

**2100 Avenue Road – Zoning Amendment Application –
Final Report**

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|--------------------------|---|
| Date: | September 26, 2016 |
| To: | North York Community Council |
| From: | Director, Community Planning, North York District |
| Wards: | Ward 16 – Eglinton-Lawrence |
| Reference Number: | 15 267377 NNY 16 OZ |

SUMMARY

This application proposes to maintain the conversion of the existing one-storey mixed use building converted from residential to office/residential uses and to construct a two-storey addition atop the existing building in order to accommodate either a two-storey residential unit on the second and third floor of the building or a three-storey wholly-commercial office use at 2100 Avenue Road.

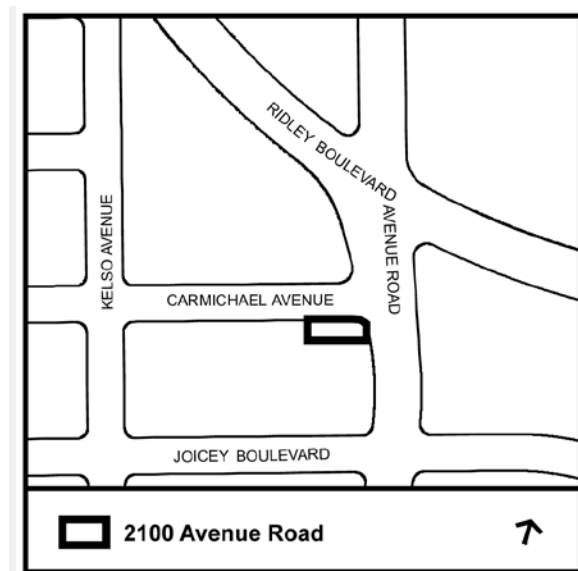
The proposed amendments to the Zoning By-laws allows for the redevelopment of a property on a major street within a *Mixed Use Areas* designation in the Official Plan to permit a business and professional office and dwelling unit. The proposed mixed-use/office building is compatible with its context and sensitive to the surrounding residential dwellings.

This report reviews and recommends approval of the application to amend the Zoning By-laws.

RECOMMENDATIONS

The City Planning Division recommends that:

1. City Council amend Zoning By-law 7625 for the lands at 2100 Avenue Road substantially in accordance with



the draft Zoning By-law Amendment attached as Attachment No. 5a to this report.

2. City Council amend City of Toronto Zoning By-law 569-2013 for the lands at 2100 Avenue Road substantially in accordance with the draft Zoning By-law Amendment attached as Attachment No. 5b to this report.
3. City Council authorize the City Solicitor to make such stylistic and technical changes to the draft Zoning By-law Amendment as may be required.

Financial Impact

The recommendations in this report have no financial impact.

DECISION HISTORY

A minor variance application, was approved by the Committee of Adjustment on August 20, 1992 to permit the existing dwelling to remain as constructed and to be used as an office of a home occupation (office of an insurance and financial planning professions occupying approximately 51m² of the ground floor located within the dwelling). The approval was subject to the following conditions:

1. The building and property being improved and utilized, essentially in compliance with the submitted, development and elevation plans;
2. That there be no signage other than a permitted legal sign displaying the municipal address on the property;
3. That the permission to conduct a business and professional office be limited to that of an insurance and financial planning profession activity; and
4. That the permission be for such time duration that the insurance and financial planning activity operates. However, such permission shall cease when new detailed policies and provisions dealing with home occupation uses, which are currently under study, come into full force and effect.

ISSUE BACKGROUND

Proposal

The first component of the application is to maintain and legalize the use that has existed on-site since 1992. At that time, the existing one-storey building was converted from a residential dwelling to a professional and business office use on the main floor and a residential dwelling unit in the basement. The second component of the application is to expand the building and construct a new two-storey addition atop the existing one-storey building. The interior use of the building after the addition is completed proposes to have two options.

The first of the two proposed options is for the business and professional office use to be located in the basement and main floor of the building with access from the existing front entrance facing Avenue Road. The basement residential dwelling would be eliminated and a two storey residential dwelling unit would be located on the second and third floors. The dwelling unit would be accessible by a separate entrance, at the side of the building facing Carmichael Avenue. The office use would be for an insurance and financial planning business. The hours of

operation for a typical weekday are 8:00 a.m.-4:30 p.m. The business would employ a total of four staff members. The total floor area of the office would be approximately 200 square metres.

The second option for the interior use of the building is for a wholly commercial office use. All floors of the building would be used for a business and professional office use and would be accessed by both the existing main entrance facing Avenue Road and the side entrance facing Carmichael Avenue.

The proposed mixed-use/wholly commercial office building would have a gross floor area of 372.43 square metres (including the basement), and would maintain the existing lot coverage of 35.9%. The existing/proposed building length is 16.93 metres. The proposed building height under the North York Zoning By-law No. 7625 is 11.2 metres, when measured from the crown of the road to the top of the roof. The proposed building height under the new City Wide By-law No. 569-2013 is 10.69 metres, when measured from established grade to the top of the roof. The majority of the existing landscaping in the front and side yards would be maintained with some additional plantings. Some modifications are proposed to the front porch to accommodate an accessibility ramp and associated landing.

| Interior Use Options | Residential GFA | Commercial GFA | Total GFA | Parking Required under By-law 569-2013 / Provided on site |
|----------------------|-----------------------|-----------------------|-----------------------|---|
| 1- Mixed Use | 177.16 m ² | 195.27 m ² | 372.43 m ² | 4 spaces/3 spaces |
| 2- Commercial | 0 m ² | 372.43 m ² | 372.43 m ² | 5 spaces/3 spaces |

The existing three (3) parking spaces and one (1) small car space are provided in the rear and would remain and be accessed from the existing driveway from Carmichael Avenue.

For further project information please refer to the Application Data Sheet found as Attachment 4 to this report.

Site and Surrounding Area

The property is located on the south west corner of Carmichael Avenue and Avenue Road. The subject property has a lot area of 296.34 square metres (3,189.78 square feet) with 8.73 metres (28.64 feet) of frontage on Avenue Road and an approximate lot depth of 37.08 metres (121.65 feet). The site is currently occupied by a 1 storey house-form building approximately 6 metres in height, containing a business and professional office use (insurance and financial planning office) and includes a dwelling unit in the basement. The basement dwelling unit is accessed via a separate side entrance facing Carmichael Avenue. The subject property has a relatively flat topography with manicured/landscaped front and side yards. Parking is located at the rear of the property, taking its access from Carmichael Avenue. Three (3) parking spaces are currently provided on the subject site, two (2) of which are for the use of the commercial office use and one (1) for the dwelling unit.

Land uses surrounding the subject site are as follows:

- North: Across Carmichael Avenue are 1 and 2 storey single detached dwellings. Further north is St. Margaret of Scotland Catholic Church at 222 Ridley Boulevard and Armour Heights Community Centre at 2140 Avenue Road.
- South: To the immediate south is 2098 Avenue Road which is zoned for, and occupied by, a 2 storey professional office building, with parking at the rear of the property. Further south are several 1 storey single detached dwellings fronting onto Avenue Road.
- West: The property to the immediate west on Carmichael Avenue is occupied by a 2 storey single detached dwelling with a below grade garage. The driveway access is adjacent to the existing driveway and parking area of the subject site. Further west, internal to the neighbourhood, a range of 1 to 2 storey single detached dwellings exists.
- East: To the immediate east directly across Avenue Road from the subject site is 2105 Avenue Road which is also occupied by a house-form commercial office use. Further east, towards the neighbourhood interior, are a number of 1 and 2 storey single detached dwellings.

Provincial Policy Statement and Provincial Plans

The Provincial Policy Statement (PPS) 2014 provides policy direction on matters of provincial interest related to land use planning and development. These policies support the goal of enhancing the quality of life for all Ontarians. Key policy objectives include: building strong healthy communities; wise use and management of resources; and protecting public health and safety. The PPS recognizes that local context and character is important. Policies are outcome-oriented, and some policies provide flexibility in their implementation provided that provincial interests are upheld. City Council's planning decisions are required, by the *Planning Act*, to be consistent with the PPS.

The Growth Plan for the Greater Golden Horseshoe provides a framework for managing growth in the Greater Golden Horseshoe including: directions for where and how to grow; the provision of infrastructure to support growth; and protecting natural systems and cultivating a culture of conservation. City Council's planning decisions are required, by the *Planning Act*, to conform, or not conflict, as the case may be, with the Growth Plan for the Greater Golden Horseshoe.

Staff reviewed the proposed development for consistency with the PPS and for conformity with the Growth Plan for the Greater Golden Horseshoe.

Official Plan

The property is designated as "*Mixed Use Areas*" on Map 17 – Land Use Plan. *Mixed Use Areas* are made up of a broad range of commercial, residential and institutional uses, in single use or mixed use buildings, as well as parks and open spaces and utilities. Development criteria in *Mixed Use Areas* includes: creating a balance of high quality commercial, residential, institutional and open space uses that reduce automobile dependency and meet the needs of the local community; and provide for new jobs and homes for Toronto's growing population on underutilized lands in the Downtown, the Central Waterfront, Centres, Avenues and other lands

designated Mixed Use Areas, creating and sustaining well-paid, stable, safe and fulfilling employment opportunities for all Torontonians.

Developments in *Mixed Use Areas* that are adjacent or close to *Neighbourhoods* will be compatible with those *Neighbourhoods*, by providing a gradual transition of scale and density, maintaining adequate light and privacy and attenuating resulting traffic and parking impacts.

The Toronto Official Plan is available on the City's website at:
www.toronto.ca/planning/official_plan/introduction.htm

Avenue Road Avenue Study

The property is also located within an "Avenues" corridor on Map 2 – Urban Structure. The *Avenues* are important corridors along major streets where reurbanization is anticipated and encouraged to create new housing and job opportunities while improving the pedestrian environment, the look of the street, shopping opportunities and transit service for community residents. Reurbanizing the Avenues will be achieved through the preparation of Avenue Studies for strategic mixed use segments of the corridors shown on Map 2 of the Official Plan.

City Council on November 30, December 1, 2, 4 and 7th, 2009 adopted the final staff report for the Avenue Road Avenue Study. The Avenue Road Avenue Study addresses the two-kilometre length of Avenue Road between Lawrence Avenue West and Wilson Avenue.

The key recommendations of the study focus on creating conditions for smaller-scale, mid-rise developments of five-storeys with limited opportunities for larger-scale developments up to seven-storeys for the area between Lawrence Avenue West and Joicey Boulevard. The function of Avenue Road as a primarily retail-oriented street should be retained and new development or redevelopment will be required to maintain an active retail frontage.

However, Avenue Road between Joicey Boulevard and Wilson Avenue is characterized by low-scale, residential uses with some lower scale commercial uses as the primary form of development. The study also noted the difficulty of access and egress to and from Highway 401 and recommended that this portion of Avenue Road be limited to live/work units or wholly-residential uses. However, the study also states, that on the few corner lots where there is a possibility of access from the side street, the owners may seek to amend the by-law to permit wholly commercial uses on a site specific basis.

The Avenue Road Avenue Study is available on the City's website at:
http://www1.toronto.ca/city_of_toronto/city_planning/community_planning/files/pdf/avenue_fin_alreport_april2008.pdf

Zoning

The subject lands are currently zoned "One Family Detached Dwelling Seventh Density Zone – Exception 16 (R7(16))" in Zoning By-law No. 7625 of the former City of North York. The R7 zone permits detached dwellings and accessory buildings, and a range of recreational and institutional uses. The site specific exception (16) allows for home occupation uses subject to a number of provisions. These provisions include that there shall be no employee working in the

dwelling unit other than the business operator that resides in the dwelling unit, unless otherwise stated in this By-law and that the maximum floor area occupied or used by a home occupation is the lower of 25 percent of total interior floor area for the principal building, or 100 square metres. The maximum permitted building height is 8.8 metres and 2 storeys. The maximum permitted lot coverage is 30 percent.

The subject lands are also zoned "Residential Detached Zone (RD f9.0; a275)" in the new City of Toronto Zoning By-law No. 569-2013. This zoning permits single detached dwellings and accessory buildings, recreational uses, and makes special provisions for home occupation uses. These provisions include that a home occupation, other than one for an education use, may not have clients or customers attending the premises for consultations or receiving services and may not have an employee working in the dwelling unit who is not the business operator. The maximum permitted building height is 10.0 metres and 2 storeys. The maximum permitted lot coverage is 30 percent.

Site Plan Control

An application for Site Plan Control Approval was submitted on August 30, 2016 and is currently under review (file no.16 215257 NNY 16 SA).

Reasons for Application

The application seeks to amend Zoning By-law No. 7625 and the City wide Zoning By-law No. 569-2013 to permit the proposed office use, to increase the permitted building height from 8.8 metres (By-law 7625) or 10.0 metres (By-law 526-2013) to 11.2 metres and 10.69 respectively, to increase the permitted number of storeys from 2 storeys to 3 storeys and to increase the lot coverage from 30% to 35.9%.

In addition, this application seeks to amend Zoning By-law No. 7625 to permit the proposed dwelling unit, as the By-law currently only allows for a detached dwelling and to increase the building length to 19.04 metres, and to permit additional areas of non-compliance with the zoning.

Community Consultation

A Community Consultation Meeting was held on May 25, 2016 at the Armour Heights Community Centre. The meeting was attended by the Ward Councillor, City Planning staff, the applicant and approximately 15 members of the public.

The following issues were raised at the Community Consultation Meeting:

- Concerns with the parking in the rear yard of the property.
- Privacy and overlook issues with respect to the proposed terrace at the rear and over look of the third floor windows, and the aesthetics of privacy screens on the south and west sides of the terrace.
- Concerns with overall building height as compared to the existing bungalows along Avenue Road. Residents were concerned this could set a precedent for taller buildings in the neighbourhood.

- Desire not to have this block of residential homes transformed into a busy commercial strip like that south on Avenue Road.

Agency Circulation

The application was circulated to all appropriate agencies and City divisions. Responses received have been used to assist in evaluating the application and to formulate appropriate By-law standards.

COMMENTS

Provincial Policy Statement and Provincial Plans

The proposal is consistent with the PPS and conforms and does not conflict with the Growth Plan for the Greater Golden Horseshoe. The proposal is for a modest redevelopment of a site located on an *Avenue*, where reurbanization is anticipated and encouraged to create new housing and job opportunities.

Land Use

The proposed amendment allows for the appropriate redevelopment of a property on a major street within an *Avenue* and *Mixed Use Areas* designation in the Official Plan to permit a business and professional office. The proposed mixed use/office building is limited in scale and size and is sensitive to its surrounding context. The property immediately to the south at 2098 Avenue Road contains an existing planning consultant office. This property has a parking area at the rear of the property adjacent to the proposed parking area on the subject property. The proposed addition is atop of the existing building on site and will not extend beyond the footprint of the existing building on the lot. The draft By-law Amendments limit the gross floor area of the office use (Attachments 5a and 5b) to a maximum of 375 square metres.

The subject site and adjacent properties located along Avenue Road between Carmichael Avenue and Joicey Boulevard were not rezoned to a wholly commercial zone as part of the Avenue Study, due to the difficulty in egress and access to the properties from Avenue Road. Corner lots, such as the subject property, where there is a possibility of access from the side street and additional parking, could seek to amend the by-law to permit wholly commercial uses on a site specific basis. The proposal for either a mixed use building or small professional business office use fits within the area between Joicey Boulevard and Wilson Avenue which is characterized by low-scale, residential and small scale commercial uses. The proposal is consistent with the City initiated 'Avenue' Study for Avenue Road from Lawrence Avenue West to Wilson Avenue.

Building Massing and Façade

Subsequent to the Community Consultation Meeting the applicant revised the proposal to allow for the flexibility to permit a wholly commercial office use within the building. The interior use of the building does not affect the exterior massing of the building in any way.

The character of the surrounding neighbourhood, including those properties along Avenue Road between Carmichael Avenue and Joicey Boulevard, with respect to building height and storeys is of one and two storey dwellings, with many of these buildings having heights that exceed the

permissions of the Zoning By-laws. The proposed building height under the North York Zoning By-law is 11.2 metres and under Toronto Zoning By-law 569-2013 is 10.7 metres and for a three storey building. The massing of the building meets a 45 degree angular plane from the abutting neighbourhood to the west, although the 45 degree angular plane is not applicable for this property. The way in which the proposed building has been designed actually gives it the appearance of a two storey building from Avenue Road, since the third floor is within the roofline that starts at the top of the second storey. The third storey portion of the building will be located 12.57 metres from the two-storey dwelling to the west.

The applicant's building design is a mixture of a traditional and modern building expression. The surrounding area includes a number of residential homes and a mix of commercial buildings and uses along Avenue Road. Staff have reviewed the proposed elevations and are satisfied with the current design as being appropriate in terms of scale, proportion and fit with the surrounding area. A more in-depth review of the materials and treatments for the building will be completed during the site plan review process.

Landscaping and Privacy

The proposal incorporates a number of landscaping features and design elements that provide a sufficient amount of on-site landscaping and privacy. The majority of the existing landscaping in the front and side yards would be maintained. The front yard includes a walkway constructed with permeable pavers leading to the main entrance of the office. The front yard has a number of shrubs, grasses, plants and hedges that currently exist and shall be maintained. Existing shrubs and hedges along the north and south property lines within the front and side yard would be maintained. A minimum of 90 square metres of landscaping will be provided on the subject property, which is over 30% of the site area. A more in-depth review of the landscaping and lighting details will be completed during the site plan review process.

The existing wooden fence along the south side yard property line and the rear yard property line will be maintained. The existing fences screen the rear yard parking area and minimize the impact on surrounding neighbours with respect to privacy. A landscape buffer strip with a width of 0.58 metres between the parking area at the rear of subject property and the abutting property on Carmichael Avenue will be also added. A new deck is proposed on the second storey at the rear of the building. Privacy walls will be erected on both the south and west sides of the deck to limit the privacy and noise impacts on adjacent properties. The design, height and materials used for the privacy walls will be secured during the site plan process. The proposed windows on the third floor on the rear of the building are located 11.77 metres from the rear property line. The distance from the rear property should limit any impacts of overlook and privacy on adjacent properties. Overall, the proposed landscaping is sufficient and the proposal allows for sufficient privacy. The site plan application and subsequent agreement will be used to secure and ensure maintenance of the landscape features of the site.

Parking and Access

The parking area at the rear of the property would remain and would be accessed from the existing driveway from Carmichael Avenue. Front yard parking is not being considered as part of this proposal. There are three existing parking spaces at the southwest corner of the property. There is also one additional existing substandard parking space (small car space) at the rear

northwest corner of the building. This substandard parking space is not counted toward the parking rate due to its small size and will remain in its current location.

The nature and size of the proposed office use does not require a loading space or the need for larger service vehicles to access the site. Currently there are no bicycle parking spaces proposed on the site. The development is modest in nature and would not have any adverse impact on traffic within the area. The vehicular parking area and access to the site are appropriate. The appropriateness of bicycle parking at grade will be reviewed as part of the site plan process.

The parking for the site is governed by two zoning by-laws, City of Toronto Zoning By-law 569-2103 and North York Zoning By-law 7625. The parking requirement under North York Zoning By-law 7625 for the mixed use building is 6 spaces (2 spaces per dwelling unit and 1 space per 48 square metres of office) or for the wholly office use is 7 spaces (1 space per 48 square metres). The parking requirements for this site under Zoning By-law 569-2013 for the mixed use building are 4 spaces (1 space per dwelling unit and 1.5 spaces per 100 square metres of office) or for the wholly office use is 5 spaces (1.5 spaces per 100 square metres of office). The applicant has proposed 3 parking spaces which does not comply with the by-law requirement.

The applicant prepared a parking study which was reviewed by Transportation Services. The study concludes that the typical demand of parking for the site is approximately four spaces, with a peak demand of five spaces. Transportation Services accepts the conclusions of the parking survey and the provision for three parking spaces for the site. Given the limited site area and the small by-law deficiency of one or two spaces, Transportation Services staff recommend that the applicant apply for a cash-in-lieu contribution pursuant to the City's 'Payment-in-Lieu of Parking' policy. Applications for payment-in-lieu of parking are administered through the Transportation Services Division of Engineering and Construction Services. The applicant must make a separate application to Transportation Services, and reported to Community Council requesting a payment-in-lieu of parking for this proposal.

Open Space/Parkland

The Official Plan contains policies to ensure that Toronto's system of parks and open space are maintained, enhanced and expanded. Map 8B of the Toronto Official Plan shows local parkland provisions across the City. The lands which are subject of the application are in an area with 0.43 to 0.79 hectares of local parkland per 1,000 people. The site is in the second lowest quintile of current provision of parkland. The site is in a parkland acquisition priority area, as per Chapter 415, Article III, of the Toronto Municipal Code.

The proposed development is subject to a parkland dedication requirement as set out in Chapter 415, Article III, of the Toronto Municipal Code. The applicant is required to satisfy the parkland dedication requirement through cash-in-lieu. The actual amount of cash-in-lieu to be paid will be determined at the time of issuance of the building permit.

Toronto Green Standard

In 2013 City Council updated the two-tiered Toronto Green Standard (TGS) that was adopted by City Council on October 27, 2009. The TGS is a set of performance measures for green development. Tier 1 is required for new development. Tier 2 is a voluntary, higher level of

performance with financial incentives. Achieving the Toronto Green Standard will improve air and water quality, reduce green house gas emissions and enhance the natural environment.

The applicant is required to meet Tier 1 of the TGS. The site specific zoning by-law will secure performance measures for the following Tier 1 development features: providing minimum number of parking spaces required, allowing for barrier free access into the building, and adequate amount of landscaping for water efficiency.

Other applicable TGS performance measures will be secured through the Site Plan Approval process. Key TGS performance measures that will be secured through the site plan approval process include: permeable pavers for the driveway/parking area, exterior light fixtures that are shielded, bicycle parking spaces and covered entries into the building.

CONTACT

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Fax No. 416-395-7200
E-mail: sovens@toronto.ca

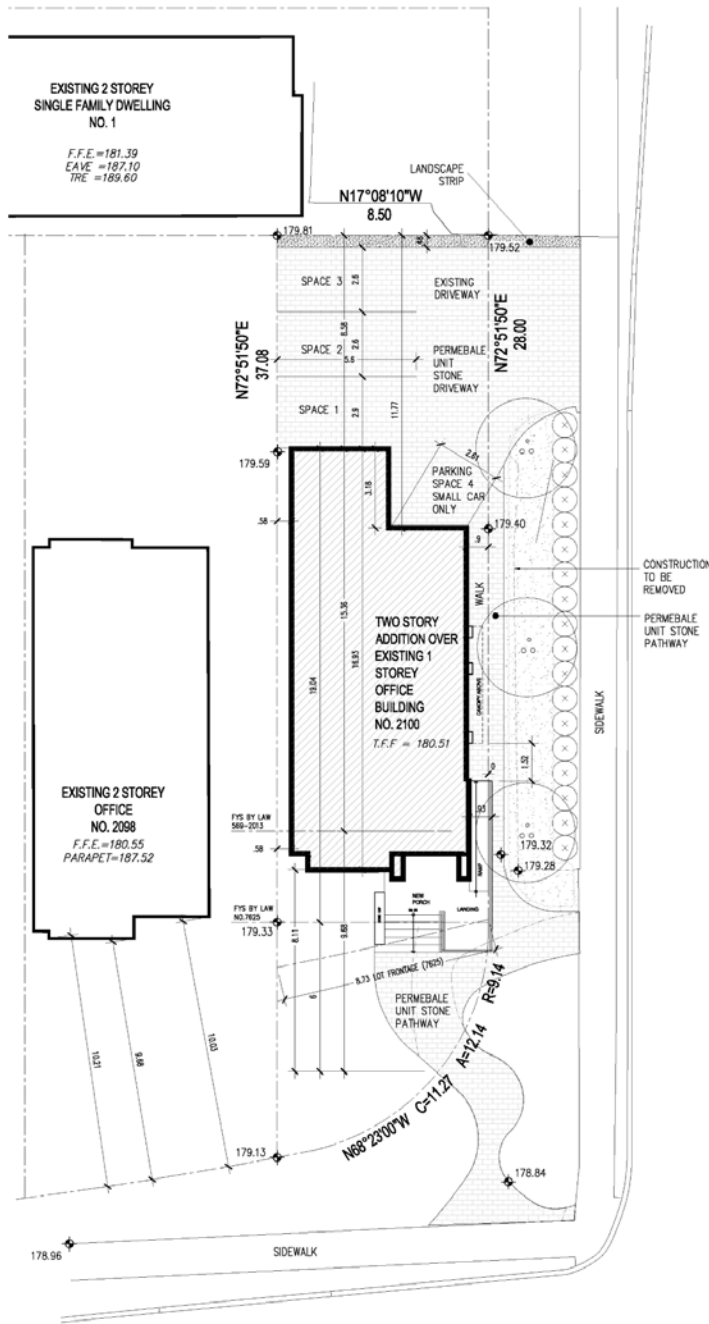
SIGNATURE

Joe Nanos, Director
Community Planning, North York District

ATTACHMENTS

Attachment 1: Site Plan
Attachment 2a: East Elevation
Attachment 2b: North Elevation
Attachment 2c: South Elevation
Attachment 2d: West Elevation
Attachment 3a: Zoning By-law No. 569-2013
Attachment 3b: Zoning By-law No. 7625
Attachment 4: Application Data Sheet
Attachment 5a: Draft Zoning By-law Amendment – No. 7625
Attachment 5b: Draft Zoning By-law Amendment – No. 569-2013

Attachment 1: Site Plan



Site Plan

Applicant's Submitted Drawing

Not to Scale
09/15/2016



2100 Avenue Road

File # 15 267377 NNY 16 0Z

Attachment 2a: East Elevation



East Elevation

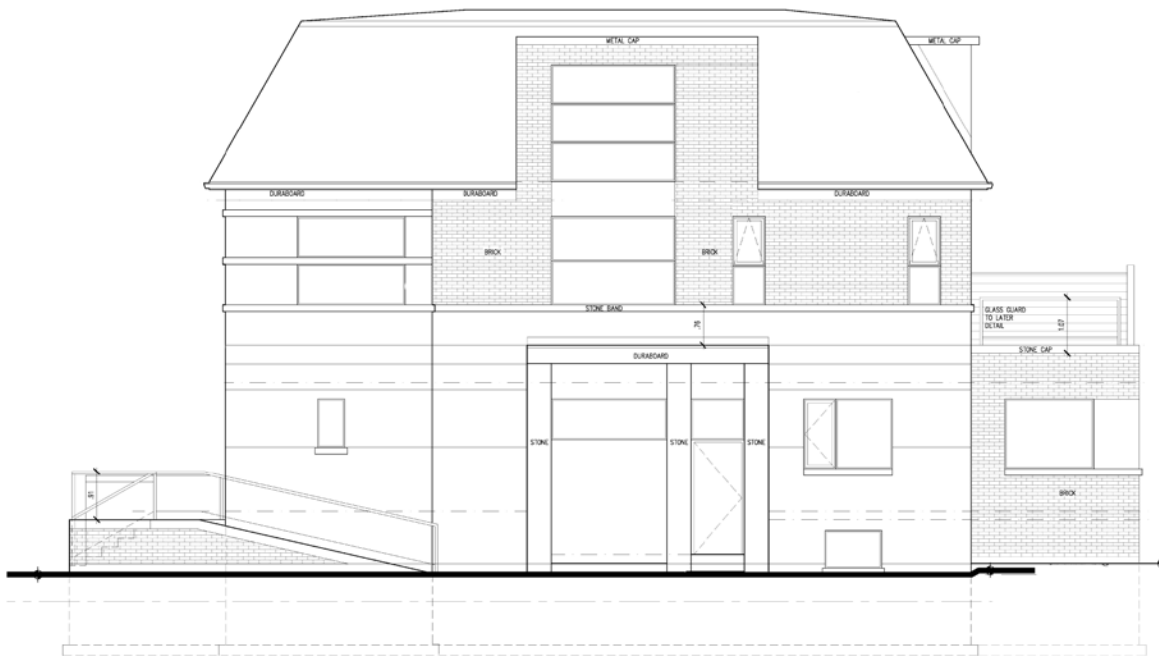
Applicant's Submitted Drawing

Not to Scale
09/15/2016

2100 Avenue Road

File # 15 267377 NNY 16 0Z

Attachment 2b: North Elevation



North Elevation

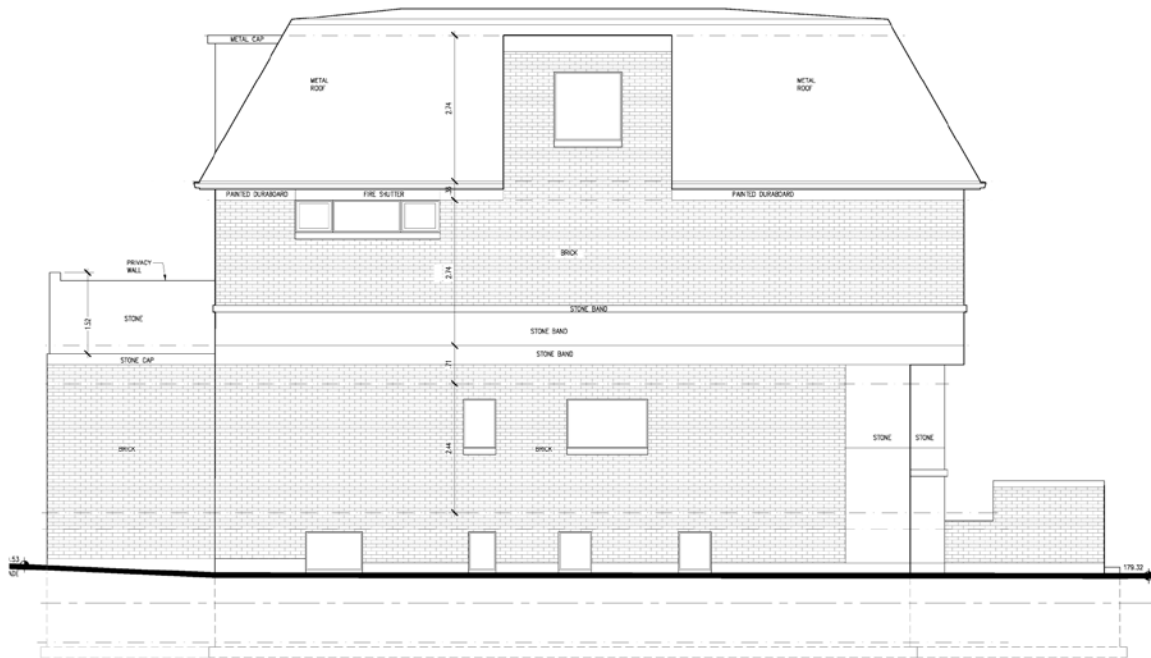
Applicant's Submitted Drawing

Not to Scale
09/15/2016

2100 Avenue Road

File # 15 267377 NNY 16 0Z

Attachment 2c: South Elevation



South Elevation

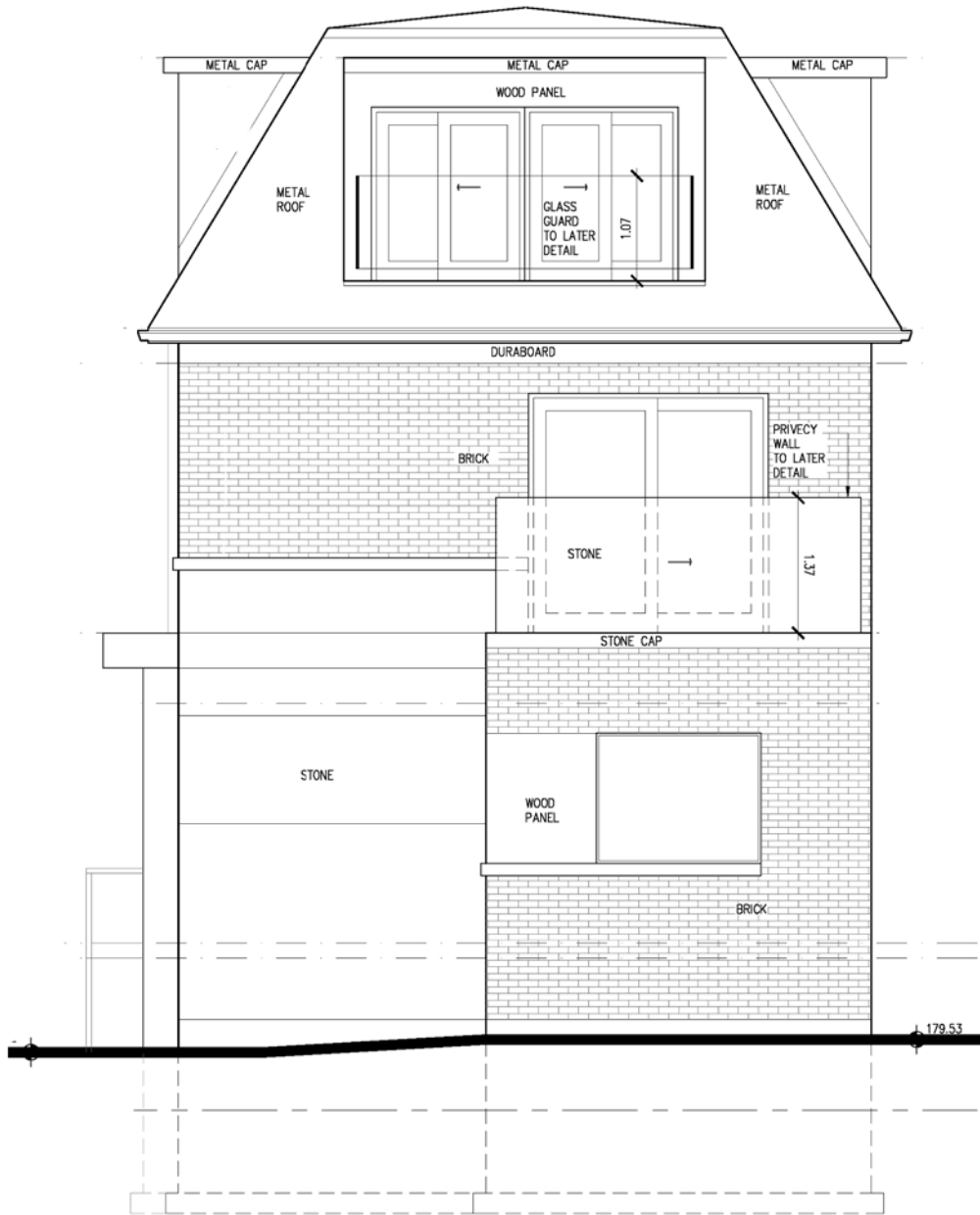
Applicant's Submitted Drawing

Not to Scale
09/15/2016

2100 Avenue Road

File # 15 267377 NNY 16 0Z

Attachment 2d: West Elevation



West Elevation

Applicant's Submitted Drawing

Not to Scale
09/15/2016

2100 Avenue Road

File # 15 267377 NNY 16 0Z

Attachment 3a: Zoning By-law No. 569-2013



Zoning By-Law No. 569-2013

2100 Avenue Road

File # 15 267377 NNY 16 0Z

Location of Application

RD Residential Detached
RM Residential Multiple
CR Commercial Residential



See Former City of North York By-Law No. 7625

R3 One-Family Detached Dwelling Third Density Zone
R7 One-Family Detached Dwelling Seventh Density Zone
RM4 Multiple-Family Dwellings Fourth Density Zone



Not to Scale
 Extracted: 01/05/2016

Attachment 3b: Zoning By-law No. 7625



2100 Avenue Road
File # 15 267377 NNY 16 02

R3 One-Family Detached Dwelling Third Density Zone
R4 One-Family Detached Dwelling Fourth Density Zone
R6 One-Family Detached Dwelling Sixth Density Zone

R7 One-Family Detached Dwelling Seventh Density Zone
RM4 Multiple-Family Dwellings Fourth Density Zone
C4 Mixed Use Commercial Zone



Not to Scale
Zoning By-law 7625
Extracted 02/02/2016

NOTE: Numbers in Brackets Denote Exceptions to the Zoning Category

Attachment 4: Application Data Sheet

| | | | |
|-----------------------|---|---------------------|---------------------|
| Application Type | Rezoning | Application Number: | 15 267377 NNY 16 OZ |
| Details | Rezoning, Standard | Application Date: | December 21, 2015 |
| Municipal Address: | 2100 AVENUE RD | | |
| Location Description: | PLAN 2647 PT LOT 32 **GRID N1602 | | |
| Project Description: | Maintain the conversion of the existing one-storey mixed use building converted from residential to office/residential and to construct a two-storey addition atop the existing building in order to accommodate a two-storey residential unit on the second and third floor of the building. | | |

| | | | |
|--|---------------|--|---|
| Applicant: | Agent: | Architect: | Owner: |
| GOLDBERG GROUP 2098 Avenue Road, Toronto, ON M5M 4A8 | | RICHARD LIBRACH ARCHITECT INC. 3414 Yonge Street, Toronto, ON M4N 2M9 | FRONT RUNNER INVESTMENTS INC 2100 Avenue Road, Toronto, ON M5M 4A8 |

PLANNING CONTROLS

| | | | |
|----------------------------|-----------------|--------------------------|---|
| Official Plan Designation: | Mixed Use Areas | Site Specific Provision: | Y |
| Zoning: | RD (f9.0, a275) | Historical Status: | N |
| Height Limit (m): | 10 | Site Plan Control Area: | Y |

PROJECT INFORMATION

| | | | | |
|------------------------------------|---------------|---------|-----------------|--------------|
| Site Area (sq. m): | 296.34 | Height: | Storeys: | 3 |
| Frontage (m): | 8.73 | | Metres: | 11.2/10.7 |
| Depth (m): | 37.08 | | | |
| Total Ground Floor Area (sq. m): | 106.81 | | | Total |
| Total Residential GFA (sq. m): | 177.16/0 | | Parking Spaces: | 3 |
| Total Non-Residential GFA (sq. m): | 195.27/372.43 | | Loading Docks | 0 |
| Total GFA (sq. m): | 372.43 | | | |
| Lot Coverage Ratio (%): | 35.9 | | | |
| Floor Space Index: | 1.2 | | | |

DWELLING UNITS

FLOOR AREA BREAKDOWN (upon project completion)

| | | Above Grade | Below Grade |
|--------------|---|----------------------------------|---------------|
| Tenure Type: | | | |
| Rooms: | 0 | Residential GFA (sq. m): | 177.16/0 |
| Bachelor: | 0 | Retail GFA (sq. m): | 0 |
| 1 Bedroom: | 1 | Office GFA (sq. m): | 101.26/278.42 |
| 2 Bedroom: | 0 | Industrial GFA (sq. m): | 0 |
| 3 + Bedroom: | 0 | Institutional/Other GFA (sq. m): | 0 |
| Total Units: | 1 | | |

| | | |
|-----------------|----------------------|---------------------------------------|
| CONTACT: | PLANNER NAME: | Sarah Ovens, Assistant Planner |
| | TELEPHONE: | 416-395-7129 |
| | EMAIL: | sovens@toronto.ca |

Attachment 5a: Draft Zoning By-law Amendment – No. 7625

Authority: North York Community Council Item ~ as adopted by City of Toronto Council on ~, 2016
Enacted by Council: ~, 2016

CITY OF TORONTO

Bill No. ~

BY-LAW No. ~-2016

**To amend former North York Zoning By-law No. 7625, as amended,
With respect to the lands municipally known as,
2100 Avenue Road**

WHEREAS authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, to pass this By-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. Schedules "B" and "C" of By-law 7625 of the former City of North York are amended in accordance with Schedule "1" attached to this By-law.
2. Section 64.14-B EXCEPTIONS TO R7 ZONE (ONE-FAMILY DETACHED DWELLING SEVENTH DENSITY ZONE) of By-law 7625 of the former City of North York is amended by adding the following subsection:

64.14-B(20) R7(20)

DEFINITIONS

PERMITTED USES

- a) In addition to the uses permitted within R7 and R7(16) Zones, the following uses are permitted subject to the Exception Regulations below:
 - (i) Business Office;
 - (ii) Professional Office; and
 - (iii) Dwelling Unit.

EXCEPTION REGULATIONS

LOT FRONTAGE

- b) The minimum lot frontage shall be 8.5 metres.

LOT COVERAGE

- c) The maximum lot coverage shall be 36%.

GROSS FLOOR AREA

- d) The maximum permitted commercial gross floor area shall be 375 m.

RESIDENTIAL UNITS

- e) A maximum of one (1) dwelling unit.

BUILDING HEIGHT

- f) The building height shall not exceed a maximum of 11.2 metres and 3 storeys.
- g) The finished first floor shall be 1.7 metres.

BUILDING LENGTH

- h) The maximum building length shall be 19.1 metres.

YARD SETBACKS

- i) The minimum front yard setback shall be 8.1 metres.
- j) The minimum rear yard setback shall be 8.5 metres,
- k) The minimum south side yard setback shall be 0.5 metres;
- l) The minimum north side yard setback shall be 0.7 metres.

PARKING

- m) The minimum number of parking spaces on the lot shall be provided at a ratio of:
 - (i) 1 space per dwelling unit; and
 - (ii) 1.5 spaces per 100 square metres of office space.

ACCESS TO PARKING SPACES

- n) A driveway which is not located in the front yard shall have a maximum width of 11.3 metres.

PERMITTED PROJECTIONS INTO MINIMUM YARD SETBACKS

- o) The front porch may encroach into the required front yard setback 3.4 metres.
- p) The front porch may encroach in the required side yard setback 0.7 metres.
- q) The side canopy may encroach into the required side yard setback 0.8 metres.
- r) The uncovered wheelchair ramp may be 0 metres from the side lot line.

BALCONY AREA

- s) The rear balcony shall have a maximum area of 12.5 square metres.

FRONT YARD SOFT LANDSCAPING

- t) A minimum of 61% of the front yard shall be maintained as soft landscaping.

OTHER REGULATIONS

- u) The provisions of Section 6(24)(c), 6A(2), 6A(6), 6A(7)(a)(vi) of By-law 7625 shall not apply.

DIVISION OF LANDS

- v) Notwithstanding any future severance, partition or division of the lands shown on Schedule "1", the provisions of this By-law shall apply to the whole of the lands as if no severance, partition or division occurred.

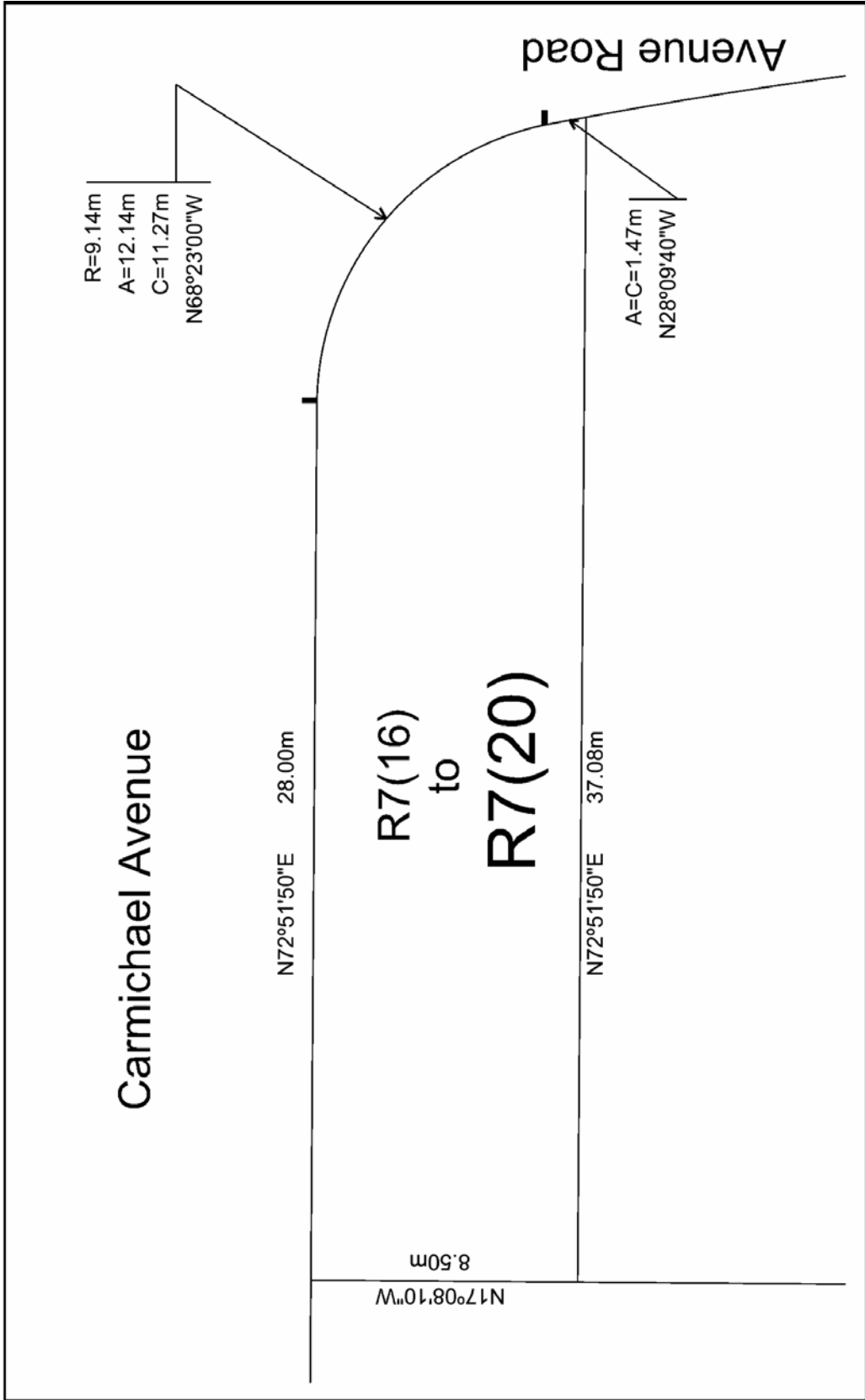
3. Within the lands shown on Schedule "1" attached to this By-law, no person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:
- (a) all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway, and
 - (b) all water mains and sanitary sewers, and appropriate appurtenances, have been installed and are operational.

ENACTED AND PASSED this ~ day of ~, A.D. 2016.

JOHN TORY,
Mayor

ULLI S. WATKISS,
City Clerk

(Corporate Seal)



Schedule 1

Part of Lot 32 Registered Plan 2647 City of Toronto (Formerly in the City of North York)

File # 15 267377 NNY 16 0Z

Avanti Surveying Inc.

Date: 09/15/2016

Approved by: S.O.



Not to Scale

Attachment 5b: Draft Zoning By-law Amendment – No. 569-2013

Authority: North York Community Council ##, as adopted by City of Toronto Council on ~, 2016

CITY OF TORONTO

Bill No. ~

BY-LAW No. XXXX- 2016

To amend Zoning By-law No. 569-2013, as amended, with respect to the lands municipally known in the year 2016 as 2100 Avenue Road.

Whereas Council of the City of Toronto has the authority pursuant to Section 34 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, to pass this By-law; and

Whereas Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*.

The Council of the City of Toronto enacts:

1. The lands subject to this By-law are outlined by heavy black lines on Diagram 1 attached to this By-law;
2. The words highlighted in bold type in this By-law have the meaning provided in Zoning By-law No. 569-2013, Chapter 800 Definitions;
3. Zoning By-law No. 569-2013, as amended, is further amended by amending the zone label on the Zoning By-law Map in Section 990.10 respecting the lands outlined by heavy black lines to: RD (f 9.0, a 275) (x414), as shown on Diagram 2 attached to this By-law;
4. Zoning By-law No. 569-2013, as amended, is further amended by adding Article 900.3.10 Exception Number 414 so that it reads:

Exception RD 414

The lands, or a portion thereof as noted below, are subject to the following Site Specific Provisions, Prevailing By-laws and Prevailing Sections.

Site Specific Provisions:

- (A) In addition to the uses permitted by Article 10.20.20 for the RD Zone, an office use is permitted;
- (B) The permitted maximum **interior floor area** for an office use is 375 square

metres;

- (C) The maximum number of **dwelling units** permitted is 1;
- (D) Clause 10.5.40.60 regarding permitted encroachments into required yard setbacks applies, except that:
 - (i) the front porch may encroach into the required **front yard setback** a maximum of 3.4 metres;
 - (ii) the front porch may encroach into the required **side yard setback** a maximum of 0.7 metres;
 - (iii) a canopy may encroach into the required **side yard setback** a maximum of 0.8 metres, if it is no closer to the side lot line than 0.1 metres;
 - (iv) exterior stairs may be 2.8 metres wide; and
 - (v) an uncovered ramp may be 0 metres from the side **lot line**;
- (E) Clause 10.5.50.10 regarding **landscaping** applies, except that:
 - (i) a minimum of 61% of the **front yard landscaping** must be **soft landscaping**;
 - (ii) no landscaping is required in the north **side yard**; and
 - (iii) a minimum of 5% of the **rear yard** must be for **soft landscaping**;
- (F) Regulations 10.5.80.10(3), 10.5.80.10(6) and 10.5.80.10(7) regarding the location of parking in the **side yard** and **rear yard** do not apply;
- (G) Despite regulation 10.5.100.1(2)(B), a **driveway** that is not in the **front yard** may have a maximum width of 11.3 metres;
- (H) Despite Clause 10.20.30.20, the required minimum **lot frontage** is 8.5 metres;
- (I) Despite Clause 10.20.30.40, the permitted maximum **lot coverage** is 36%;
- (J) Despite Regulation 10.20.40.10(1), the permitted maximum height for a **building** on the lot is 10.7 metres;
- (K) Despite Regulation 10.20.40.10(2), the permitted maximum height of the exterior front and rear **main walls** is 7.8 metres;
- (L) Despite Regulation 10.20.40.10(3), the permitted maximum number of **storeys** for

a **building** on the **lot** is 3 storeys;

- (M) Despite Regulation 10.20.40.10(7), the dormer in the roof at the rear of the **building** may be 53% of the total width of the **rear main walls**;
- (N) Despite Regulation 10.20.40.50(1)(B), the maximum area of the rear platform is 12.5 square metres;
- (O) Despite Regulation 10.20.40.70(1), the required minimum **front yard setback** is 8.1 metres;
- (P) Despite Regulation 10.20.40.70(2), the required minimum **rear yard setback** is 8.5 metres;
- (Q) Despite Regulation 10.20.40.70(3), the required minimum **side yard setback** is 0.5 metres for the south **side yard** and 0.7 metres for the north **side yard**; and

Prevailing By-laws and Prevailing Sections: (None apply)

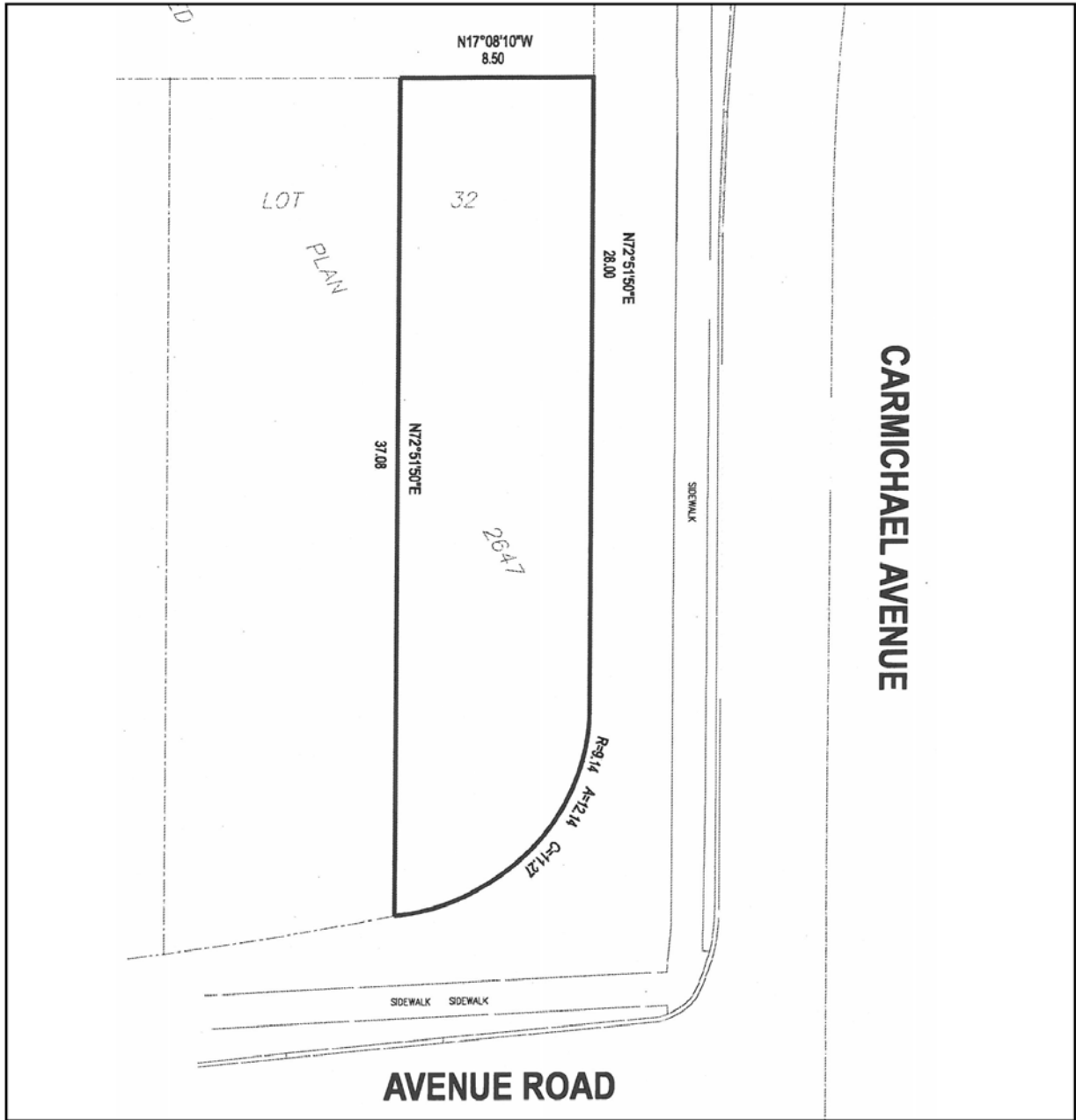
Enacted and passed on month ##, 2016.

Name,

John Tory
Mayor

Ulli S. Watkiss,
City Clerk

(Seal of the City)



 **TORONTO**
Diagram 1

2100 Avenue Road

File # 15 267377 NNY 16 0Z



City of Toronto By-Law 569-2013
Not to Scale
09/16/2016

