

Thursday, May 12, 2016

**NOTICE OF DECISION**  
**CONSENT**  
**(Section 53 of the Planning Act)**

File Number:	B074/15SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [Waiver]
Owners:	LINDA ROSSI MARIO ROSSI	Ward:	Scarborough-Agincourt (40)
Agent:	MARIO ROSSI	Heritage:	Not Applicable
Property Address:	<b>2783 VICTORIA PARK AVE</b>	Community:	L'Amoreaux Community
Legal Description:	PLAN 3699 LOT 9		

Notice was given and the application considered on Thursday, May 12, 2016, as required by the Planning Act.

**THE CONSENT REQUESTED:**

This application is for a proposal to sever land at the rear of 2783 Victoria Park Avenue to create two lots with frontage on Leaffield Drive for new detached houses, and one retained lot for the existing house. The proposed lots are shown as Parts 3 and 4 on the attached Lot Division Plan. The existing house would remain on the land shown as Part 2. Part 1 would be conveyed to the City for a road widening along Victoria Park Avenue, and Part 5 would be conveyed to the City for a road widening along Leaffield Drive.

The following is a description of the proposed lots:

Property Address	Description on Lot Division Plan	Proposed Lot Size (approx.)
2783 Victoria Park Ave	<b>PART 2</b> Retained lot	20.1 m frontage & 895 m <sup>2</sup> lot area
	<b>PART 3</b> Proposed lot	10 m frontage & 467 m <sup>2</sup> lot area
	<b>PART 4</b> Proposed lot	10 m frontage & 467 m <sup>2</sup> lot area

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Consent Application is Refused**

The Committee has considered the application for consent to the creation of new lots as shown on the attached Lot

Division Plan. The Committee is not satisfied that the dimensions of the proposed lots would maintain the character of the established residential neighbourhood. The Committee is not satisfied that the application meets the criteria set out in the provisions of Section 51(24) of the *Planning Act*.



**SIGNATURE PAGE**

File Number:	B074/15SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [Waiver]
Owners:	LINDA ROSSI MARIO ROSSI	Ward:	Scarborough-Agincourt (40)
Agent:	MARIO ROSSI	Heritage:	Not Applicable
Property Address:	<b>2783 VICTORIA PARK AVE</b>	Community:	L'Amoreaux Community
Legal Description:	PLAN 3699 LOT 9		

\_\_\_\_\_  
Alexandra Flynn (signed)

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, May 17, 2016

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Monday, June 6, 2016

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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**NOTE:** Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, May 12, 2016

**NOTICE OF DECISION**  
**CONSENT**  
**(Section 53 of the Planning Act)**

File Number:	B002/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [Waiver]
Owners:	MARIO ROSSI LINDA ROSSI	Ward:	Scarborough-Agincourt (40)
Agent:	MARIO ROSSI	Heritage:	Not Applicable
Property Address:	<b>20 LEAFIELD DR</b>	Community:	L'Amoreaux Community
Legal Description:	PLAN 3699 PT LOT 10 RP 66R26280 PART 3		

Notice was given and the application considered on Thursday, May 12, 2016, as required by the Planning Act.

**THE CONSENT REQUESTED:**

This application is for a proposal to sever the land at 20 Leaffield Drive to create two lots with frontage for new detached houses. The proposed lots are shown as Parts 6 and 7 on the attached Lot Division Plan.

The following is a description of the proposed lots:

Property Address	Description on Lot Division Plan	Proposed Lot Size (approx.)
20 Leaffield Drive	<b>PART 6</b> Proposed lot	10 m frontage & 467 m <sup>2</sup> lot area
	<b>PART 7</b> Proposed lot	10 m frontage & 467 m <sup>2</sup> lot area

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Consent Application is Refused**

The Committee has considered the application for consent to the creation of new lots as shown on the attached Lot Division Plan. The Committee is not satisfied that the dimensions of the proposed lots would maintain the character of the established residential neighbourhood. The Committee is not satisfied that the application meets the criteria set out in the provisions of Section 51(24) of the *Planning Act*.



**SIGNATURE PAGE**

File Number:	B002/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [Waiver]
Owners:	MARIO ROSSI LINDA ROSSI	Ward:	Scarborough-Agincourt (40)
Agent:	MARIO ROSSI	Heritage:	Not Applicable
Property Address:	<b>20 LEAFIELD DR</b>	Community:	L'Amoreaux Community
Legal Description:	PLAN 3699 PT LOT 10 RP 66R26280 PART 3		

\_\_\_\_\_  
Alexandra Flynn (signed)

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, May 17, 2016

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Monday, June 6, 2016

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Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, May 12, 2016

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A414/15SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [Waiver]
Owners:	MARIO ROSSI LINDA ROSSI	Ward:	Scarborough-Agincourt (40)
Agent:	MARIO ROSSI	Heritage:	Not Applicable
Property Address:	<b>2783 VICTORIA PARK AVE (LEAFIELD DR. PART 3)</b>	Community:	L'Amoreaux Community
Legal Description:	PLAN 3699 LOT 9		

Notice was given and a Public Hearing was held on Thursday, May 12, 2016, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The owner is requesting consent to sever the land at the rear of 2783 Victoria Park Avenue into two lots, and has applied for variances for the proposed lot shown as Part 3 on the attached Lot Division Plan. The owner is proposing to build a new single family dwelling.

**REQUESTED VARIANCES TO THE ZONING BY-LAW:**By-law No. 12466:

1. The proposed lot frontage is 10 m  
Whereas the minimum required lot frontage is 20 m
2. The proposed lot area is 467 m<sup>2</sup>  
Whereas the minimum required lot area is 800 m<sup>2</sup>
3. The proposed north side yard setback for the attached garage is 0.53 m  
Whereas the minimum required side yard setback is 0.9 m
4. The proposed front yard landscaping is 41%  
Whereas a minimum of 50% of the front yard area is required to be landscaped

By-law No. 569-2013:

5. The proposed lot frontage is 10 m



Whereas the minimum required lot frontage is 20 m

6. The proposed lot area is 467 m<sup>2</sup>  
Whereas the minimum required lot area is 800 m<sup>2</sup>
7. The proposed floor area is 0.60 times the lot area (280 m<sup>2</sup>)  
Whereas the maximum permitted floor area is 0.5 times the lot area (233 m<sup>2</sup>)
8. The proposed north side yard setback for the attached garage is 0.53 m  
Whereas the minimum required side yard setback is 0.9 m
9. The proposed building length, measured between the main front wall and the main rear wall of the building, is 23 m  
Whereas the maximum permitted building length is 17 m
10. The proposed building depth, measured between the required front yard setback and the main rear wall of the building, is 23.1 m  
Whereas the maximum permitted building depth is 19 m
11. The proposed front yard landscaping is 41%  
Whereas a minimum of 50% of the front yard area is required to be landscaped

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to refuse this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variances are not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are not minor.



**SIGNATURE PAGE**

File Number:	A414/15SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [Waiver]
Owners:	MARIO ROSSI LINDA ROSSI	Ward:	Scarborough-Agincourt (40)
Agent:	MARIO ROSSI	Heritage:	Not Applicable
Property Address:	<b>2783 VICTORIA PARK AVE (LEAFIELD DR. PART 3)</b>	Community:	L'Amoreaux Community
Legal Description:	PLAN 3699 LOT 9		

\_\_\_\_\_  
Alexandra Flynn (signed)

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David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, May 17, 2016

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, June 1, 2016

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, May 12, 2016

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A415/15SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [Waiver]
Owners:	MARIO ROSSI LINDA ROSSI	Ward:	Scarborough-Agincourt (40)
Agent:	MARIO ROSSI	Heritage:	Not Applicable
Property Address:	<b>2783 VICTORIA PARK AVE (LEAFIELD DR - PART 4)</b>	Community:	L'Amoreaux Community
Legal Description:	PLAN 3699 LOT 9		

Notice was given and a Public Hearing was held on Thursday, May 12, 2016, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The owner is requesting consent to sever the land at the rear of 2783 Victoria Park Avenue into two lots, and has applied for variances for the proposed lot shown as Part 4 on the attached Lot Division Plan. The owner is proposing to build a new single family dwelling.

**REQUESTED VARIANCES TO THE ZONING BY-LAW:**By-law No. 12466:

1. The proposed lot frontage is 10 m  
Whereas the minimum required lot frontage is 20 m
2. The proposed lot area is 467 m<sup>2</sup>  
Whereas the minimum required lot area is 800 m<sup>2</sup>
3. The proposed north side yard setback for the attached garage is 0.53 m  
Whereas the minimum required side yard setback is 0.9 m
4. The proposed front yard landscaping is 41%  
Whereas a minimum of 50% of the front yard area is required to be landscaped

By-law No. 569-2013:

5. The proposed lot frontage is 10 m  
Whereas the minimum required lot frontage is 20 m

6. The proposed lot area is 467 m<sup>2</sup>  
Whereas the minimum required lot area is 800 m<sup>2</sup>
7. The proposed floor area is 0.60 times the lot area (280 m<sup>2</sup>)  
Whereas the maximum permitted floor area is 0.5 times the lot area (233 m<sup>2</sup>)
8. The proposed north side yard setback for the attached garage is 0.53 m  
Whereas the minimum required side yard setback is 0.9 m
9. The proposed building length, measured between the main front wall and the main rear wall of the building, is 23 m  
Whereas the maximum permitted building length is 17 m
10. The proposed building depth, measured between the required front yard setback and the main rear wall of the building, is 23.1 m  
Whereas the maximum permitted building depth is 19 m
11. The proposed front yard landscaping is 41%  
Whereas a minimum of 50% of the front yard area is required to be landscaped

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

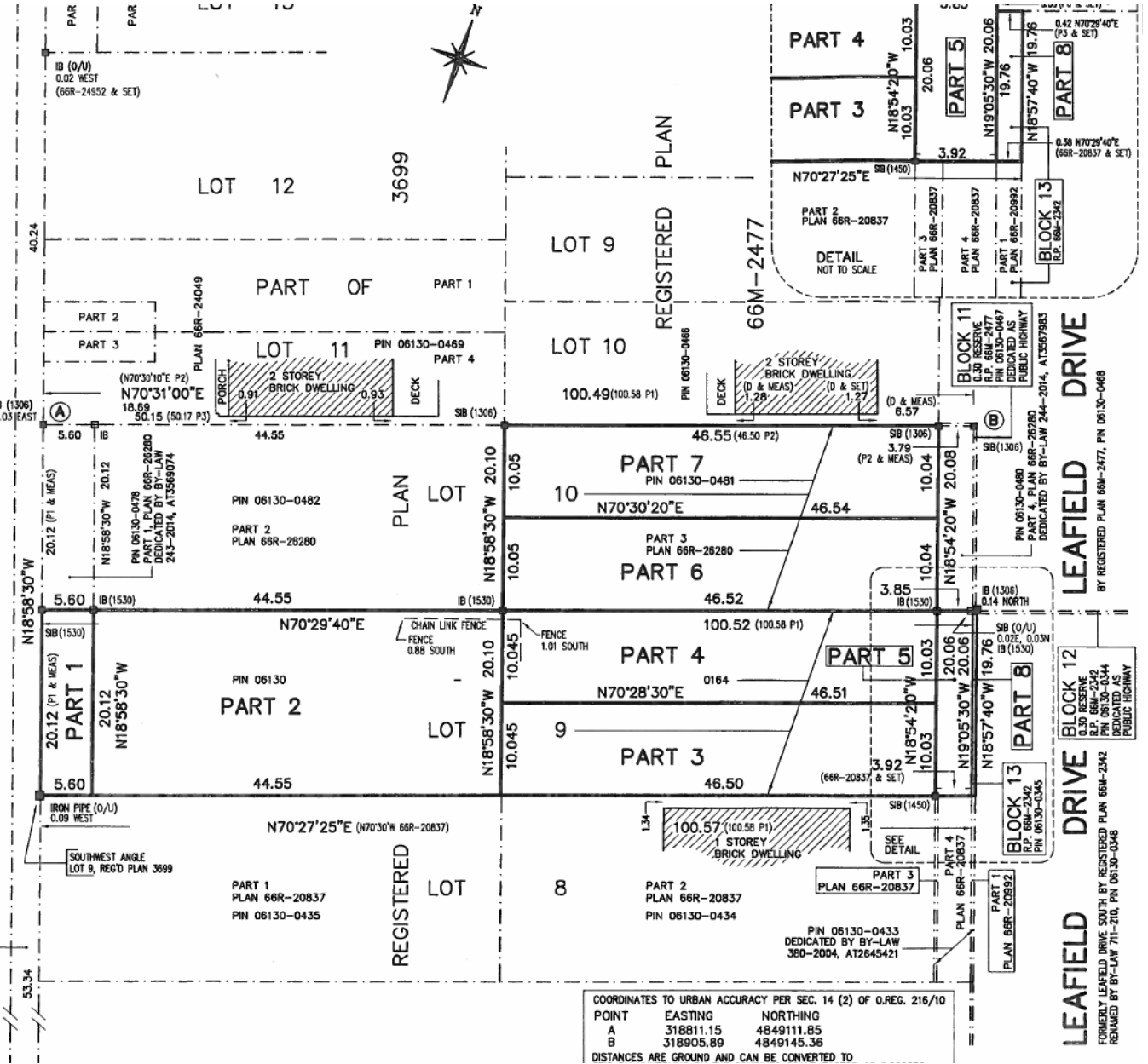
**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to refuse this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variances are not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are not minor.

VICTORIA PARK AVENUE

ROAD ALLOWANCE BETWEEN THE TOWNSHIPS OF YORK & SCARBOROUGH, LIMITS COVERED BY PLAN 66B-83A, REGISTERED AS PLAN 10319, INST. N° S2543113, PIN 06130-0313  
 WIDENED BY REGISTERED PLAN 3699



Lot Division Plan 2783 Victoria Park Ave (Leaffield Drive Part 4)

Applicant's Submitted Drawing  
 Not to Scale

File # A415/15SC

12/05/2016

Attachment 1

**SIGNATURE PAGE**

File Number:	A415/15SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [Waiver]
Owners:	MARIO ROSSI MARIO ROSSI	Ward:	Scarborough-Agincourt (40)
Agent:	MARIO ROSSI	Heritage:	Not Applicable
Property Address:	<b>2783 VICTORIA PARK AVE (LEAFIELD DR - PART 4)</b>	Community:	L'Amoreaux Community
Legal Description:	PLAN 3699 LOT 9		

\_\_\_\_\_  
Alexandra Flynn (signed)

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Sean Karmali (signed)

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Manager & Deputy Secretary Treasurer  
Scarborough Panel

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A416/15SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [Waiver]
Owners:	MARIO ROSSI LINDA ROSSI	Ward:	Scarborough-Agincourt (40)
Agent:	MARIO ROSSI	Heritage:	Not Applicable
Property Address:	<b>20 LEAFIELD DR PART 6</b>	Community:	L'Amoreaux Community
Legal Description:	PLAN 3699 PT LOT 10 RP 66R26280 PART 3		

Notice was given and a Public Hearing was held on Thursday, May 12, 2016, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The owner is requesting consent to sever the land at 20 Leafield Drive into two lots, and has applied for variances for the proposed lot shown as Part 6 on the attached Lot Division Plan. The owner is proposing to build a new single family dwelling.

**REQUESTED VARIANCES TO THE ZONING BY-LAW:**By-law No. 12466:

1. The proposed lot frontage is 10 m  
Whereas the minimum required lot frontage is 20 m
2. The proposed lot area is 467 m<sup>2</sup>  
Whereas the minimum required lot area is 800 m<sup>2</sup>
3. The proposed north side yard setback for the attached garage is 0.53 m  
Whereas the minimum required side yard setback is 0.9 m
4. The proposed front yard landscaping is 41%  
Whereas a minimum of 50% of the front yard area is required to be landscaped

By-law No. 569-2013:

5. The proposed lot frontage is 10 m  
Whereas the minimum required lot frontage is 20 m



6. The proposed lot area is 467 m<sup>2</sup>  
Whereas the minimum required lot area is 800 m<sup>2</sup>
7. The proposed floor area is 0.60 times the lot area (280 m<sup>2</sup>)  
Whereas the maximum permitted floor area is 0.5 times the lot area (233 m<sup>2</sup>)
8. The proposed north side yard setback for the attached garage is 0.53 m  
Whereas the minimum required side yard setback is 0.9 m
- 9) The proposed building length, measured between the main front wall and the main rear wall of the building, is 23 m  
Whereas the maximum permitted building length is 17 m
10. The proposed building depth, measured between the required front yard setback and the main rear wall of the building, is 23.1 m  
Whereas the maximum permitted building depth is 19 m
11. The proposed front yard landscaping is 41%  
Whereas a minimum of 50% of the front yard area is required to be landscaped

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to refuse this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variances are not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are not minor.



**SIGNATURE PAGE**

File Number:	A416/15SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [Waiver]
Owner:	MARIO ROSSI LINDA ROSSI	Ward:	Scarborough-Agincourt (40)
Agent:	MARIO ROSSI	Heritage:	Not Applicable
Property Address:	<b>20 LEAFIELD DR PART 6</b>	Community:	L'Amoreaux Community
Legal Description:	PLAN 3699 PT LOT 10 RP 66R26280 PART 3		

\_\_\_\_\_  
Alexandra Flynn (signed)

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, May 17, 2016

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THE ONTARIO MUNICIPAL BOARD: Wednesday, June 1, 2016

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MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A417/15SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [Waiver]
Owners:	MARIO ROSSI LINDA ROSSI	Ward:	Scarborough-Agincourt (40)
Agent:	MARIO ROSSI	Heritage:	Not Applicable
Property Address:	<b>20 LEAFIELD DR PART 7</b>	Community:	L'Amoreaux Community
Legal Description:	PLAN 3699 PT LOT 10 RP 66R26280 PART 3		

Notice was given and a Public Hearing was held on Thursday, May 12, 2016, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The owner is requesting consent to sever the land at 20 Leafield Drive into two lots, and has applied for variances for the proposed lot shown as Part 7 on the attached Lot Division Plan. The owner is proposing to build a new single family dwelling.

**REQUESTED VARIANCES TO THE ZONING BY-LAW:**By-law No. 12466:

1. The proposed lot frontage is 10 m  
Whereas the minimum required lot frontage is 20 m
2. The proposed lot area is 467 m<sup>2</sup>  
Whereas the minimum required lot area is 800 m<sup>2</sup>
3. The proposed north side yard setback for the attached garage is 0.53 m  
Whereas the minimum required side yard setback is 0.9 m
4. The proposed front yard landscaping is 41%  
Whereas a minimum of 50% of the front yard area is required to be landscaped

By-law No. 569-2013:

5. The proposed lot frontage is 10 m  
Whereas the minimum required lot frontage is 20 m

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Whereas a minimum of 50% of the front yard area is required to be landscaped

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

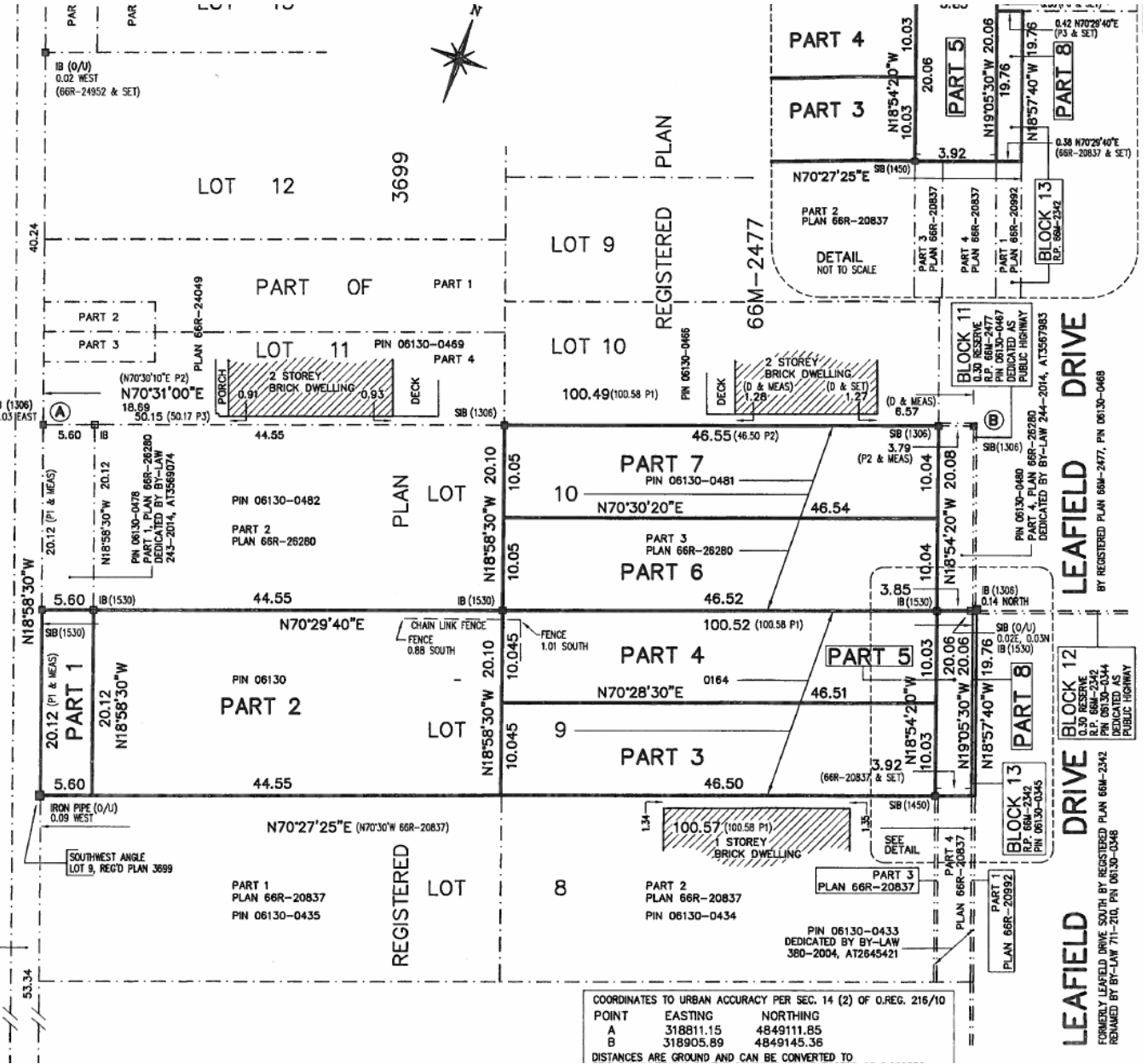
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- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variances are not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are not minor.

VICTORIA PARK AVENUE

ROAD ALLOWANCE BETWEEN THE TOWNSHIPS OF YORK & SCARBOROUGH, LIMITS COVERED BY PLAN 66B-83A, REGISTERED AS PLAN 10319, INST. N° S2543113, PIN 06130-0313  
 WIDENED BY REGISTERED PLAN 3699



# Lot Division Plan 20 Leafield Drive (Part 7)

Applicant's Submitted Drawing  
 Not to Scale

File # A417/15SC

12/05/2016

Attachment 1

**SIGNATURE PAGE**

File Number:	A417/15SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [Waiver]
Owners:	MARIO ROSSI MARIO ROSSI	Ward:	Scarborough-Agincourt (40)
Agent:	LINDA ROSSI	Heritage:	Not Applicable
Property Address:	<b>20 LEAFIELD DR PART 7</b>	Community:	L'Amoreaux Community
Legal Description:	PLAN 3699 PT LOT 10 RP 66R26280 PART 3		

\_\_\_\_\_  
Alexandra Flynn (signed)

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Sean Karmali (signed)

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