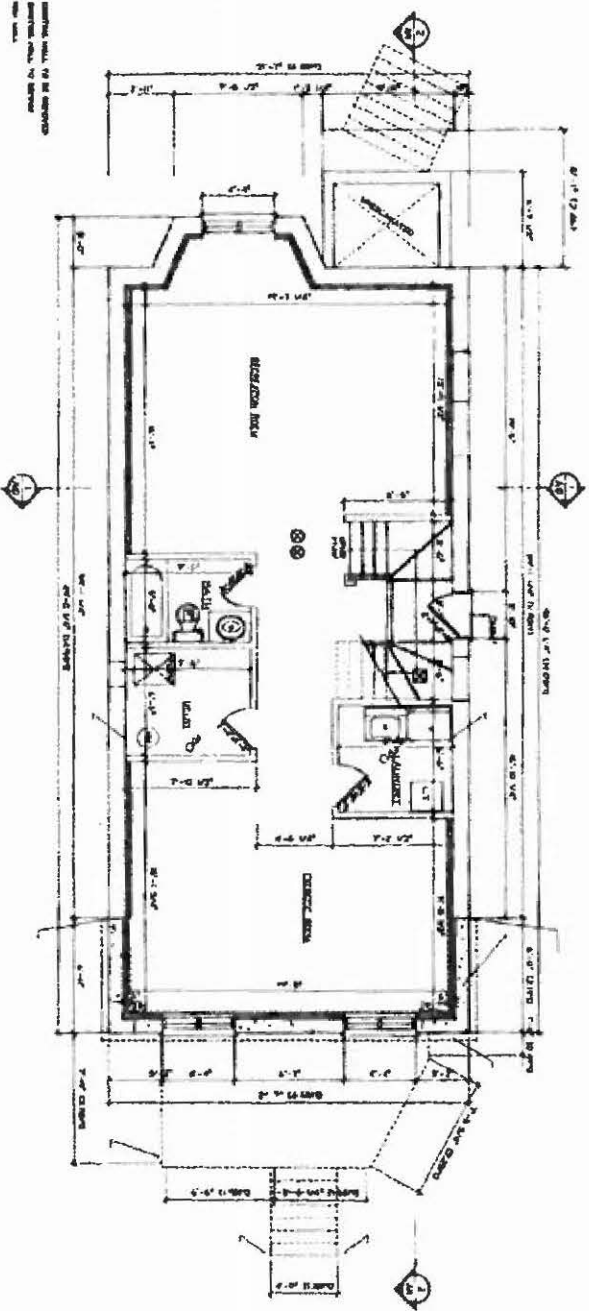
PROPOSED
 SITE PLAN
 SCALE: 1/8" = 1'-0"

RECEIVED
 OCT 23 2015
 COMMITTEE OF
 ADJUSTMENT

NO.	DESCRIPTION	AREA (SQ. FT.)	TOTAL
1	EXISTING GARAGE	1,200	1,200
2	PROPOSED GARAGE	1,200	2,400
3	PROPOSED DRIVEWAY	100	2,500
4	PROPOSED WALKWAY	100	2,600
5	PROPOSED LANDSCAPING	100	2,700
6	PROPOSED UTILITY	100	2,800
7	PROPOSED DRIVEWAY	100	2,900
8	PROPOSED WALKWAY	100	3,000
9	PROPOSED LANDSCAPING	100	3,100
10	PROPOSED UTILITY	100	3,200
11	PROPOSED DRIVEWAY	100	3,300
12	PROPOSED WALKWAY	100	3,400
13	PROPOSED LANDSCAPING	100	3,500
14	PROPOSED UTILITY	100	3,600
15	PROPOSED DRIVEWAY	100	3,700
16	PROPOSED WALKWAY	100	3,800
17	PROPOSED LANDSCAPING	100	3,900
18	PROPOSED UTILITY	100	4,000
19	PROPOSED DRIVEWAY	100	4,100
20	PROPOSED WALKWAY	100	4,200
21	PROPOSED LANDSCAPING	100	4,300
22	PROPOSED UTILITY	100	4,400
23	PROPOSED DRIVEWAY	100	4,500
24	PROPOSED WALKWAY	100	4,600
25	PROPOSED LANDSCAPING	100	4,700
26	PROPOSED UTILITY	100	4,800
27	PROPOSED DRIVEWAY	100	4,900
28	PROPOSED WALKWAY	100	5,000
29	PROPOSED LANDSCAPING	100	5,100
30	PROPOSED UTILITY	100	5,200
31	PROPOSED DRIVEWAY	100	5,300
32	PROPOSED WALKWAY	100	5,400
33	PROPOSED LANDSCAPING	100	5,500
34	PROPOSED UTILITY	100	5,600
35	PROPOSED DRIVEWAY	100	5,700
36	PROPOSED WALKWAY	100	5,800
37	PROPOSED LANDSCAPING	100	5,900
38	PROPOSED UTILITY	100	6,000
39	PROPOSED DRIVEWAY	100	6,100
40	PROPOSED WALKWAY	100	6,200
41	PROPOSED LANDSCAPING	100	6,300
42	PROPOSED UTILITY	100	6,400
43	PROPOSED DRIVEWAY	100	6,500
44	PROPOSED WALKWAY	100	6,600
45	PROPOSED LANDSCAPING	100	6,700
46	PROPOSED UTILITY	100	6,800
47	PROPOSED DRIVEWAY	100	6,900
48	PROPOSED WALKWAY	100	7,000
49	PROPOSED LANDSCAPING	100	7,100
50	PROPOSED UTILITY	100	7,200
51	PROPOSED DRIVEWAY	100	7,300
52	PROPOSED WALKWAY	100	7,400
53	PROPOSED LANDSCAPING	100	7,500
54	PROPOSED UTILITY	100	7,600
55	PROPOSED DRIVEWAY	100	7,700
56	PROPOSED WALKWAY	100	7,800
57	PROPOSED LANDSCAPING	100	7,900
58	PROPOSED UTILITY	100	8,000
59	PROPOSED DRIVEWAY	100	8,100
60	PROPOSED WALKWAY	100	8,200
61	PROPOSED LANDSCAPING	100	8,300
62	PROPOSED UTILITY	100	8,400
63	PROPOSED DRIVEWAY	100	8,500
64	PROPOSED WALKWAY	100	8,600
65	PROPOSED LANDSCAPING	100	8,700
66	PROPOSED UTILITY	100	8,800
67	PROPOSED DRIVEWAY	100	8,900
68	PROPOSED WALKWAY	100	9,000
69	PROPOSED LANDSCAPING	100	9,100
70	PROPOSED UTILITY	100	9,200
71	PROPOSED DRIVEWAY	100	9,300
72	PROPOSED WALKWAY	100	9,400
73	PROPOSED LANDSCAPING	100	9,500
74	PROPOSED UTILITY	100	9,600
75	PROPOSED DRIVEWAY	100	9,700
76	PROPOSED WALKWAY	100	9,800
77	PROPOSED LANDSCAPING	100	9,900
78	PROPOSED UTILITY	100	10,000
79	PROPOSED DRIVEWAY	100	10,100
80	PROPOSED WALKWAY	100	10,200
81	PROPOSED LANDSCAPING	100	10,300
82	PROPOSED UTILITY	100	10,400
83	PROPOSED DRIVEWAY	100	10,500
84	PROPOSED WALKWAY	100	10,600
85	PROPOSED LANDSCAPING	100	10,700
86	PROPOSED UTILITY	100	10,800
87	PROPOSED DRIVEWAY	100	10,900
88	PROPOSED WALKWAY	100	11,000
89	PROPOSED LANDSCAPING	100	11,100
90	PROPOSED UTILITY	100	11,200
91	PROPOSED DRIVEWAY	100	11,300
92	PROPOSED WALKWAY	100	11,400
93	PROPOSED LANDSCAPING	100	11,500
94	PROPOSED UTILITY	100	11,600
95	PROPOSED DRIVEWAY	100	11,700
96	PROPOSED WALKWAY	100	11,800
97	PROPOSED LANDSCAPING	100	11,900
98	PROPOSED UTILITY	100	12,000
99	PROPOSED DRIVEWAY	100	12,100
100	PROPOSED WALKWAY	100	12,200
101	PROPOSED LANDSCAPING	100	12,300
102	PROPOSED UTILITY	100	12,400
103	PROPOSED DRIVEWAY	100	12,500
104	PROPOSED WALKWAY	100	12,600
105	PROPOSED LANDSCAPING	100	12,700
106	PROPOSED UTILITY	100	12,800
107	PROPOSED DRIVEWAY	100	12,900
108	PROPOSED WALKWAY	100	13,000
109	PROPOSED LANDSCAPING	100	13,100
110	PROPOSED UTILITY	100	13,200
111	PROPOSED DRIVEWAY	100	13,300
112	PROPOSED WALKWAY	100	13,400
113	PROPOSED LANDSCAPING	100	13,500
114	PROPOSED UTILITY	100	13,600
115	PROPOSED DRIVEWAY	100	13,700
116	PROPOSED WALKWAY	100	13,800
117	PROPOSED LANDSCAPING	100	13,900
118	PROPOSED UTILITY	100	14,000
119	PROPOSED DRIVEWAY	100	14,100
120	PROPOSED WALKWAY	100	14,200
121	PROPOSED LANDSCAPING	100	14,300
122	PROPOSED UTILITY	100	14,400
123	PROPOSED DRIVEWAY	100	14,500
124	PROPOSED WALKWAY	100	14,600
125	PROPOSED LANDSCAPING	100	14,700
126	PROPOSED UTILITY	100	14,800
127	PROPOSED DRIVEWAY	100	14,900
128	PROPOSED WALKWAY	100	15,000
129	PROPOSED LANDSCAPING	100	15,100
130	PROPOSED UTILITY	100	15,200
131	PROPOSED DRIVEWAY	100	15,300
132	PROPOSED WALKWAY	100	15,400
133	PROPOSED LANDSCAPING	100	15,500
134	PROPOSED UTILITY	100	15,600
135	PROPOSED DRIVEWAY	100	15,700
136	PROPOSED WALKWAY	100	15,800
137	PROPOSED LANDSCAPING	100	15,900
138	PROPOSED UTILITY	100	16,000
139	PROPOSED DRIVEWAY	100	16,100
140	PROPOSED WALKWAY	100	16,200
141	PROPOSED LANDSCAPING	100	16,300
142	PROPOSED UTILITY	100	16,400
143	PROPOSED DRIVEWAY	100	16,500
144	PROPOSED WALKWAY	100	16,600
145	PROPOSED LANDSCAPING	100	16,700
146	PROPOSED UTILITY	100	16,800
147	PROPOSED DRIVEWAY	100	16,900
148	PROPOSED WALKWAY	100	17,000
149	PROPOSED LANDSCAPING	100	17,100
150	PROPOSED UTILITY	100	17,200
151	PROPOSED DRIVEWAY	100	17,300
152	PROPOSED WALKWAY	100	17,400
153	PROPOSED LANDSCAPING	100	17,500
154	PROPOSED UTILITY	100	17,600
155	PROPOSED DRIVEWAY	100	17,700
156	PROPOSED WALKWAY	100	17,800
157	PROPOSED LANDSCAPING	100	17,900
158	PROPOSED UTILITY	100	18,000
159	PROPOSED DRIVEWAY	100	18,100
160	PROPOSED WALKWAY	100	18,200
161	PROPOSED LANDSCAPING	100	18,300
162	PROPOSED UTILITY	100	18,400
163	PROPOSED DRIVEWAY	100	18,500
164	PROPOSED WALKWAY	100	18,600
165	PROPOSED LANDSCAPING	100	18,700
166	PROPOSED UTILITY	100	18,800
167	PROPOSED DRIVEWAY	100	18,900
168	PROPOSED WALKWAY	100	19,000
169	PROPOSED LANDSCAPING	100	19,100
170	PROPOSED UTILITY	100	19,200
171	PROPOSED DRIVEWAY	100	19,300
172	PROPOSED WALKWAY	100	19,400
173	PROPOSED LANDSCAPING	100	19,500
174	PROPOSED UTILITY	100	19,600
175	PROPOSED DRIVEWAY	100	19,700
176	PROPOSED WALKWAY	100	19,800
177	PROPOSED LANDSCAPING	100	19,900
178	PROPOSED UTILITY	100	20,000
179	PROPOSED DRIVEWAY	100	20,100
180	PROPOSED WALKWAY	100	20,200
181	PROPOSED LANDSCAPING	100	20,300
182	PROPOSED UTILITY	100	20,400
183	PROPOSED DRIVEWAY	100	20,500
184	PROPOSED WALKWAY	100	20,600
185	PROPOSED LANDSCAPING	100	20,700
186	PROPOSED UTILITY	100	20,800
187	PROPOSED DRIVEWAY	100	20,900
188	PROPOSED WALKWAY	100	21,000
189	PROPOSED LANDSCAPING	100	21,100
190	PROPOSED UTILITY	100	21,200
191	PROPOSED DRIVEWAY	100	21,300
192	PROPOSED WALKWAY	100	21,400
193	PROPOSED LANDSCAPING	100	21,500
194	PROPOSED UTILITY	100	21,600
195	PROPOSED DRIVEWAY	100	21,700
196	PROPOSED WALKWAY	100	21,800
197	PROPOSED LANDSCAPING	100	21,900
198	PROPOSED UTILITY	100	22,000
199	PROPOSED DRIVEWAY	100	22,100
200	PROPOSED WALKWAY	100	22,200
201	PROPOSED LANDSCAPING	100	22,300
202	PROPOSED UTILITY	100	22,400
203	PROPOSED DRIVEWAY	100	22,500
204	PROPOSED WALKWAY	100	22,600
205	PROPOSED LANDSCAPING	100	22,700
206	PROPOSED UTILITY	100	22,800
207	PROPOSED DRIVEWAY	100	22,900
208	PROPOSED WALKWAY	100	23,000
209	PROPOSED LANDSCAPING	100	23,100
210	PROPOSED UTILITY	100	23,200
211	PROPOSED DRIVEWAY	100	23,300
212	PROPOSED WALKWAY	100	23,400
213	PROPOSED LANDSCAPING	100	23,500
214	PROPOSED UTILITY	100	23,600
215	PROPOSED DRIVEWAY	100	23,700
216	PROPOSED WALKWAY	100	23,800
217	PROPOSED LANDSCAPING	100	23,900
218	PROPOSED UTILITY	100	24,000
219	PROPOSED DRIVEWAY	100	24,100
220	PROPOSED WALKWAY	100	24,200
221	PROPOSED LANDSCAPING	100	24,300
222	PROPOSED UTILITY	100	24,400
223	PROPOSED DRIVEWAY	100	24,500
224	PROPOSED WALKWAY	100	24,600
225	PROPOSED LANDSCAPING	100	24,700
226	PROPOSED UTILITY	100	24,800
227	PROPOSED DRIVEWAY	100	24,900
228	PROPOSED WALKWAY	100	25,000
229	PROPOSED LANDSCAPING	100	25,100
230	PROPOSED UTILITY	100	25,200
231	PROPOSED DRIVEWAY	100	25,300
232	PROPOSED WALKWAY	100	25,400
233	PROPOSED LANDSCAPING	100	25,500
234	PROPOSED UTILITY	100	25,600
235	PROPOSED DRIVEWAY	100	25,700
236	PROPOSED WALKWAY	100	25,800
237	PROPOSED LANDSCAPING	100	25,900
238	PROPOSED UTILITY	100	26,000
239	PROPOSED DRIVEWAY	100	26,100
240	PROPOSED WALKWAY	100	26,200
241	PROPOSED LANDSCAPING	100	26,300
242	PROPOSED UTILITY	100	26,400
243	PROPOSED DRIVEWAY		

- 1. EXISTING ROOM TO BE IMPROVED
- 2. NEW ROOM TO BE ADDED TO EXISTING
- 3. NEW ROOM TO BE ADDED

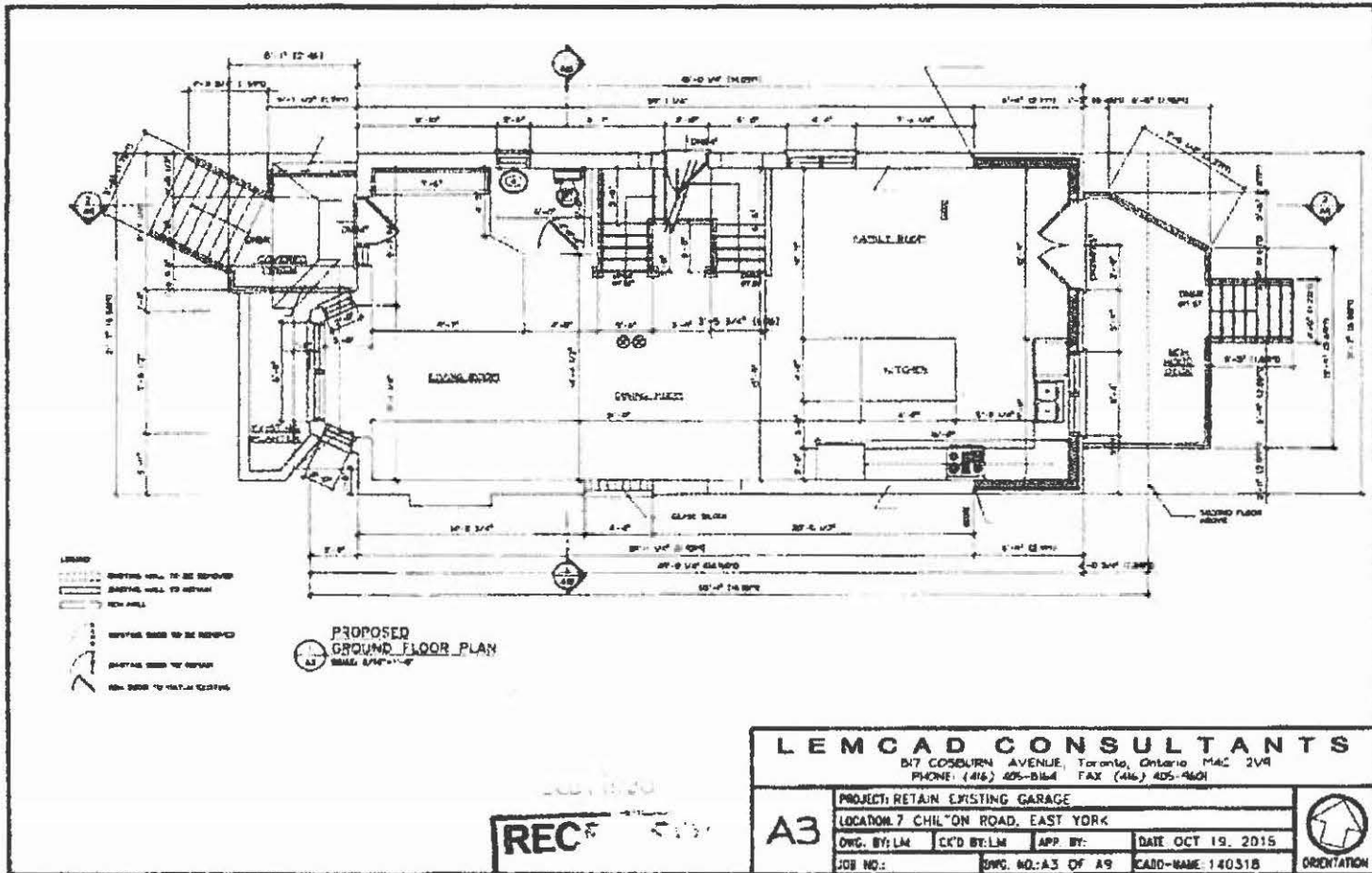
PROPOSED
BASEMENT PLAN
SCALE: 1/8" = 1'-0"



KEY PLAN

RECEIVED
OCT 29 2015
COMMITTEE OF
ADJUSTMENT

LEM CAD CONSULTANTS			
617 CORBURN AVENUE Toronto, Ontario M4C 2V9 PHONE: (416) 425-9824 FAX: (416) 425-9820			
PROJECT: RETAIN EXISTING GARAGE			
LOC: BR-114	CD: BR-114	APP: BR-	DATE: OCT 19, 2015
JOB NO.:	DISC. NO.: A2 OF A9	CAD-NAME: 140118	ORIENTATION



- LEGEND**
- EXISTING WALL TO BE REMOVED
 - EXISTING WALL TO REMAIN
 - NEW WALL
 - EXISTING DOOR TO BE REMOVED
 - EXISTING DOOR TO REMAIN
 - NEW DOOR TO MATCH EXISTING

**PROPOSED
GROUND FLOOR PLAN**
SCALE: 1/8" = 1'-0"

LEM CAD CONSULTANTS

517 COSBOURN AVENUE, Toronto, Ontario M4C 2V4
PHONE: (416) 405-6164 FAX: (416) 405-9601

PROJECT: RETAIN EXISTING GARAGE			
LOCATION: 7 CHILTON ROAD, EAST YORK			
OWC. BY: LM	CK'D BY: LM	APP. BY:	DATE: OCT 19, 2015
JOB NO.:	OWC. NO.: A3 OF A9	CADD-NAME: 140318	



ORIENTATION

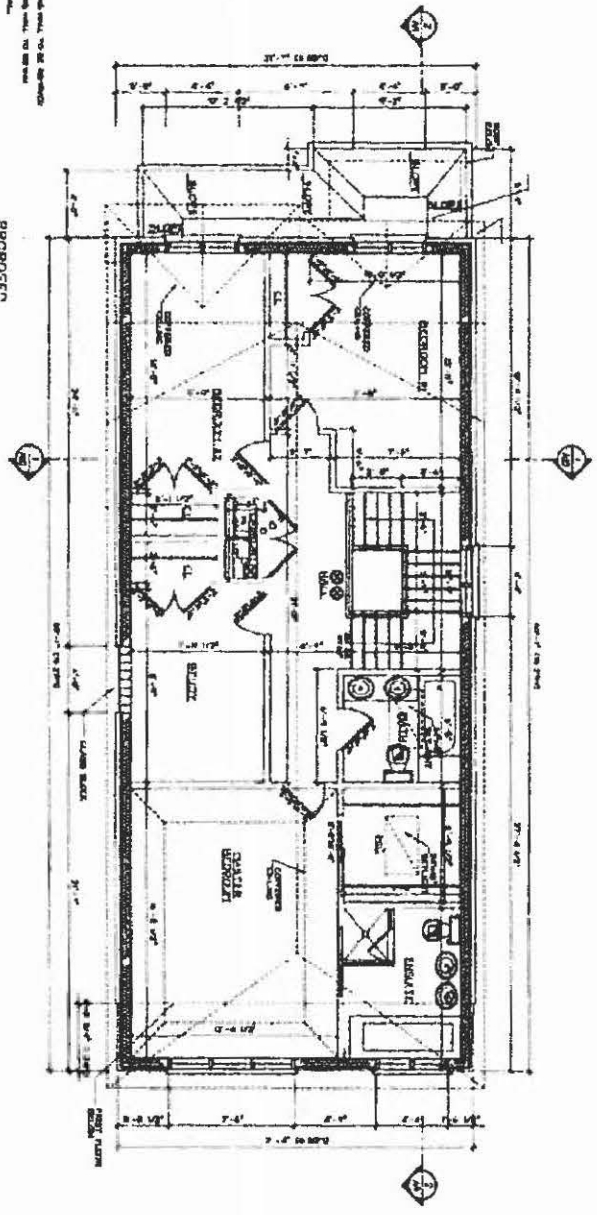
REC

OCT 23 2015

COMM. ADJUSTMENT

- Existing wall, to be retained
- Existing wall, to be removed
- New wall
- Existing door, to be retained
- Existing door, to be removed
- New door
- Existing window, to be retained
- Existing window, to be removed
- New window

PROPOSED SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

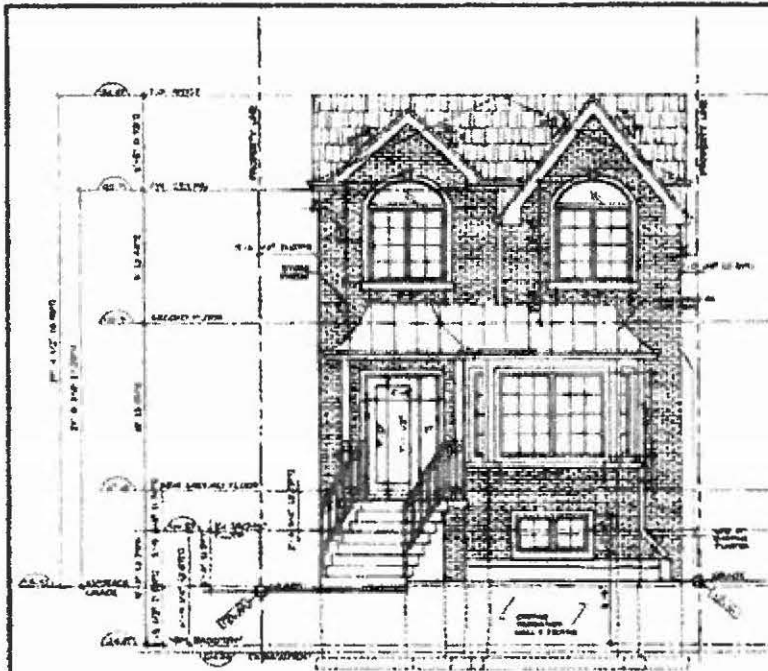


RECEIVED
OCT 23 2015
COMMITTEE OF ADJUSTMENT

LEMCAD CONSULTANTS
 517 COLUMBIA AVENUE, 10th Floor, NYC, NY 10024
 PHONE: (212) 693-8800 FAX: (212) 693-8801

PROJECT: RETAIN EXISTING GARAGE
 LOCATION: 7 CHILTON ROAD, EAST YORK
 DWG. BY: LW CFB BFLM APP. BY: DATE: OCT 19, 2015
 JOB NO.: DWG. NO.: A4 OF A3 CAD-DRAWN: 1403118

ORIENTATION



PROPOSED
FRONT (WEST) ELEVATION
SCALE 1/8" = 1'-0"

RECEIVED
OCT 23 2015
COMMITTEE OF
ADJUSTMENT

LEM CAD CONSULTA			
817 COSBURN AVENUE, Toronto, Ontario M4C 2V4 PHONE: (416) 405-8164 FAX: (416) 405-9601			
PROJECT: RETAIN EXISTING GARAGE			
LOCATION: 7 CHILTON ROAD, EAST YORK			
DWG. BY: LM	CK'D BY: LM	APP. BY:	DATE: OCT 18, 201
JOB NO.:	DWG. NO.: A60 OF A9	CADD-NAME: 140318	

A60

